

**DEVELOPMENT CONSENT AUTHORITY
PALMERSTON DIVISION**

NORTHERN TERRITORY PLANNING SCHEME 2020

AGENDA ITEM: **3** **MEETING DATE:** 14 March 2025 **FILE:** PA2023/0255

APPLICATION PURPOSE: Variation to condition 4 of DP24/0043 for the purpose of an addition of a path and reduction in car parking width

SUBJECT SITE: Lot 11311 (5) Davies Court, Johnston, Town of Palmerston
Locality Plan at **Bookmark A**

ZONE: LMR (Low-Medium Density Residential)

SITE AREA: 1140m²

APPLICANT Cunnington Rosse Town Planning and Consulting
Director – Gerard Rosse

PERSONS ON WHOSE BEHALF THE APPLICATION IS MADE Landowner

LANDOWNER Maria & Roliber Gumban

ANY PERSON WITH AN AGREEMENT TO ACQUIRE AN INTEREST IN THE LAND None – NDIS occupant

1. BACKGROUND

The subject site is a vacant parcel within the ‘Johnston Stage 2’ estate.

On 22 February 2024, the Development Consent Authority issued Development Permit DP24/0043 to allow the development of dwellings-group (5 x 1 bedroom) in 3 x 1 storey buildings. 3 public submissions and a local government council submission were received in relation to the publicly exhibited (August 2023) application.

The floor plans of the dwellings indicate they have been designed to be suitable for persons with mobility impairments or other disabilities (bathroom designs, no step access, rails, doorway widths etc).

In issuing the permit, the Authority granted variations to the following minimum requirements of Part 5 of the NT Planning Scheme 2020:

- 5.2.4.1 (Car Parking Spaces) – to allow 8 car parking spaces (instead of 10)
- 5.2.4.4 (Layout of car parking areas) – to allow a section of the driveway to be 3.5m wide instead of 6m
- 5.4.1 (Residential Density) – to allow 1 dwelling per 228m² (instead of 1 per 300m²)
- 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures)

A copy of Development Permit DP24/0043, the endorsed drawings, and the Notice of Consent is at **Bookmark B**.

2. PROPOSAL

The application seeks consent to vary the drawings that were endorsed as forming part of Condition 1 of DP24/0043 to allow the following changes:

- car parking layout (repositioning of car parking spaces, amended design of car parking spaces)
- minor changes to building setbacks
- amendments to boundaries and areas (m²) of private open space
- amendments to landscaping (location of planting)
- dedicated pedestrian access to site from street boundary.
- dimensions / locations of door and windows (south and north elevations)
- reduced size of outbuilding (shed)

The design amendments have been made in order to comply with NDIS standards, and after review by a building certifier.

A copy of the application is at **Bookmark C1 – C3**.

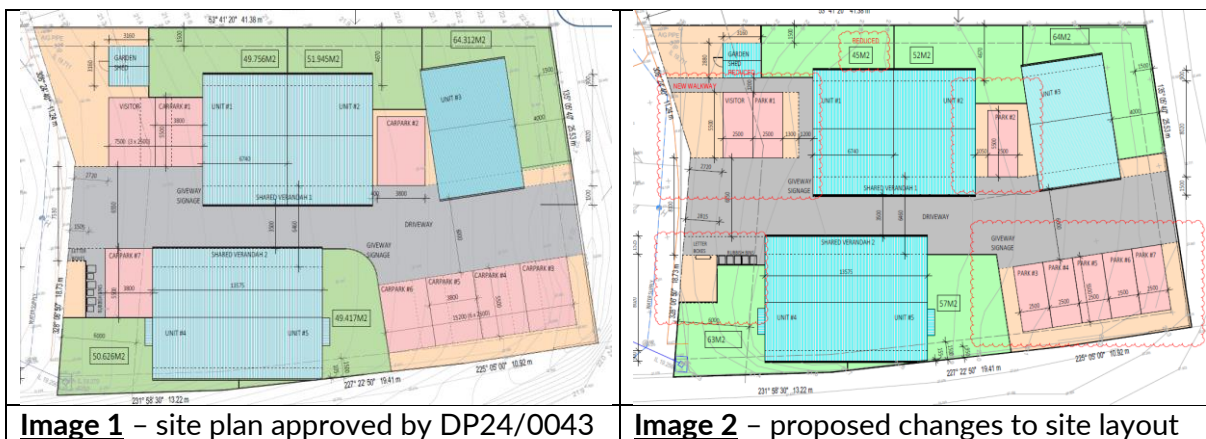


Image 1 – site plan approved by DP24/0043

Image 2 – proposed changes to site layout

3. REASON FOR APPLICATION

This application, a variation under section 57 of the *Planning Act 1999*, is referred to the Development Consent Authority (DCA) for determination. An assessment is made within this report against the criteria listed in section 57.

4. ASSESSMENT SYNOPSIS

This report concludes that the Authority should consider approving the application subject to conditions on the development permit as detailed in section 9 of this report.

5. PUBLIC EXHIBITION

Sections 47 (Notification of proposal) 48 and 48A (Notification of local government council and service authorities) do not apply to variations lodged under section 57 of the *Planning Act 1999*.

This variation application was not circulated due to the assessment that the approved density and land use is not altering, changes will not result in an increased level of impact to the abutting residential zoned land and the similarity between the new drawings and the previously approved proposal.

6. MATTERS TO BE TAKEN INTO ACCOUNT (SECTION 57 OF THE PLANNING ACT 1999)

Pursuant to section 57(3) of the *Planning Act 1999* the consent authority must only vary a condition of a development permit if:

- (a) *the proposed variation will not alter a measurable aspect of the development by a margin greater than 5% and, in the opinion of the consent authority, will not materially affect the amenity of adjoining or nearby land or premises; or*
- (b) *in the opinion of the consent authority, the alteration resulting from the proposed variation is not conveniently measurable and the proposed variation will not materially affect the amenity of adjoining or nearby land or premises.*

Despite subsection 3(a), subsection (4) specifies that *a permit must not be varied if it will allow an increase in the number of dwellings capable of separate occupancy*. There are no existing or proposed dwellings on the site.

The consent authority has discretionary powers to grant consent of the proposed variation provided that the proposal satisfies sections 57(3)&(4).

Section 57(5) of the *Planning Act 1999* states: *If the consent authority refuses to vary a condition of a permit in accordance with an application, the consent authority must give to the applicant a statement of the consent authority's reasons for the refusal.*

Measurable aspects test:

The subject site is within zone LMR (Low Medium Density Residential) of the NT Planning Scheme 2020 (NTPS2020). In considering the relevant aspects of the development as determined in Part 5 of the NTPS2020, the following would apply to the proposed changes to DP24/0043.

Clause of "Part 5" of NTPS2020	Impact of proposed variation to DP24/0043	Compliance
5.2.1 (General Height Control)	Unit 1 <ul style="list-style-type: none"> • finished floor level increased from 21700 to 21900 • ceiling height increased from 24400 to 24600) 	<ul style="list-style-type: none"> • Complies with NTPS2020 • 200mm / 0.92% increase – Unit 1
5.2.4.1 (Car Parking Spaces)	DP24/0043 – 8 spaces (one allocated for visitor use) Proposed variation – 8 spaces (no dedicated visitor bay)	<ul style="list-style-type: none"> • no change
5.2.4.4 (Layout of Car Parking Areas)	<u>Dimensions of car parking spaces</u> <ul style="list-style-type: none"> • DP24/0043 showed / approved car parking spaces 3.8m wide (greater than the 2.5m NTPS2020 minimum) • Updated drawings reduce all bay widths to 2.5m <u>Car Parking Layout</u> <ul style="list-style-type: none"> • Car parking space #7 has been relocated to north side of driveway (due to amendments of private open space) 	<ul style="list-style-type: none"> • length and width of bays complies with NTPS2020 • layout is considered to be functional • reduced car parking bay widths are not considered to be "conveniently measurable" as widths still comply with NTPS2020.
5.2.6.1 (Landscaping in Zones Other Than Zone CB)	<ul style="list-style-type: none"> • The DAS calculation of "landscaping" for the drawings for DP24/0043 was ~402m² (35.2%) of the site area. The NTPS2020 requires 30% • The drawings included with the variation application: <ul style="list-style-type: none"> ○ do not provide any calculations, the Statement of Effect suggests the amount of landscaping has increased ○ include more planting in the east corner of the site • DAS assessment of the updated drawings is that ~409m² of "landscaping" will be provided, however they show planting in the western corner of the site, 	<ul style="list-style-type: none"> • complies with NTPS2020 • changes not considered to be "conveniently measurable".

	which may conflict with the PAWC water meters (~2m ² area)																									
5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures)	<ul style="list-style-type: none"> DP24/0043 granted a variation to allow: <ul style="list-style-type: none"> 4.6m setback of shed to front boundary (instead of 6m) part of the wall of Unit 5 to be setback 0.9m from side (south) boundary instead of 1.5m <p>The variation application proposes:</p> <ul style="list-style-type: none"> 4.5m setback of shed to front boundary (reduced setback by 0.1m) 0.95m (wall) and 0.155m (roof eave) setback of Unit 5 to side boundary. 	<ul style="list-style-type: none"> 100mm / 2.17% reduction to shed setback 50mm increase to building setback of Unit 5 																								
5.4.3.2 (Distance Between Residential Buildings on One Site)	Design approved by DP24/0043 complied in full with NTPS2020	No changes proposed.																								
5.4.6.1 (Private Open Space for Dwellings-Single, Dwellings-Independent and Dwellings-group)	<p>Design approved by DP24/0043 complied in full with NTPS2020 – (area (m²), permeability, directly accessible, surface treatments and proposed boundary fencing).</p> <p>Proposed changes to areas of private open space for each dwelling are as follows:</p> <table border="1"> <thead> <tr> <th>Unit #</th> <th>Approved (DP24/0043)</th> <th>Proposed change</th> <th></th> </tr> </thead> <tbody> <tr> <td>1</td> <td>49.756m²</td> <td>45m²</td> <td>-4.756m² (0.95%)</td> </tr> <tr> <td>2</td> <td>51.945m²</td> <td>52m²</td> <td>+0.055m²</td> </tr> <tr> <td>3</td> <td>64.312m²</td> <td>64m²</td> <td>-0.312m²</td> </tr> <tr> <td>4</td> <td>50.626m²</td> <td>63m²</td> <td>+12.374m² (+24.44%)</td> </tr> <tr> <td>5</td> <td>49.417m²</td> <td>57m²</td> <td>+7.583m² (+15.34%)</td> </tr> </tbody> </table>	Unit #	Approved (DP24/0043)	Proposed change		1	49.756m ²	45m ²	-4.756m ² (0.95%)	2	51.945m ²	52m ²	+0.055m ²	3	64.312m ²	64m ²	-0.312m ²	4	50.626m ²	63m ²	+12.374m ² (+24.44%)	5	49.417m ²	57m ²	+7.583m ² (+15.34%)	<ul style="list-style-type: none"> Private open space still complies with NTPS2020 changes in area (m²) not considered to be “conveniently measurable” or no reduction greater than 5%
Unit #	Approved (DP24/0043)	Proposed change																								
1	49.756m ²	45m ²	-4.756m ² (0.95%)																							
2	51.945m ²	52m ²	+0.055m ²																							
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4	50.626m ²	63m ²	+12.374m ² (+24.44%)																							
5	49.417m ²	57m ²	+7.583m ² (+15.34%)																							

Amenity test:

The proposed changes to the development generally result in an improved level of compliance with the NTPS2020.

The reduction in width of the car parking spaces does not change compliance with the NTPS2020 requirements. However, DP24/0043 granted a variation to Clause 5.2.4.1 (Car Parking Spaces) for the following reasons:

- The reduced number of car parking is appropriate for the unique design of the development which provides for single-bedroom dwellings and, as identified by the applicant at the DCA meeting, self-limits the number of occupants to below what would normally be anticipated of a dwelling. The proposed 8 car parking spaces allow for 1 dedicated car space per dwelling and 3 shared or visitor car parks should they be required.*
- The 8 oversized car parks have the ability to be converted into 11 regular spaces should it be required and would make the proposed development compliant with car parking space requirements of Clause 5.2.4.1.
- In addition, public transport in the way of public bus services are available within 350m distance of the proposed development.

Clause 5.2.4.1 was granted a variation because the proposed car parking spaces were large enough to be converted into 11 car parking spaces from 8, which would allow compliance with Clause 5.2.4.1 in the future. Administrative clause 2(a) requires the consent authority to consider whether the proposed development is appropriate for the possible future use.

It is considered that the proposed changes to car parking width may have an impact on the future amenity of the area, should the further parking be required. However, the DCA also reasoned that *the reduced number of car parking is appropriate for the unique design of the development which provides for single-bedroom dwellings and, as identified by the applicant at the DCA meeting, self-limits the number of occupants to below what would normally be anticipated of a*

dwelling. The proposed 8 car parking spaces allow for 1 dedicated car space per dwelling and 3 shared or visitor car parks should they be required.

The above reason suggests that, should the development continue to be used as 1-bedroom dwellings that there will be a suitable number of car parking spaces currently and in the future.

The proposed changes to the endorsed plans have been assessed and it is considered that the development will not materially affect the amenity of adjoining or nearby land or premises. In addition to this and because of the increase in landscaping and private open space, the proposed changes will have a positive impact on the visual amenity when viewed from the street and will contribute to heat mitigation of the area.

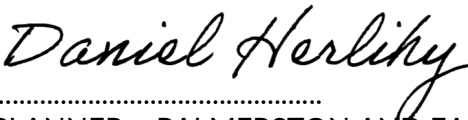
Additional dwelling test:

The changes to the development do not allow an increase in the number of dwellings.

7. RECOMMENDATION

That, pursuant to section 57(3) of the *Planning Act 1999*, the Development Consent Authority consent to the application to vary condition 4 of Development Permit DP24/0043 for the purpose changes to car parking layout, widths of car parking spaces, building setbacks, private open space boundaries, design of shed and doors and windows of dwellings.

AUTHORISED:



.....
PLANNER – PALMERSTON AND EAST ARM
DEVELOPMENT ASSESSMENT SERVICES



- General Lines
- Lot Boundaries
- Road Boundaries
- Land Subject to Flooding
- Town Planning Zones**
- A - Agriculture
- CV - Caravan Park
- CB - Central Business
- C - Commercial
- CL - Community Living
- CP - Community Purpose
- CN - Conservation
- DV - Development
- RR - Rural Residential
- GI - General Industry
- HT - Heritage
- HR - High Density Residential
- H - Horticulture
- LI - Light Industry
- M - Main Road
- MR - Medium Density Residential
- LMR - Low-Medium Density Residential
- CA - No Planning Scheme Controls
- OR - Organised Recreation
- PM - Proposed Main Road
- PS - Public Open Space
- RW - Railway
- RD - Restricted Development
- R - Rural
- RL - Rural Living
- SC - Service Commercial
- LR - Low Density Residential
- S - Specific Use
- TC - Tourist Commercial
- U - Utilities
- WM - Water Management
- FD - Future Development
- RJ - Residential Jabiru
- PSJ - Public Open Space Jabiru
- ORJ - Organised Recreation Jabiru
- CJ - Commercial Jabiru
- SCJ - Service Commercial Jabiru
- TCJ - Tourist Commercial Jabiru
- CPJ - Community Purpose Jabiru
- FDJ - Future Development Jabiru
- IJ - Industrial Jabiru
- MJ - Main Road Jabiru
- UJ - Utilities Jabiru
- Road Labels**
- Road Centrelines**
- Highway
- Other Road
- Parcel Numbers**
- Cadastre
- Coastline

Created by DAHER

Bottom Left: 131° 00' 28", -12° 29' 48"
 Top Right: 131° 00' 35", -12° 29' 44"
 Approximate Scale: 1:1,500
 Datum: GDA 1994
 Data for information purposes only
 - accuracy not guaranteed
 N.T. Land Information System
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NORTHERN TERRITORY OF AUSTRALIA

Planning Act 1999 - sections 54 and 55

DEVELOPMENT PERMIT

DP24/0043

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 11311
Town of Palmerston
5 DAVIES CT, JOHNSTON

APPROVED PURPOSE

To use and develop the land for the purpose of dwelling-group (5 x 1 bedroom) in 3 x 1 storey buildings, in accordance with the attached schedule of conditions and the endorsed plans.

VARIATIONS GRANTED

Clauses 5.2.4.1 (Car Parking Spaces), 5.2.4.4 (Layout of car parking areas), 5.4.1 (Residential Density), and 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures) of the Northern Territory Planning Scheme 2020

BASE PERIOD OF THE PERMIT

Subject to the provisions of sections 58, 59 and 59A of the *Planning Act 1999*, this permit will lapse two years from the date of issue.



Digitally signed
by Adelle Godfrey
Date: 2024.02.22
16:07:59 +09'30'

ADELLE GODFREY
Delegate
Development Consent Authority
22 February 2024

DEVELOPMENT PERMIT

DP24/0043

SCHEDULE OF CONDITIONS

CONDITIONS PRECEDENT

1. Prior to the commencement of works, a stormwater plan shall be prepared to the requirements of the City of Palmerston (as applicable), to the satisfaction of the consent authority. The stormwater plan shall show how the on-site management of stormwater is discharge into the local stormwater drainage system.
2. Prior to the commencement of works, in principle approval from the City of Palmerston is required for the crossover to the site, to the satisfaction of the consent authority.
3. Prior to the commencement of works, details of waste servicing shall be submitted to and approved by the City of Palmerston, to the satisfaction of the consent authority.

GENERAL CONDITIONS

4. The works carried out under this permit shall be in accordance with the drawings, endorsed as forming part of this permit.
5. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, sewerage, electricity facilities and telecommunication networks to the development shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time.

Please refer to notations 2, 3 and 4 for further information.

6. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the consent authority.
7. All existing and proposed easements and sites for existing and required utility services must be vested in the relevant authority for which the easement or site is to be created.
8. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to the City of Palmerston, to the satisfaction of the consent authority.
9. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of the City of Palmerston, to the satisfaction of the consent authority.
The owner shall:
 - a. remove disused vehicle and/ or pedestrian crossovers; and
 - b. undertake reinstatement works.All to the technical requirements of and at no cost to the City of Palmerston, to the satisfaction of the consent authority.
10. Before the use/occupation of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.

11. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.
12. Before the use or occupation of the development starts, the area(s) set aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
 - a. constructed;
 - b. properly formed to such levels that they can be used in accordance with the plans;
 - c. surfaced with an all weather seal coat;
 - d. drained; and
 - e. clearly marked to show the direction of traffic along access lanes and driveways to the satisfaction of the consent authority.Car parking spaces, access lanes and driveways must be kept available for these purposes at all times.
13. Sight lines must be provided at crossovers to public streets to the satisfaction of the City of Palmerston. No fence or tree exceeding 0.6 metres in height is permitted to be planted in sight lines.
14. Storage for waste disposal bins must be provided in accordance with the requirements of, and to the satisfaction of the City of Palmerston.
15. All air conditioning condensers (including any condenser units required to be added or replaced in the future) are to be appropriately screened from public view, located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the consent authority.
16. All pipes, fixtures, fittings and vents servicing any building on the site must be concealed in service ducts or otherwise hidden from view to the satisfaction of the consent authority.

Notes

1. A "Permit to Work Within a Road Reserve" may be required from the City of Palmerston before commencement of any work within the road reserve.
2. The Power and Water Corporation advises that the Water and Sewer Services Development Section (waterdevelopment@powerwater.com.au) and Power Network Engineering Section (powerdevelopment@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing in order to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.
3. All developers, including owner-builders, are required to comply with Commonwealth telecommunications requirements. Under Commonwealth law, developers are generally required to provide fibre-ready pit and pipe in their developments at their expense. Developers may be able to access an exemption from these arrangements in some circumstances. For more information visit www.infrastructure.gov.au/tind
4. If you choose nbn to service your development, you will need to enter into a development agreement with nbn. The first step is to register the development via <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments.html> once registered nbn will be in contact to discuss the specific requirements for the development. Nbn requires

you to apply at least 3 months before any civil works commence. All telecommunications infrastructure should be built to nbn guidelines found at <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments/builders-designers.html>

5. Information resources to assist with preparing an Erosion and Sediment Control Plan (ESCP) are available on the International Erosion Control Association website www.austieca.com.au and on the Northern Territory Government website <https://nt.gov.au/environment/soil-land-vegetation>.
6. This permit will expire if one of the following circumstances applies:
 - a. the development and use is/are not started within two years of the date of this permit; or
 - b. the development is not completed within four years of the date of this permit. The consent authority may extend the periods referred to if a request is made in writing before the permit expires.
7. This development permit is not an approval to undertake building work. You are advised to contact a Northern Territory registered building certifier to seek a building permit as required by the Northern Territory *Building Act 1993* before commencing any demolition or construction works.
8. Any proposed works which fall within the scope of the *Construction Industry Long Service Leave and Benefits Act 2005* must be notified to NT Build by lodgement of the required Project Notification Form. Payment of any levy must be made prior to the commencement of any construction activity. NT Build should be contacted via email (info@ntbuild.com.au) or by phone on 08 89364070 to determine if the proposed works are subject to the Act.

PROPOSED RESIDENCES

AT LOT 11311, NO 5, DAVIES COURT

JOHNSTON, NT

This document contains drawing numbers:

2023/0255/01 - 2023/0225/05

Referred to in Permit No: DP24/0043

Issued by the consent authority on: 22 February 2024

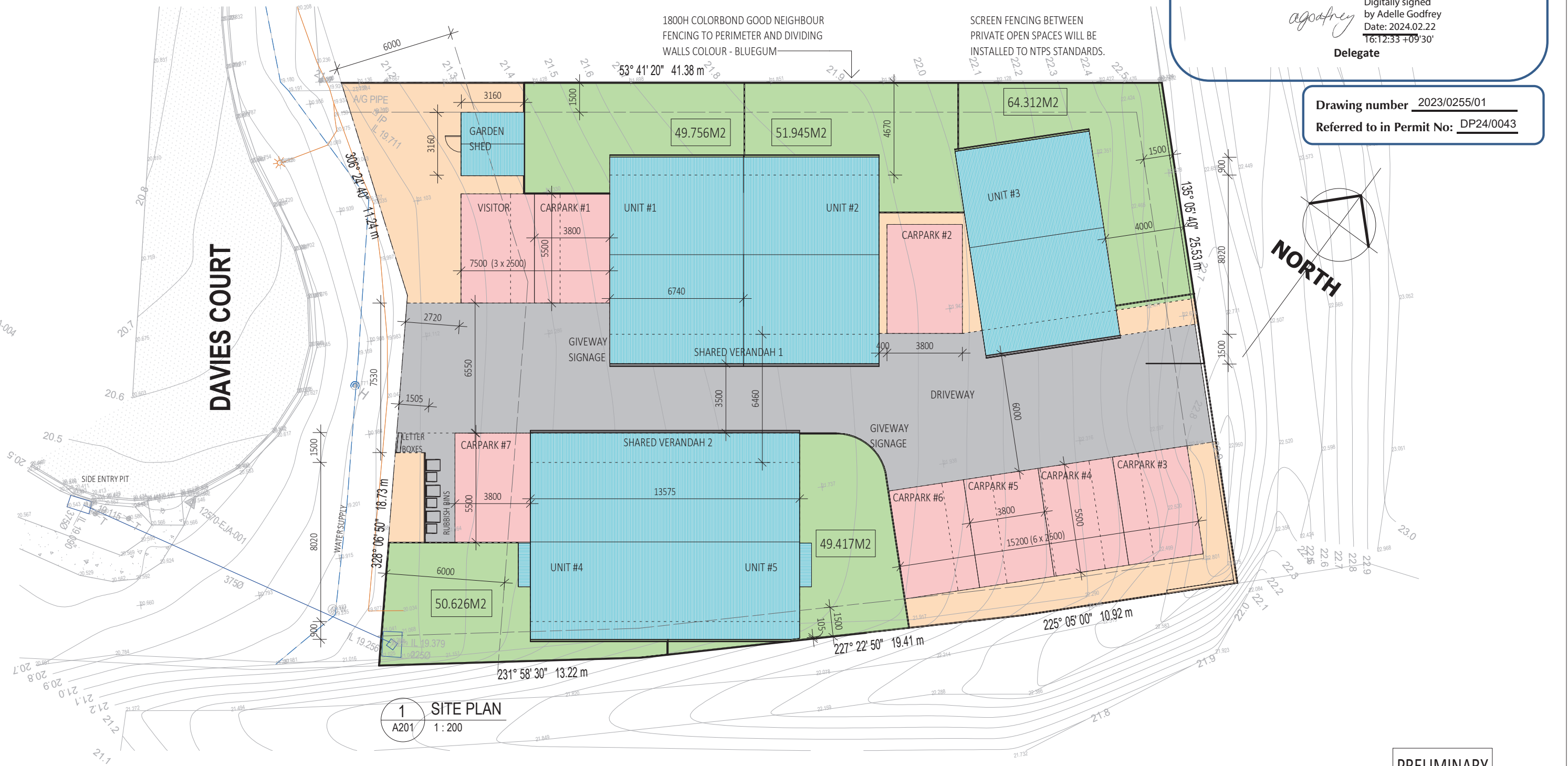
All drawings contained within this document have been authorised by the delegate of the consent authority.

Digitally signed
by Adelle Godfrey
Date: 2024.02.22
16:12:33 +09'30'

Delegate

Drawing number 2023/0255/01

Referred to in Permit No: DP24/0043



1 SITE PLAN
A201 1:200

No	Description	Date
4	REDUCED UNITS TO 5	20.12.23
3	GARBAGE BINS & FENCE NOTES ADDED	20.09.23
2	LEVELS ADDED AND OTHER DETAIL	14.06.23
1	PLANNING SKETCH 1	16.03.23

No	Description	Date
	Issue / Revision	

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Check all dimensions prior to commencing any site work

15 RIX STREET
HERNE HILL, VIC
PH: 0437 241 576
E: lousdesignndrafting@outlook.com
DP-AD 25358



TITLE SHEET
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

PRELIMINARY

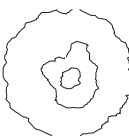
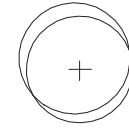
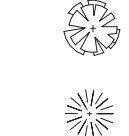
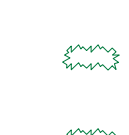
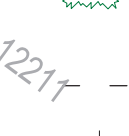
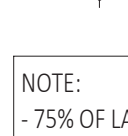
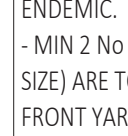
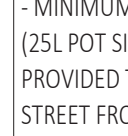

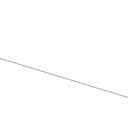

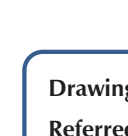
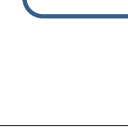

Scale	Date	Drawn By
1:200	17.12.22	L. ANDREW

JOB No.	Amend.
DAVIES COURT XB A000	
	4

20/12/2023 9:21:02 AM



LEGEND

-  PONGAMIA
-  MILLETIA PINNATA (MIN 25L POT SIZE)
-  HOP BUSH
-  DODONEA PLATYPTERA (MIN 45L POT SIZE)
-  RUFFLED FAN PALM
-  LICUALA GRANDIS (min height 2m)
-  NATIVE DRACANAE
-  PLEOMELE ANGUSTIFOLIO (min height 2m)
-  1. SPIDER LILY
-  2. HYMENOCALLIS LITTORALIS
-  BIRD OF PARADISE
-  STRELITZIA REGINAE
-  CONCRETE KERB
-  + HOSE COCK

NOTE:

- 75% OF LANDSCAPING TO BE ENDEMIC.
- MIN 2 No SHADE TREES (45L POT SIZE) ARE TO BE PROVIDED TO THE FRONT YARD.
- MINIMUM 5 No SHADE TREES (25L POT SIZE ARE TO BE PROVIDED TO THE SECONDARY STREET FRONTAGE

1 LANDSCAPE PLAN
A201 1 : 200

Drawing number 2023/0255/02
Referred to in Permit No: DP24/0043

PRELIMINARY

4	REDUCED UNITS TO 5	20.12.23
3	GARBAGE BINS & FENCE NOTES ADDED	20.09.23
2	LEVELS ADDED AND OTHER DETAIL	14.06.23
1	PLANNING SKETCH 1	16.03.23
No	Description	Date
Issue / Revision		

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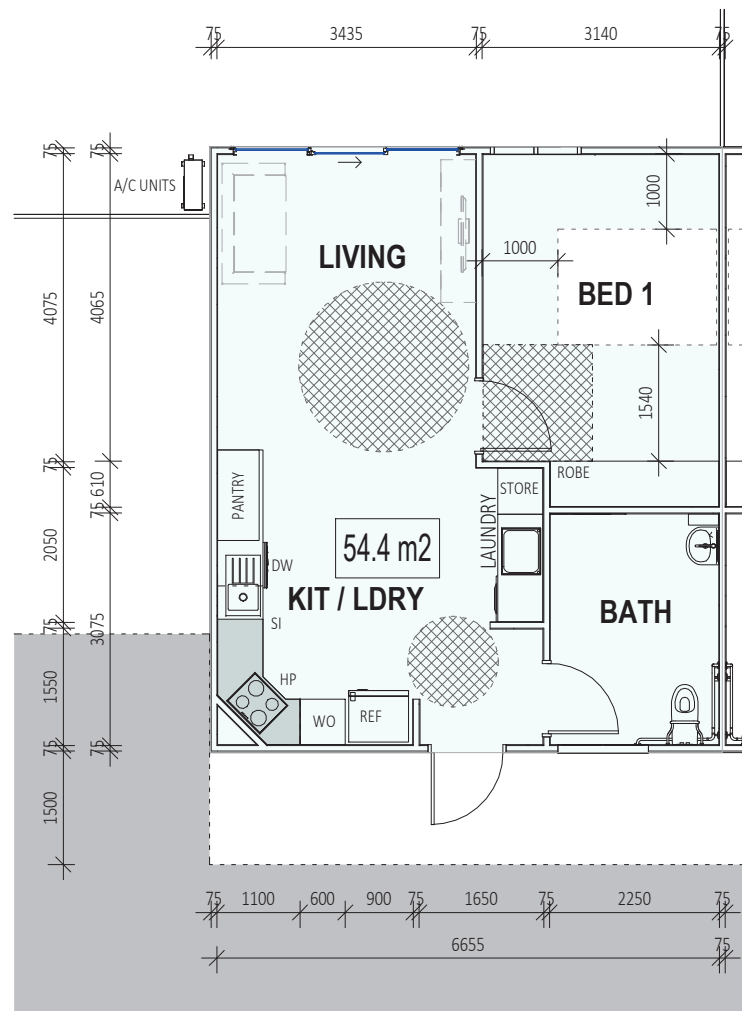
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HERNE HILL, VIC
PH: 0437 241 576
E: lousdesignndrafting@outlook.com
DP-AD 25358



LANDSCAPE
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

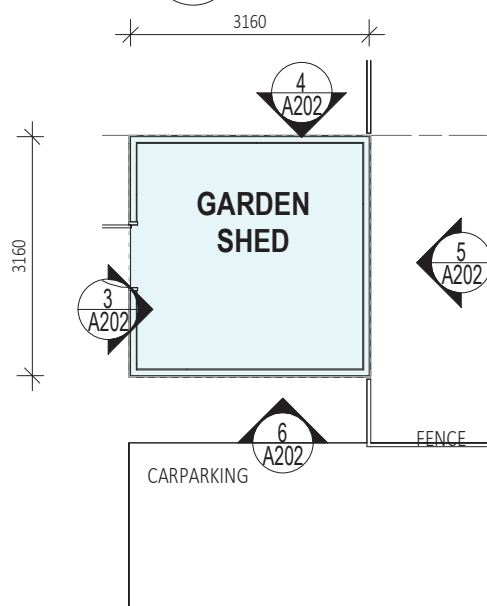
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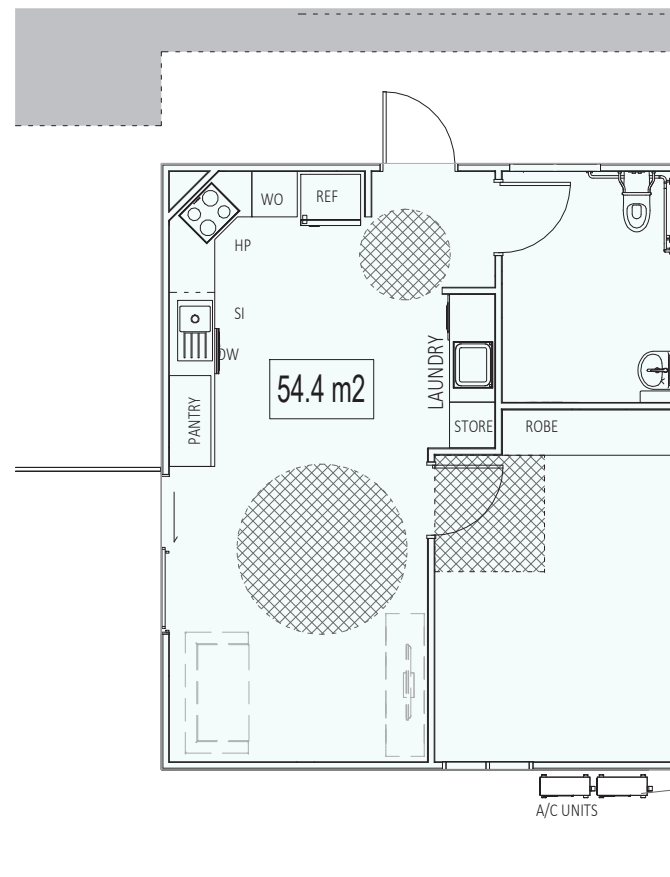


AREA	
Name	Area
UNIT 1	54 m ²
UNIT 2	54 m ²
UNIT 3	54 m ²
UNIT 4	54 m ²
UNIT 5	54 m ²
UNIT 6	54 m ²
SHARED VER 1	40 m ²
SHARED VER 2	20 m ²
386 m ²	

1 GROUND FLOOR
A201 1 : 100



3 GARDEN SHED
A201 1 : 100



4 GROUND FLOOR2
A201 1 : 100



2 3D View 2

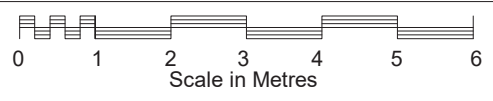
LEGEND

- COL □ STRUCTURAL COLUMN
- (D01) DOOR REFERENCE
- (W01) WINDOW REFERENCE
- NEW 90mm STUD WALLS
- EXISTING WALLS
- ▨ 190 SERIES BLOCKWORK
- (CA) CARPET TIMBER SKIRTING.
- (CO1) CONCRETE. BROOM FINISH.
- (CO2) CONCRETE. STEEL TROWEL FINISH.
- (CT) CERAMIC TILE
- (TIM) TIMBER DECKING
- BE BENCH
- CB CUPBOARD
- DRY DRYER
- FW FLOOR WASTE
- HB HAND BASIN
- HC HOSE COCK.
- KCI KEYED CONTROL JOINT. REFER STRUCTURAL DRAWINGS.
- OS OVERHEAD SHELF
- REF REFRIGERATOR
- RH RANGEHOOD
- SCJ SAW CUT JOINT. REFER STRUCTURAL DRAWINGS.
- SH SHELF
- SHR SHOWER RECESS
- SI SINK
- TR TROUGH
- WC WATER CLOSET
- WM WASHING MACHINE

Drawing number 2023/0255/03
 Referred to in Permit No: DP24/0043

PRELIMINARY

3	GARBAGE BINS & FENCE NOTES ADDED	20.09.23
2	LEVELS ADDED AND OTHER DETAIL	14.06.23
1	PLANNING SKETCH 1	16.03.23
No	Description	Date
Issue / Revision		



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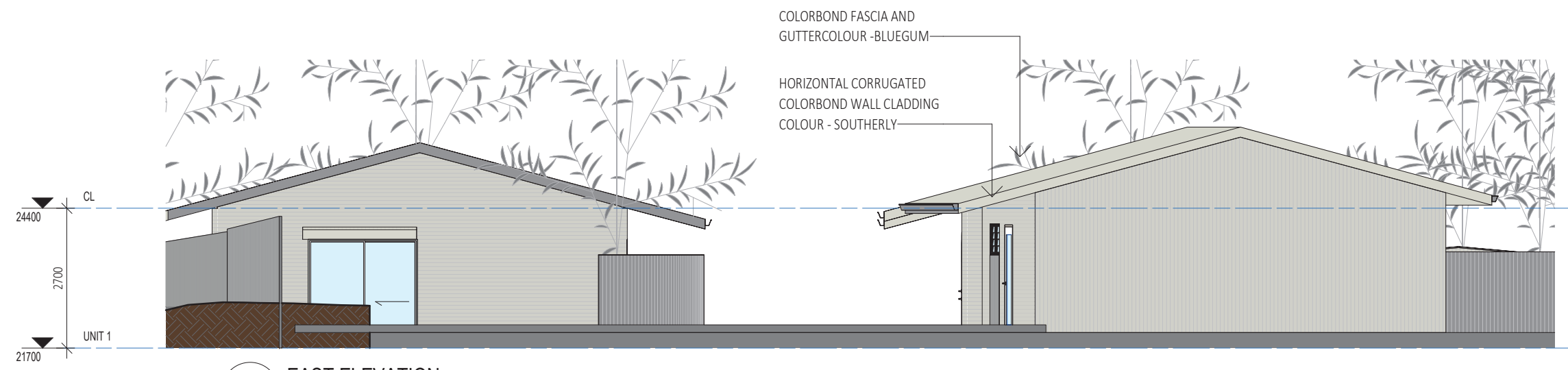
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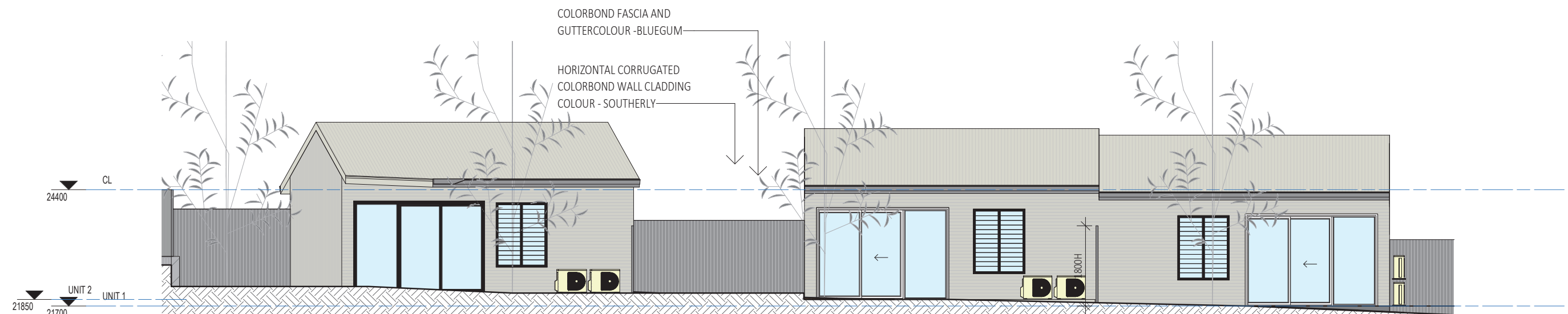
FLOOR PLANS
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 JOHNSTON, NT
 XTREME BUILD

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JOB No. XB A101	Amend. 3	

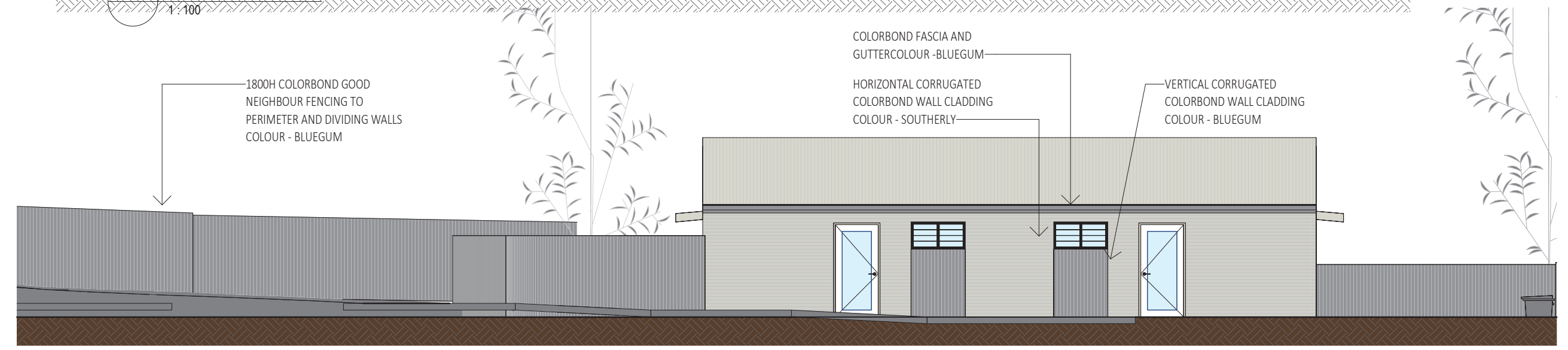
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1 EAST ELEVATION
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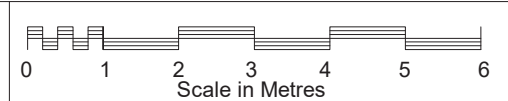


2 NORTH ELEVATION
1 : 100



3 NORTH UNITS 5-6
1 : 100

4	REDUCED UNITS TO 5	20.12.23
3	GARBAGE BINS & FENCE NOTES ADDED	20.09.23
2	LEVELS ADDED AND OTHER DETAIL	14.06.23
1	PLANNING SKETCH 1	16.03.23
No	Description	Date
Issue / Revision		



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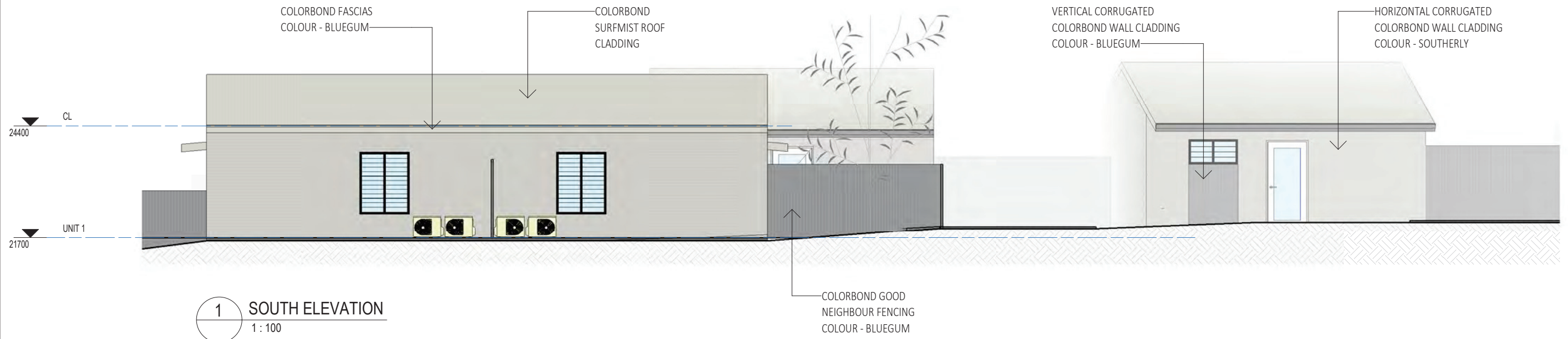
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 DP-AD 25358



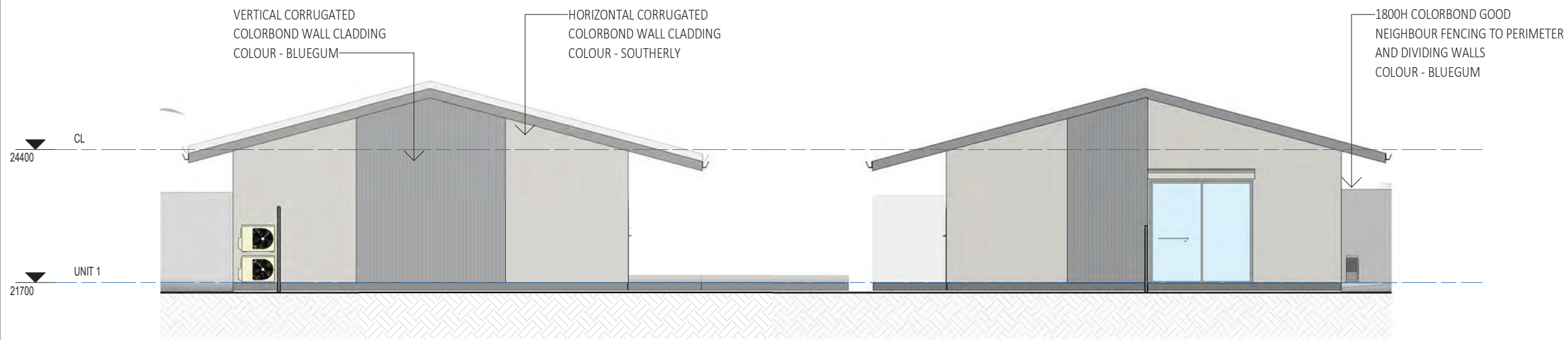
ELEVATIONS
 PROPOSED RESIDENCES
 LOT 11311, NO 5 DAVIES COURT
 JOHNSTON, NT
 XTREME BUILD

PRELIMINARY		
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JOB No. XB A201	Amend. 4	

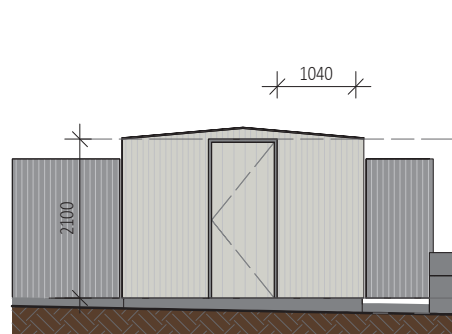
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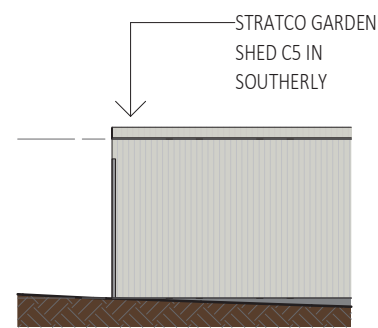
1 SOUTH ELEVATION
1 : 100



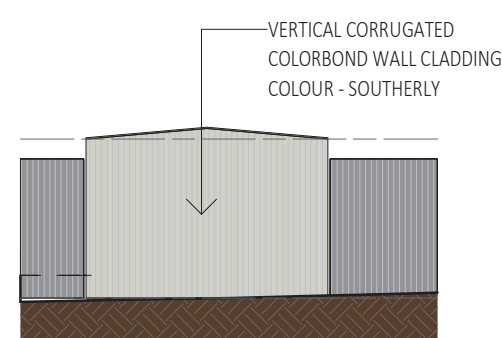
2 WEST ELEVATION
1 : 100



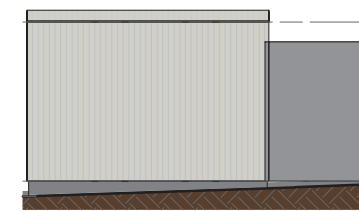
3 GARDEN SHED ELEV 1
A101 1 : 100



4 GARDEN SHED ELEV 2
A101 1 : 100



5 GARDEN SHED ELEV 3
A101 1 : 100



6 GARDEN SHED ELEV 4
A101 1 : 100

Drawing number 2023/0255/05
Referred to in Permit No: DP24/0043

PRELIMINARY

3	REDUCED UNITS TO 5	20.12.23
2	GARBAGE BINS & FENCE NOTES ADDED	20.09.23
1	LEVELS ADDED AND OTHER DETAIL	14.06.23
No	Description	Date
Issue / Revision		

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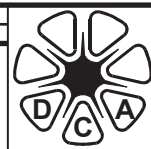
15 RIX STREET
HERNE HILL, VIC
PH: 0437 241 576
E: lousdesignndrafting@outlook.com
DP-AD 25358

Lou's Design and Drafting

ELEVATIONS
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

Scale 1 : 100	Date 17.12.22	Drawn By L. ANDREW
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JOB No. XB A202	Amend. 3	

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Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8980 0700

In reply please quote: PA2023/0255

Gerard Rosse
gerard@crtpc.com.au

Dear Mr Rosse

NOTICE OF CONSENT (SECTION 53B OF THE PLANNING ACT 1999) LOT 11311 (5) DAVIES COURT, JOHNSTON, TOWN OF PALMERSTON

The Development Consent Authority has determined, to vary the requirements of Clause 5.2.4.1 (Car Parking Spaces), 5.2.4.4 (Layout of car parking areas), 5.4.1 (Residential Density), and 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures), of the Northern Territory Planning Scheme 2020, and, pursuant to section 53(a) of the *Planning Act 1999*, grant consent to the proposal to use and develop the abovementioned land for the purpose of dwelling-group (5 x 1 bedroom) in 3 x 1 storey buildings,, subject to the conditions specified on the attached Development Permit DP24/0043.

Reasons for the Determination

1. Pursuant to section 51(1)(a) of the *Planning Act 1999*, the consent authority must take into consideration the planning scheme that applies to the land to which the application relates.

The NT Planning Scheme 2020 applies to the land and dwellings-group requires consent under Clause 1.8 (When development consent is required). It is identified as Merit Assessable under Clause 1.8(1)(b)(i), therefore Clause 4.3 (Zone LMR – Low-Medium Density Residential), 5.2.1 General Height Control), 5.2.4 (Car Parking), 5.2.6 (Landscaping), 5.2.7 (Setbacks for Development Adjacent to Land in Zones LR, LMR, MR or HR), 5.4.1 (Residential Density), 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures), 5.4.4 (Extensions and Structures Ancillary to a Dwelling-Group or Dwelling-Multiple Development), 5.4.6 (Private Open Space), 5.4.8 (Residential Building Design), 5.4.17 (Building Articulation), need to be considered.

These clauses have been considered and it is found that the proposal complies with the relevant requirements of the Planning Scheme except for Clauses 5.2.4.1 (Car Parking Spaces), 5.2.4.4 (Layout of car parking areas), 5.4.1 (Residential Density) and 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures).

2. Pursuant to Clause 1.10 (Exercise of Discretion by the Consent Authority), subclause 5 of the NT Planning Scheme 2020, the consent authority may consent to a proposed development which is not in accordance with a requirement set out in Parts 3, 5 or 6 only if it is satisfied that the variation is appropriate having regard to:
 - a) The purpose and administration clauses of the requirement; and
 - b) The considerations listed under Clause 1.10(3) or 1.10(4).

This application was first considered by the Authority at its meeting on 10th November

2023. The application was subsequently deferred to enable the applicant to provide additional information that the Authority considered necessary in order to enable proper consideration of the application as follows:

- Further information/amended plans demonstrating increased compliance with Clause 5.4.1 (Residential Density), by changing the design to a maximum of 4 dwellings.
- Further information/amended plans demonstrating increased compliance with Clauses 5.2.4.1 (Car Parking Spaces) and 5.4.6.1 (Private Open Space for Dwellings-Single, Dwellings-Independent and Dwellings-Group).

In considering the initial proposal, the Authority noted six non-compliances with Part 5 requirements of the Planning Scheme with particular concerns raised in regards to dwelling density (where 1 dwelling per 190m² was proposed and 1 dwelling per 300m² is required), car parking spaces (where 7 spaces were proposed and 12 spaces are required), and private open space (where 2 dwellings proposed private open space of 32m² and 45m² is required). The Authority considered these variations, along with variations to car parking layout, building setbacks, and building articulation, and concerns raised by submitters on the potential impact of traffic and on-street parking, as grounds that it could not be satisfied that the scale of the proposed application was appropriate to the site.

The Authority also noted that whilst the proposed development was for specialist disability accommodation and that each dwelling contained one bedroom only, the number of bedrooms was not considered sufficient circumstances to warrant the extent of variations and it was not considered appropriate or enforceable to limit the development to 'specialist disability accommodation' uses only or limiting the occupancy to a single occupant per dwelling. The Authority noted that the proposal was for 'dwellings-group' as defined by the Planning Scheme.

An amended proposal was submitted 12 January 2024 and re-circulated to public submitters and City of Palmerston with no further submissions received. The amended design reduces the amount of dwellings to 5 which resulted in improved compliance with Clauses 5.2.4.1 (Car Parking Spaces) and 5.4.1 (Residential Density) as discussed below, and allowed for full compliance with Clauses 5.4.6.1 (Private Open Space for Dwellings-Single, Dwellings-Independent and Dwellings-Group) and 5.4.17 (Building Articulation).

The proposal remains non-compliant with Clauses 5.2.4.1 (Car Parking Spaces), 5.2.4.4 (Layout of car parking areas), 5.4.1 (Residential Density) and 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures) with variations requested for each.

In relation to part (a), the proposal has been found not to be in accordance with Clause 5.2.4.1 (car Parking Spaces) because 8 car parking spaces are proposed where 10 spaces are required. A variation to this clause is seen to be appropriate because:

- The reduced number of car parking is appropriate for the unique design of the development which provides for single-bedroom dwellings and, as identified by the applicant at the DCA meeting, self-limits the number of occupants to below what would normally be anticipated of a dwelling. The proposed 8 car parking spaces allow for 1 dedicated car space per dwelling and 3 shared or visitor car parks should they be required.
- The 8 oversized car parks have the ability to be converted into 11 regular spaces should it be required and would make the proposed development compliant with car parking space requirements of Clause 5.2.4.1.
- In addition, public transport in the way of public bus services are available within 350m distance of the proposed development.

For these reasons, the proposal is considered to meet the purpose of Clause 5.2.4.1 to “ensure that sufficient off-street car parking, constructed to a standard and conveniently located, are provided to service the proposed use of a site” and is not anticipated to detrimentally impact on the surrounding road network and amenity of the locality and adjoining property.

In relation to part (a), the proposal has been found not to be in accordance with Clause 5.2.4.4 (Layout of Car Parking Areas) because one section of the driveway is 3.5m, when 6m is required for two-way traffic flow. It is considered that a variation to this clause is appropriate in this instance because:

- The driveway is internal and not expected to have any adverse impacts on the local road network. The 3.5m section of driveway services only 5 car parking spaces at the rear of the site. Furthermore, an engineer’s statement was provided within the original application confirming the design supports safe manoeuvrability. The current car parking layout does not differ significantly from the original application and it is expected that safe manoeuvrability is still achievable.

For these reasons it is anticipated that the non-compliance will not result in adverse impacts on the local road network or internal functionality of the car parking area. The proposal is considered to meet the purpose of Clause 5.2.4.4 to ensure that “...a car parking area is appropriately designed, constructed and maintained for its intended purpose.”

In relation to part (a), the proposal has been found not to be in accordance with Clause 5.4.1 (Residential Density) with 5 dwellings proposed at a density of 1 dwelling per 228m² where the maximum dwelling density in Zone LMR (Low-Medium Density Residential) is 1 dwelling per 300m². It is considered that a variation to this clause is appropriate in this instance because:

- The proposed development of single bedroom dwellings are self-limiting in the number of occupants as described by the applicant at the DCA meeting, and building footprints and expected occupancy densities are well below that of dwellings in the surrounding locality and are unlikely to impact adversely on the surround amenity.
- No adverse comments were received from Power and Water Services or the City of Palmerston in relation to density, reticulated services or drainage and the land has been developed and zoned for LMR (Low-Medium Density Residential) purposes which shows that the land is capable of accommodating the proposed development.
- The location of the dwellings within the site itself allows appropriate setbacks to adjoining residential lots with proposed reduced setbacks only affecting the boundary adjacent to Zone CN (Conservation) land and a small portion of the primary street boundary due to a garden shed.

As such, the proposal is considered to meet the purpose of Clause 5.4.1 (Residential Density) being “ensure that the development of residential buildings:

- a) is of a density compatible with adjoining or nearby existing development or development reasonably anticipated;
- b) is of a density compatible with the existing or planned provision of reticulated services and community facilities which will service the area; and
- c) is consistent with land capability having regard to relevant characteristics including but not limited to the drainage, slope, seasonal inundation, landforms or soil characteristics, heritage constraints or noise from aircraft operations.

In relation to part (a) the proposal has been found not to be in accordance with Clause 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures) because the

garden shed has a front setback of 4.8m when 6m is required, and a residential building has a side setback of 0.9m when 1.5m is required. It is considered that a variation to this clause is appropriate in this instance because:

- The shed requiring the reduced setback is relatively small and sympathetic to the streetscape and surrounding developments and blends well with the proposed dwelling-group. The size and orientation of the structure minimises any adverse effects of building massing and overlooking of neighbouring properties and does not unduly prevent breeze penetration through and between buildings. The small shed is not an uncommon development within residential areas and is screened from the primary street by landscaping so that it is unlikely to cause negative impact on adjoining and nearby property.
- The non-compliance along the south-eastern side boundary is located approximately 19m from the primary street and is unlikely to have a detrimental effect on the streetscape. The boundary where the non-compliance occurs is adjacent to Zone CV (Conservation) where there is no development. As the non-compliance is well setback from the Primary Street and only affects one corner of the building, it is not likely to cause adverse effects of building massing and undue overlooking or likely prevent breeze penetration. Despite the setback reduction, the building remains appropriate to the site and locality.

The proposal is considered to meet the purpose of Clause 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures) being to “ensure that residential buildings and ancillary structures are located in a manner that:

- a) is compatible with the streetscape and surrounding development including residential buildings on the same site;
- b) minimises adverse effects of building massing when viewed from adjoining land and the street;
- c) avoids undue overlooking of adjoining properties; and
- d) facilitates breeze penetration through and between buildings.”

In relation to part (b) the considerations listed under Clause 1.10(3) have been given regard to and it has been found that the proposal complies with all relevant requirements of the NT Planning Scheme 2020, except for Clauses 5.2.4.1 (Car Parking Spaces), 5.2.4.4 (Layout of car parking areas), 5.4.1 (Residential Density) and 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures), as identified above.

3. Pursuant to section 51(1)(e) of the *Planning Act 1999*, the consent authority must take into consideration any submissions made under section 49, and any evidence or information received under section 50, in relation to the development application.

City of Palmerston (Council) provided a submission objecting to the initial application with concerns relating to the non-compliant density of the proposal and over development of the site consequently leading to a number of other non-compliances. Council also raised specific concerns in relation to the non-compliant car parking rate and the probability of this creating on street parking issues in a cul-de-sac location.

A copy of the revised application was issued to Council who did not provide further comment, however it was observed at the DCA meeting that Council were more comfortable with the updated proposal but still noted the non-compliant number of oversized car parks. Council questioned what would trigger the oversized car parks to be converted to a compliant number of regular sized car parks at which the Chair did not believe that a mechanism could be placed on the permit to do so. In response the applicant advised the specialist disability accommodation anecdotally has lower car parking demands than regular dwellings and has improved the non-compliance to car parking and other requirements substantially.

Council also suggested a conditions precedent for a stormwater plan and other servicing and access details, and standard conditions.

Concerns were similarly raised by public submitters of which there were three in relation to the originally exhibited proposal. A copy of the revised application was circulated to public submitter who did not provide further comment. Concerns from public submitters were primarily in regards to the character of future occupants (which the Planning Scheme does not provide consideration for), adverse impacts to amenity from an increase of vehicle movements or traffic, and the potential for the development to generate on-street car parking issues.

In response to both Council and public submitters, the revised proposal reduces the density of the development as originally proposed. The overall scale of the development when considering the footprint and expected occupancy density per dwelling, is well below that of neighbouring dwellings and the broader locality, and is of a lesser scale than would usually be anticipated within Zone LMR (Low to Medium Density Residential). Whilst the proposal provides for 8 oversized car parks, these have the potential to be converted to 11 regular car parking spaces, beyond what is required by the Planning Scheme. It is also considered that the location of the subject site, at the end of a cul-de-sac bounded by an area of native vegetation rather than residential allotments, reduces any perceived negative impacts to the road network and on-street car parking issues.

It should also be noted that dwellings-group as a defined use of the NT Planning Scheme, is one of a number of expected and anticipated uses within Zone LMR (Low to Medium Density Residential).

4. Pursuant to section 51(1)(j) of the *Planning Act 1999*, the consent authority must take into consideration the capability of the land to which the proposed development relates to support the proposed development and the effect of the development on the land and on other land, the physical characteristics of which may be affected by the development.

The land can be connected to reticulated services and is identified and zoned for LMR (Low-medium Density) purposes and can support the development of a dwellings-group.

5. Pursuant to section 51(1)(n) of the *Planning Act 1999*, the consent authority must take into consideration the potential impact on the existing and future amenity of the area in which the land is situated.

The proposal seeks to build on an undeveloped and underutilised lot zoned for low to medium density residential development. The proposed single bedroom dwellings are self-limiting in the number of occupants and the overall scale of the development when considering the footprint and expected occupancy density per dwelling, is well below that of neighbouring dwellings and the broader locality and unlikely to impact adversely on the amenity of the locality.

Right of Appeal

Applicants are advised that a right of appeal to the Northern Territory Civil and Administrative Tribunal exists under Part 9 of the *Planning Act 1999*. An appeal under section 114 against a determination of a development application must be made within 28 days of the service of this notice.

The Northern Territory Civil and Administrative Tribunal can provide information regarding the Notice of Appeal form and fees payable. The address for lodgement of a Notice of Appeal is: Northern Territory Civil and Administrative Tribunal, PO Box 41860 CASUARINA NT 0810 or Level 1, The Met Building, 13 Scaturchio Street, CASUARINA NT 0810 (Telephone: 08 8944 8720 or Facsimile 08 8922 7201 or email AGD.ntcat@nt.gov.au).

There is no right of appeal by a third party under section 117 of the *Planning Act 1999* in respect of this determination as section 117(4) of the Act and regulation 14 of the Planning Regulations 2000 apply to the application.

If you have any queries in relation to this Notice of Consent or the attached Development Permit, please contact Development Assessment Services on telephone (08) 8999 6046.

Yours faithfully



Digitally signed by
Adelle Godfrey
Date: 2024.02.22
16:10:08 +09'30'

Adelle Godfrey
Delegate

22 February 2024

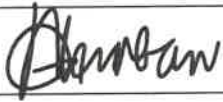
Attachment


cc City of Palmerston
Submitters

Land owner/s authorisation to lodge a development application under the Planning Act 1999

****signatures from ALL landowners registered on the land title must be provided****

The owners and/or persons duly authorised as signatory on behalf of the landowner**, hereby authorise:		
NAME OF CONSULTANT OR ACTING AGENT ON BEHALF OF LANDOWNER (please print)	Cunnington Rosse Town Planning and Consulting	
Contact number:	Ph:	Mob: 0456 635 997
to lodge a development application under the <i>Planning Act 1999</i> over the property described as:		
LOT/ NT PORTION:	LOT 11311	
LOCATION/TOWN	TOWN OF PALMERSTON	
STREET ADDRESS:	5 DAVIES COURT, JOHNSTON	
PROPOSED DEVELOPMENT:	6 X 1 BEDROOM DWELLINGS-GROUP IN 2 X 1 STOREY BUILDINGS	

OWNER'S SIGNATURE:		
FULL NAME: (please print)	Maria Rizza Gumban	
TITLE: (ie. company director/secretary)		
COMPANY NAME:		
Contact number:	Ph: 08 89712828	Mob: 0414336949
DATE:	26/11/2024	

OWNER'S SIGNATURE:		
FULL NAME: (please print)	Roliber Gumban	
TITLE: (ie. company director/secretary)		
COMPANY NAME:		
Contact number:	Ph: N/A	Mob: 0404451498
DATE:	26/11/2024	

December 2024

Level 1 Energy House
18-20 Cavenagh Street
Darwin NT 0800

Attention: Manager, Development Assessment Services

Dear Sir/Madam,

RE: Variation to DP24/0043
5 Davies Court, Johnston (Lot 11311 Town of Palmerston)

Cunnington Rosse Town Planning and Consulting have been engaged to prepare, lodge and manage an application to vary Development Permit DP24/0043 at 5 Davies Court, Johnston (Lot 11311, Town of Palmerston).

1.0 Site and Locality

Lot 11311 is a 1,140m² parcel located at the end of the Davies Court cul-de-sac within Zone LMR (Low Medium Density Residential). The site is flat, cleared, and undeveloped (refer **Photograph 1** below), with vacant land to the rear, a single dwelling immediately to the north, and bushland immediately to the south.



Photograph 1: View of the site from Davies Court

Figure 1 demonstrates the zoning layout in immediate proximity of the site. Land to the west and northwest is within Zone LR (Low Density Residential) and is developed with single dwellings. Lot 12211 is directly adjacent to the site along the rear north eastern boundary and is within Zone LMR (Low Medium Density Residential). Land directly to the south and further to the north is vegetated with virgin native bushland and within Zone CN (Conservation).

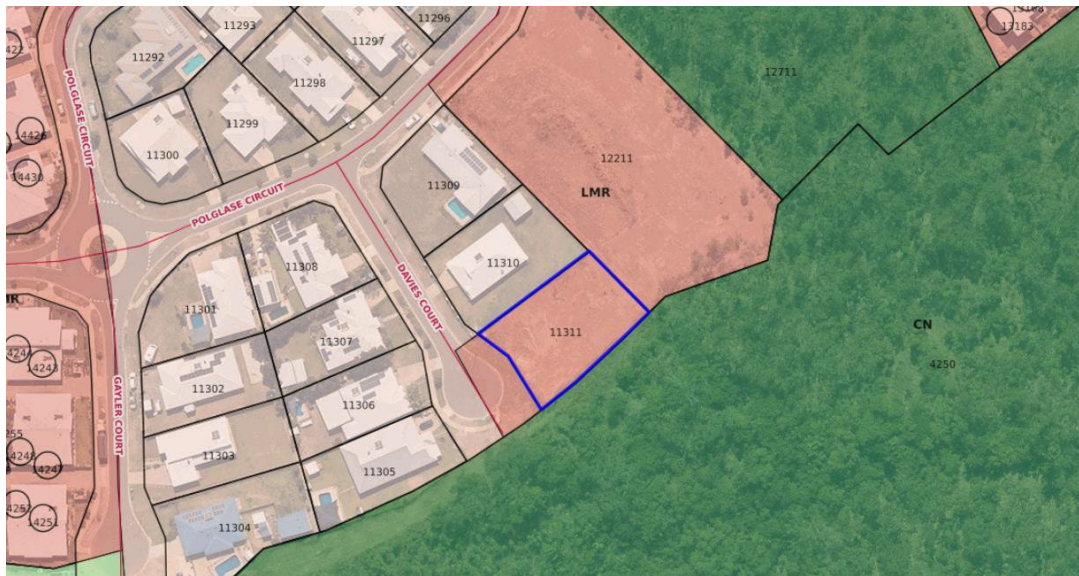


Figure 1: Site and Zoning Plan

2.0 Planning History

Development Permit DP15/0356 was issued over the site in June 2015 for the purpose of 4 x 3 bedroom multiple dwellings in 3 single storey buildings. The Permit has since lapsed.

Development Permit DP24/0043 was subsequently issued on 22 February 2024 for the purpose of dwelling-group (5 x 1 bedroom) in 3 x 1 storey building with variations granted to Clauses 5.2.4.1 (Car Parking Spaces), 5.2.4.4 (Layout of car parking areas), 5.4.1 (Residential Density), and 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures) of the *Northern Territory Planning Scheme 2020* (the Scheme).

A copy of the development permit, notice of consent and endorsed drawings are provided at **Attachment A**.

3.0 Proposed Variation

This application seeks to vary condition 4 of DP24/0043 to allow minor changes to the approved development, comprising:

- the addition of a path providing pedestrian access to the site from the street separated from the driveway area resulting changes to the front landscaping; and

- a reduction in the width of car parking bays and resulting changes to the landscaping around the parking spaces.

All proposed changes will not impact on the development's approved level of compliance with the relevant requirements of the Scheme. A copy of the amended plans is provided at **Attachment B**.

4.0 Statutory Considerations

Pursuant to **Section 57(3)** of the *Northern Territory Planning Act 1999* (the Act), the consent authority may vary the condition of a development permit if:

- a) the proposed variation will not alter a measurable aspect of the development by a margin greater than 5% and, in the opinion of the consent authority, will not materially affect the amenity of adjoining or nearby land or premises; or*
- b) in the opinion of the consent authority, the alteration resulting from the proposed variation is not conveniently measurable and the proposed variation will not materially affect the amenity of adjoining or nearby land or premises.*

A variation is therefore required to meet 2 tests; (1) it does not alter a measurable aspect of the development by a margin greater than 5% or the variation is not conveniently measurable, and (2) it will not materially affect the amenity of adjoining or nearby land or premises.

4.1 Measurable Aspects

Measurable aspects are taken to be considered in relation to the relevant requirements of the Scheme. Measurable aspects of the development thereby include building height, the provision of car parking, dwelling density, building setbacks, and the provision of landscaping including private open space. The building height, dwelling density and building setbacks remain unchanged.

DP24/0043 granted a variation to the parking requirements of Clause 5.2.4.1 (as specified on the Development Permit) from 10 spaces to 8 spaces. The proposal continues to provide 8 spaces.

Dimensions of the proposed car parking spaces have been reduced but are offset by an increase in landscaping and private open space provided on site. The car parking spaces have been reduced from 3.7m-3.8m x 5.5m to 2.5m x 5.5m but remain compliant with the dimensional requirements of Clause 5.2.4.4. This results in an equivalent increase in landscaping across the site, noting that landscaping is not limited to permeable surfaces, but also (pursuant to Clause 5.2.6.1(1)) includes the provision of paved areas and areas for entertainment and recreational activities (i.e. the proposed new pedestrian walkway). Accordingly, the amended proposal remains compliant with the landscaping requirements of Clause 5.4.6.1. Similarly the proposed minor changes have resulted in a minor

increase in the overall private open space areas provided by the development (261m² to 281m²), and all individual private open space areas remain compliant with the requirements of Clause 5.2.6.1.

Considering that the proposed changes maintain compliance with the relevant requirements of the Scheme and have been developed to produce an overall improvement in the amenity of the development by way of more landscaping and improved safe pedestrian access to the site, the measurable aspects, when considered as a holistically, are not conveniently measurable.

4.2 Amenity Impacts

Amenity is defined in Schedule 2 of the Scheme as *any quality, condition or factor that makes or contributes to making the locality or building harmonious, pleasant or enjoyable*. For the reasons described above, the proposed changes will not have any negative impact on the amenity of the immediate or broader locality, and will improve the amenity of the development through more landscaping and improved safe pedestrian access to the site.

5.0 Conclusion

The proposed variation is for minor changes to the development approved through DP24/0043 resulting in no changes to the developments overall compliance with the relevant requirements of the Scheme. For the reasons provided in **Section 4** of this letter, the proposal meets the statutory requirements of a variation application, as set out in **Section 57(3)** of the Act. Accordingly, this application seeks approval of the abovementioned working through a variation permit.

Please do not hesitate to contact the undersigned with any queries regarding this matter.



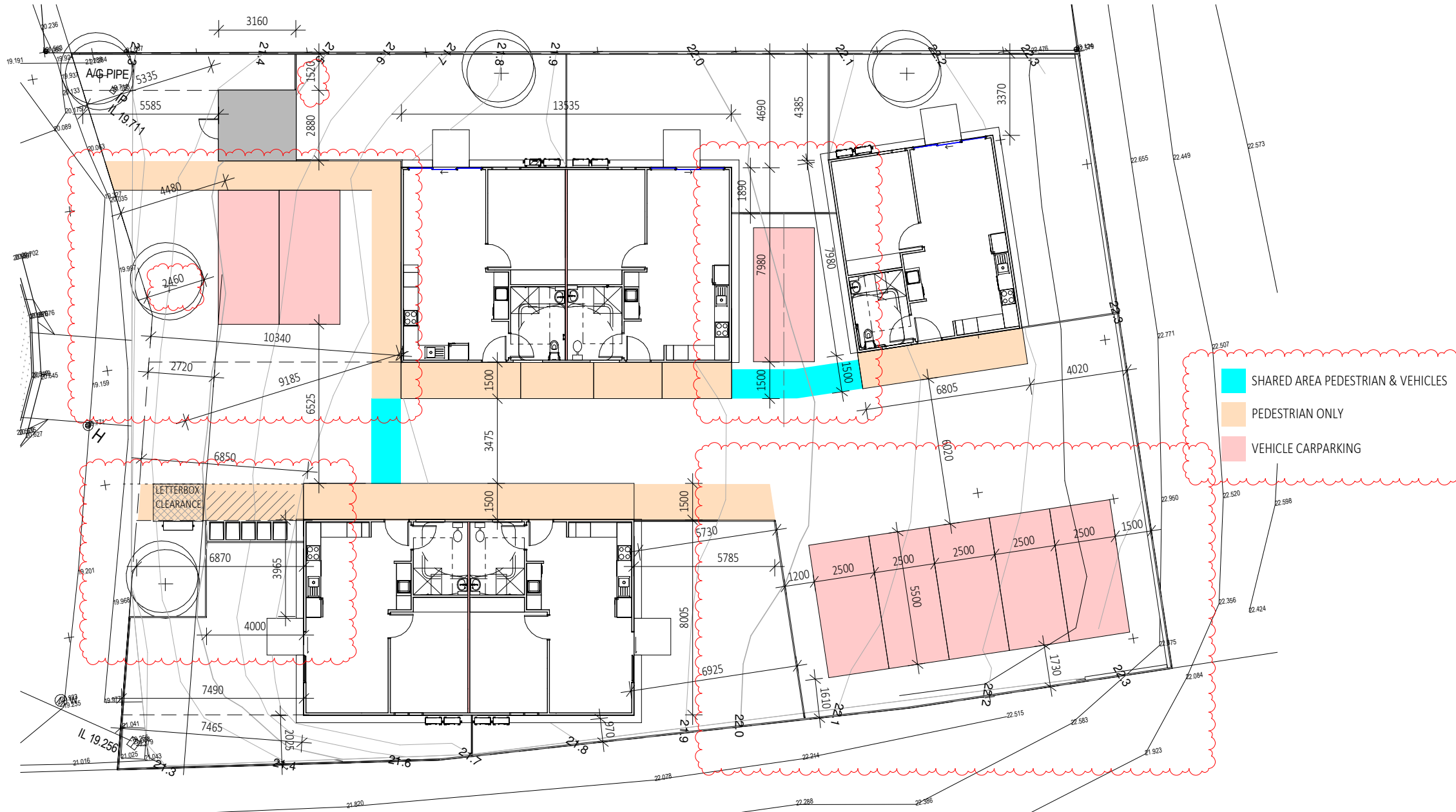
Gerard Rosse
Cunnington Rosse Town Planning and Consulting

PROPOSED RESIDENCES

AT LOT 11311, NO 5, DAVIES COURT

JOHNSTON, NT

DRAWING LIST		
A000	TITLE SHEET & SETOUT	7
A002	CARPARKING - OOA CARER	4
A003	LANDSCAPE	7
A004	SITE ANALYSIS	6
A100	GENERAL NOTES	2
A101	FLOOR PLANS TYPICAL	7
A102	FLOOR PLANS UNIT 1,2 & 3	3
A103	FLOOR PLANS UNIT 4 & 5	2
A104	ROOF PLAN	4
A105	REFLECTED CEILING PLAN	2
A106	ELECTRICAL	1
A107	CIRCULATION & RAMP DETAIL	2
A201	ELEVATIONS	6
A202	ELEVATIONS	5
A203	ELEVATIONS	4
A301	SECTIONS	3
A302	SECTIONS	2
A401	DETAILS	2
A501	SCHEDULES	2
A502	DOOR HANDLES & LIGHTSWITCH	2
A600	WET AREA ELEVATIONS	3
A601	WET AREA ELEVATIONS	2
A602	WATERPROOFING DETAIL	1
A603	WATERPROOFING DETAIL	1
A604	WATERPROOFING DETAIL	1
A605	WATERPROOFING DETAIL	1
A606	WATERPROOFING DETAIL	1



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SITE WORK

1 SETOUT PLAN
A201 1:200

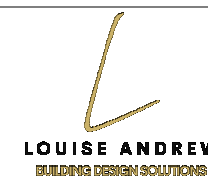
FOR CONSTRUCTION

7	AMENDMENTS FOR NDIS	14.11.24
6	AMENDMENTS FOR NDIS	02.09.24
5	ISSUED FOR PERMIT	24.07.24
4	REDUCED UNITS TO 5	16.01.24

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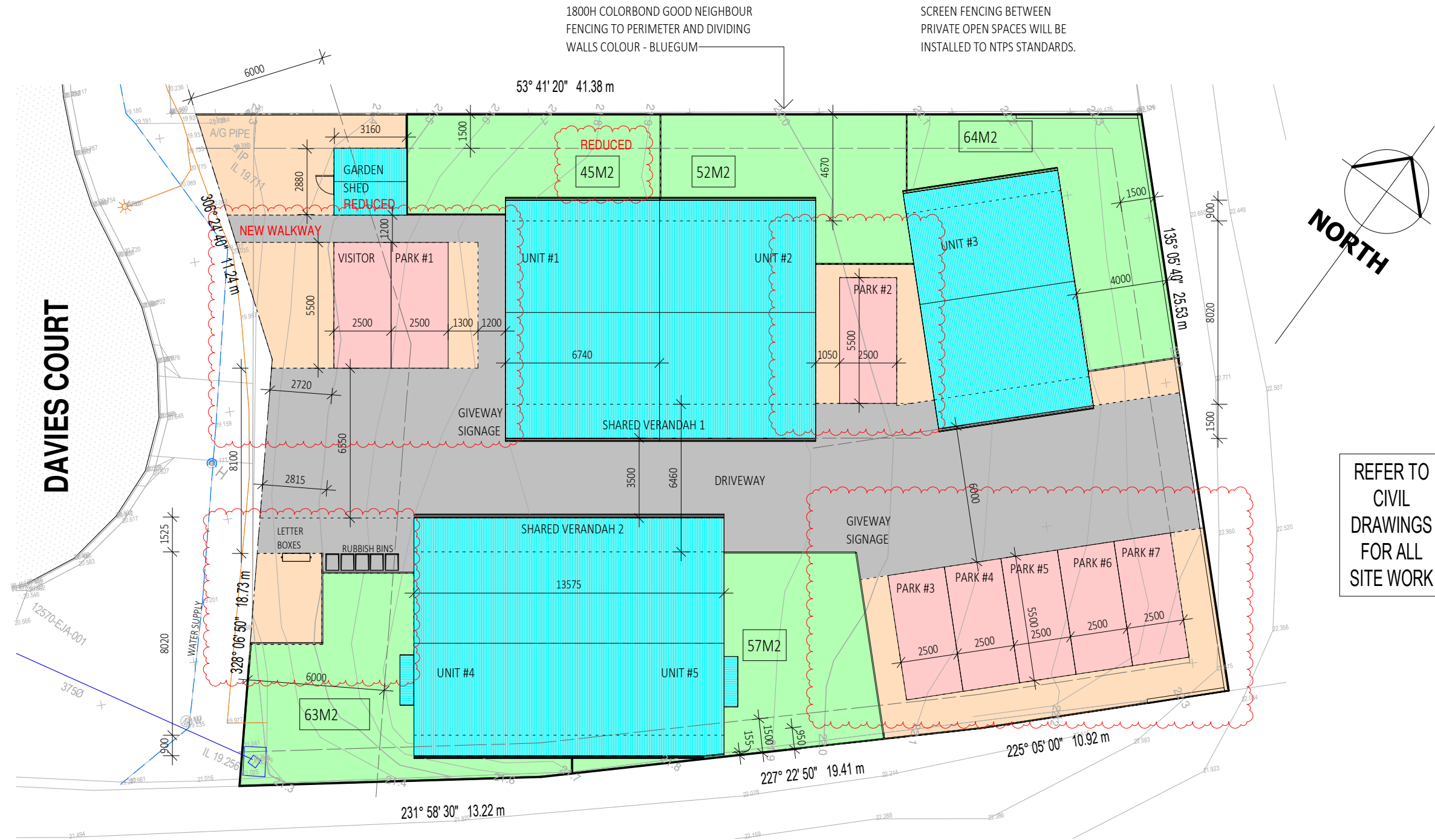
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TITLE SHEET & SETOUT
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

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Saved As SPRINGS ROAD		
JOB No. XB A000	Amend. 7	



1 SITE PLAN - OOA/CARER
A201 1:200

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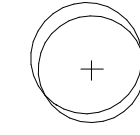









CARPARKING - OOA CARER
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

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JOB No. XB A002	Amend. 4	

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LEGEND

-  PONGAMIA
MILLETIA PINNATA
(MIN 25L POT SIZE)
-  HOP BUSH
DODONEA PLATYPTERA
(MIN 45L POT SIZE)
-  RUFFLED FAN PALM
LICUALA GRANDIS
(min height 2m)
-  NATIVE DRACANAE
PLEOMELE ANGUSTIFOLIO
(min height 2m)
-  1.
SPIDER LILY
HYMENOCALLIS LITTORALIS
-  2.
-  BIRD OF PARADISE
STRELITZIA REGINAE
-  CONCRETE KERB
-  HOSE COCK

NOTE:

- 75% OF LANDSCAPING TO BE ENDEMIC.
- MIN 2 No SHADE TREES (45L POT SIZE) ARE TO BE PROVIDED TO THE FRONT YARD.
- MINIMUM 5 No SHADE TREES (25L POT SIZE ARE TO BE PROVIDED TO THE SECONDARY STREET FRONTAGE



REFER TO CIVIL DRAWINGS FOR ALL SITE WORK

1 LANDSCAPE PLAN
A201 1 : 200

7	AMENDMENTS FOR NDIS	14.11.24
6	AMENDMENTS FOR NDIS	02.09.24
5	ISSUED FOR PERMIT	24.07.24
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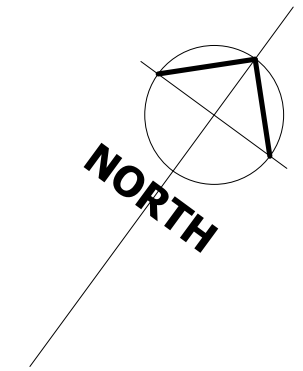
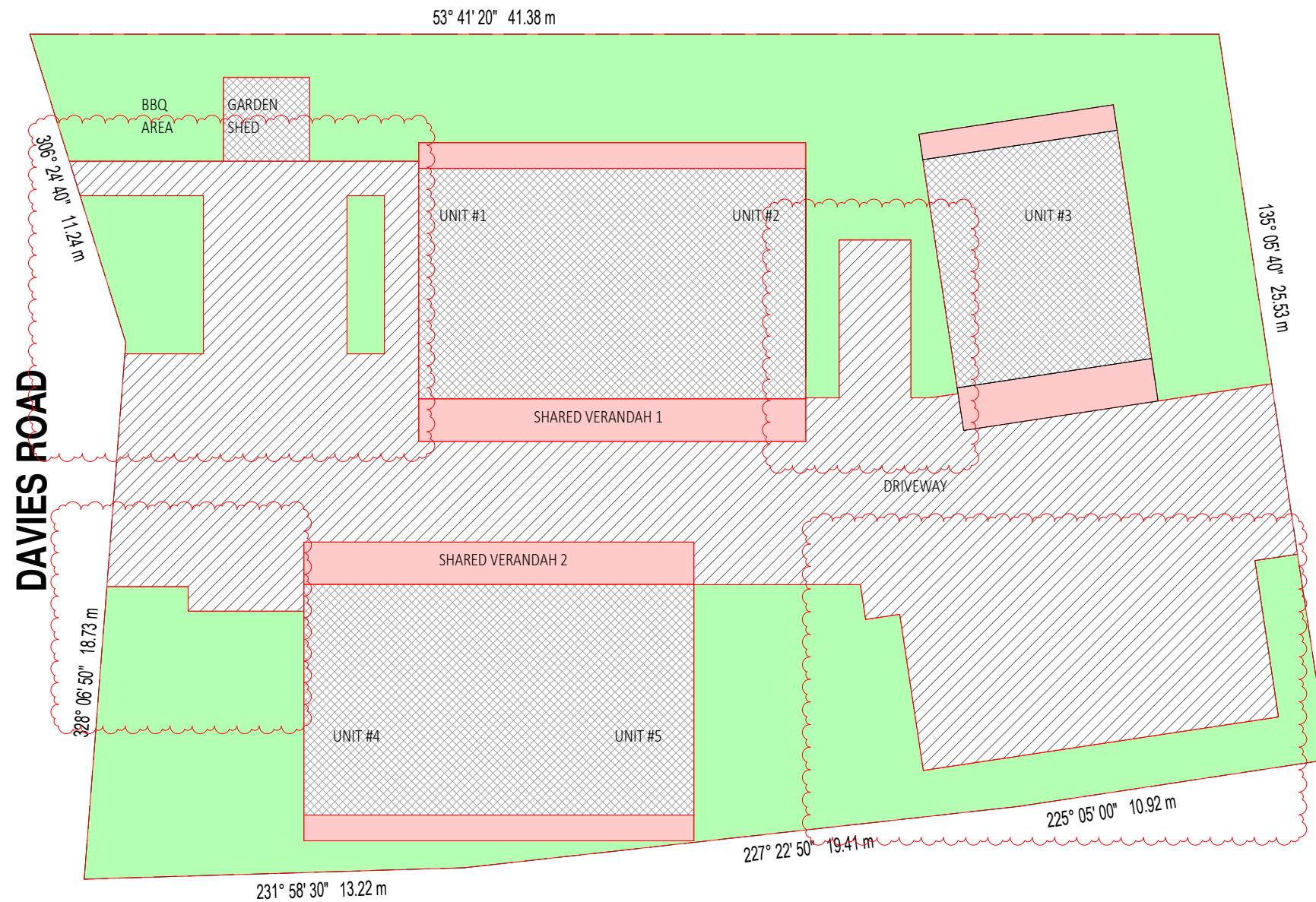
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LANDSCAPE
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

FOR CONSTRUCTION		
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1 SITE ANALYSIS
A201 1 : 200

SITE ANALYSIS SCHEDULE			
SITE AREA	1147.186M2	100%	
IMPERMEABLE (RESIDENCE/BBQ/SHED)	280.559M2	24.5%	
IMPERMEABLE (PATHS ETC)	373.348M2	32.54%	
IMPERMEABLE (EAVES/VER)	80.788M2	7.1%	
PERMEABLE (GARDEN)	413.165M2	35.86%	

6	AMENDMENTS FOR NDIS	14.11.24
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SITE ANALYSIS
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

FOR CONSTRUCTION

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GENERAL NOTES

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, NATIONAL CONSTRUCTION CODE SERIES 2022 BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2022 BUILDING CODE OF AUSTRALIA VOLUME 2.
- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA. WHERE A PERFORMANCE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.
- GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH:
 - BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3; AND
 - BCA VOL 1 PART B1.4 FOR CLASS 2 AND 9 BUILDINGS.
- WATERPROOFING AND WATER RESISTANCE OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: *WATERPROOFING OF DOMESTIC WET AREAS*.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.
- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
 - RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM
 - GOING (G) 355MM MAXIMUM AND 240MM MINIMUM
 - 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM
 - WITH LESS THAN 125MM GAP BETWEEN OPEN TREADS.
- ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P4 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) TO BE:
 - 1000MM MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
 - 865MM MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
 - VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND
 - ANY HORIZONTAL ELEMENT WITHIN THE BARRIER BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- WIRE BARRIER CONSTRUCTION TO COMPLY WITH NCC 2022 BCA PART 3.9.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2022 BCA VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.
- TOP OF HAND RAILS TO BE MINIMUM 865MM VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.
- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
- WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE BUILDING IS TO BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM.
- CONCRETE STUMPS:
 - UP TO 1400MM LONG TO BE 100MM X 100MM (1 NO. H.D. WIRE)
 - 1401MM TO 1800MM LONG TO BE 100MM X 100MM (2 NO.H.D. WIRES)
 - 1801MM TO 3000MM LONG TO BE 125MM X 125MM (2 NO. H.D. WIRES)
 - 100MM X 100MM STUMPS EXCEEDING 1200MM ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED.
- BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS 4773.1-2015 'MASONRY IN SMALL BUILDINGS' PART 1: DESIGN.

- ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT
- SITE PLAN MEASUREMENTS IN METRES – ALL OTHER MEASUREMENTS IN MILLIMETRES UNLESS NOTED OTHERWISE.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF *LOUISE ANDREW BUILDING DESIGN SOLUTIONS* ("THE DESIGNER") FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF *LOUISE ANDREW BUILDING DESIGN SOLUTIONS*, EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO *LOUISE ANDREW BUILDING DESIGN SOLUTIONS*.
- THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ALL VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING ANY VARIATION.

STORMWATER

- 90 MM DIA. CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION.
- THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN - 100MM – UNDER SOIL
- 50MM – UNDER PAVED OR CONCRETE AREAS
- 100MM – UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
- 75MM – UNDER REINFORCED CONCRETE DRIVEWAYS

SITE ENVIRONMENT DESIGN INFORMATION

SITE CLASSIFICATION

- SITE CLASSIFICATION AS CLASS: *P EQUIVALENT TO S*
- REFER TO SOIL REPORT NO: NTG20243961
- BY: *WANT GEOTECHNICS PTY LTD*

DESIGN GUST WIND SPEED / WIND CLASSIFICATION

- BUILDING TIE-DOWNS TO BE PROVIDED IN ACCORDANCE WITH AS1684-2010 FOR AN ASSUMED DESIGN GUST WIND SPEED / WIND CLASSIFICATION OF *N3* (SUBJECT TO CONFIRMATION ON SITE BY RELEVANT BUILDING SURVEYOR AT FIRST INSPECTION) REFER TO AS1684 FOR CONSTRUCTION REQUIREMENTS.

CLIMATE ZONE

- CLIMATE ZONE FOR THERMAL DESIGN / THERMAL PERFORMANCE ASSESSMENT: *ZONE 1*.

CORROSION PROTECTION OF BUILT-IN STRUCTURAL MEMBERS

- PROVIDE CORROSION PROTECTION OF BUILT-IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS, ACCESSORIES (OTHER THAN WALL TIES) IN ACCORDANCE WITH TABLE 4.1 OF AS4773.1-2015 MASONRY IN SMALL BUILDINGS, PART 1: DESIGN SUITABLE FOR AN ENVIRONMENT CLASSIFICATION OF *C2*
- **CORROSION PROTECTION FOR SHEET ROOFING**
- PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH BCA TABLE 3.5.1.1A SUITABLE FOR AN ENVIRONMENT CLASSIFICATION OF *C2*.

AUTHORITIES / CONSULTANTS

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- CONSULTING ENGINEER - RAPID ENGINEERING
- PH 0450 110 717
- CIVIL ENGINEER - PRECISION CIVIL AND HYDRAULIC ENGINEERING
- PH 0439 390 835

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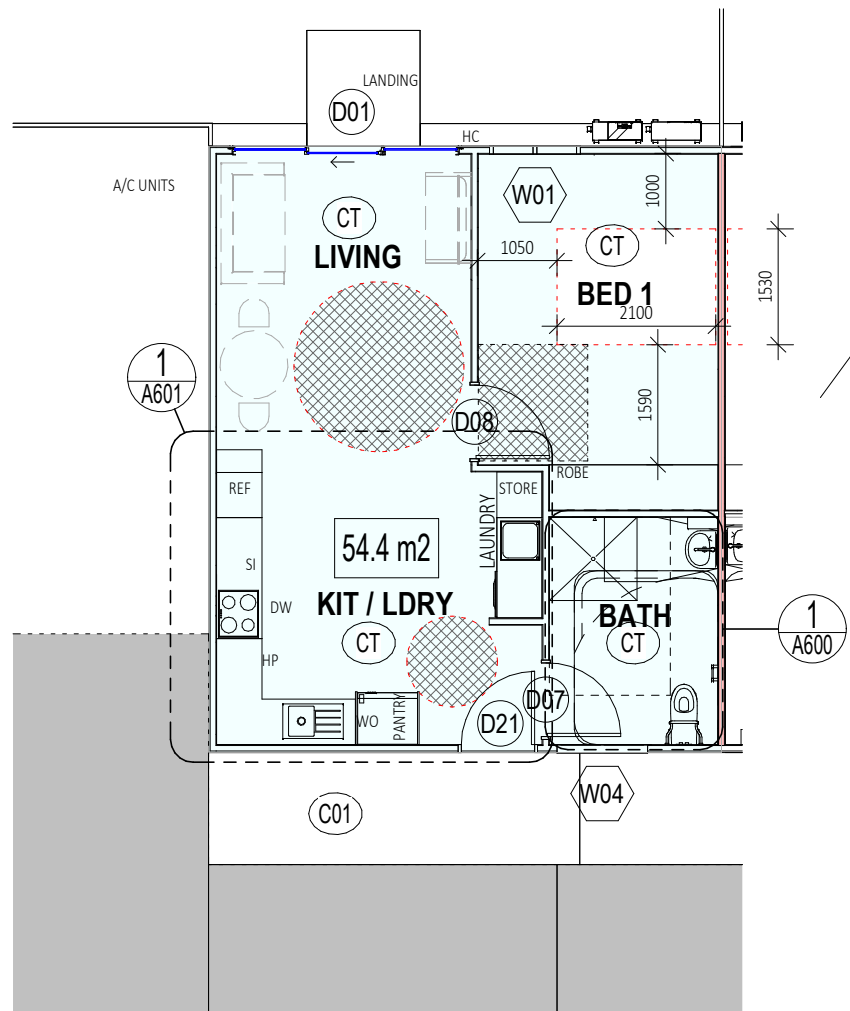
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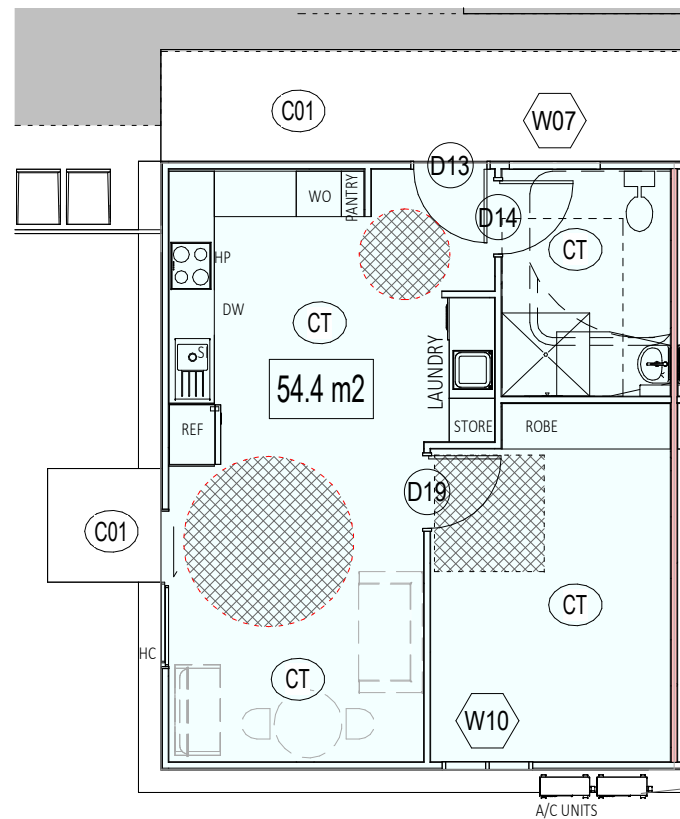
GENERAL NOTES
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

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1 GROUND FLOOR
A201 1 : 100

AREA	
Name	Area
UNIT 1	54 m ²
UNIT 2	54 m ²
UNIT 3	55 m ²
UNIT 4	54 m ²
UNIT 5	54 m ²
SHARED VER 1	20 m ²
SHARED VER 2	20 m ²
GARDEN SHED	10 m ²
	323 m ²



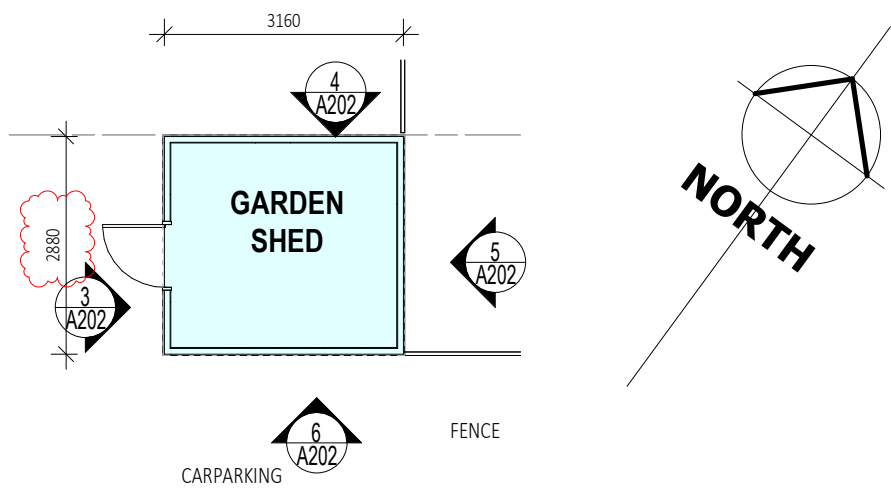
4 GROUND FLOOR2
A201 1 : 100

LEGEND

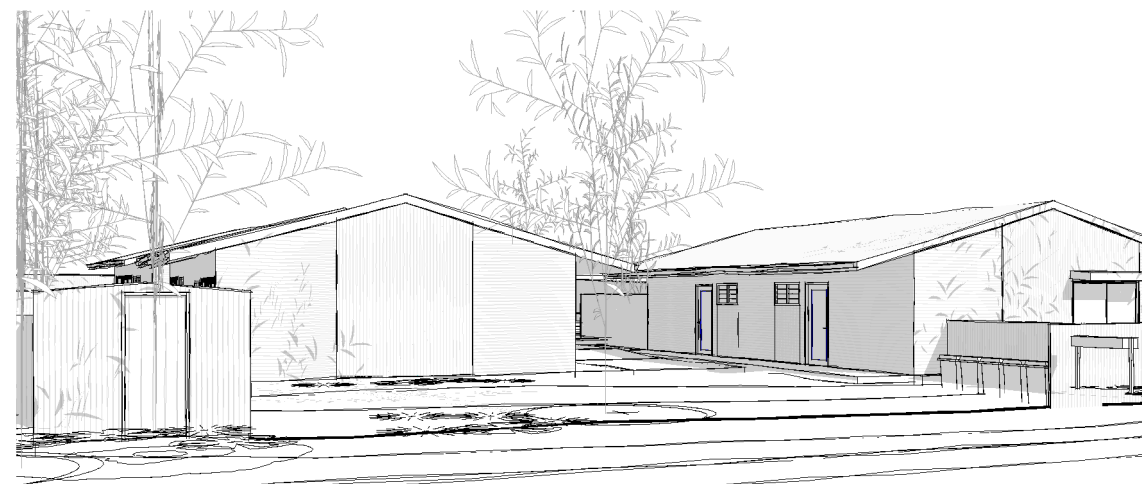
- COL □ STRUCTURAL COLUMN
- D01 DOOR REFERENCE
- W01 WINDOW REFERENCE
- NEW 90mm STUD WALLS
- FIRE RATED WALLS 90/90/90
- (C01) CONCRETE, BROOM FINISH.
- (C02) CONCRETE, STEEL TROWEL FINISH.
- (CT) CERAMIC TILE- Slip resistance of all floors shall be minimum of P3 or R10.
- BE BENCH
- CB CUPBOARD
- FW FLOOR WASTE
- HB HAND BASIN
- HC HOSE COCK.
- OS OVERHEAD SHELF
- REF REFRIGERATOR
- RH RANGEHOOD
- SH SHELF
- SHR SHOWER RECESS
- SI SINK
- TR TROUGH
- WC WATER CLOSET
- WM WASHING MACHINE

All internal flooring (including wet areas) shall be firm, even and feature a level transition between abutting surfaces of a maximum vertical tolerance of 3mm or 5mm (provided the lip is rounded or bevelled).

All internal floor finishes shall have a minimum slip resistance of P3 or R10.



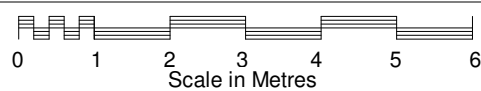
3 GARDEN SHED
A201 1 : 100



2 3D View 2

FOR CONSTRUCTION

NO	DESCRIPTION	DATE
7	AMENDMENTS FOR NDIS	14.11.24
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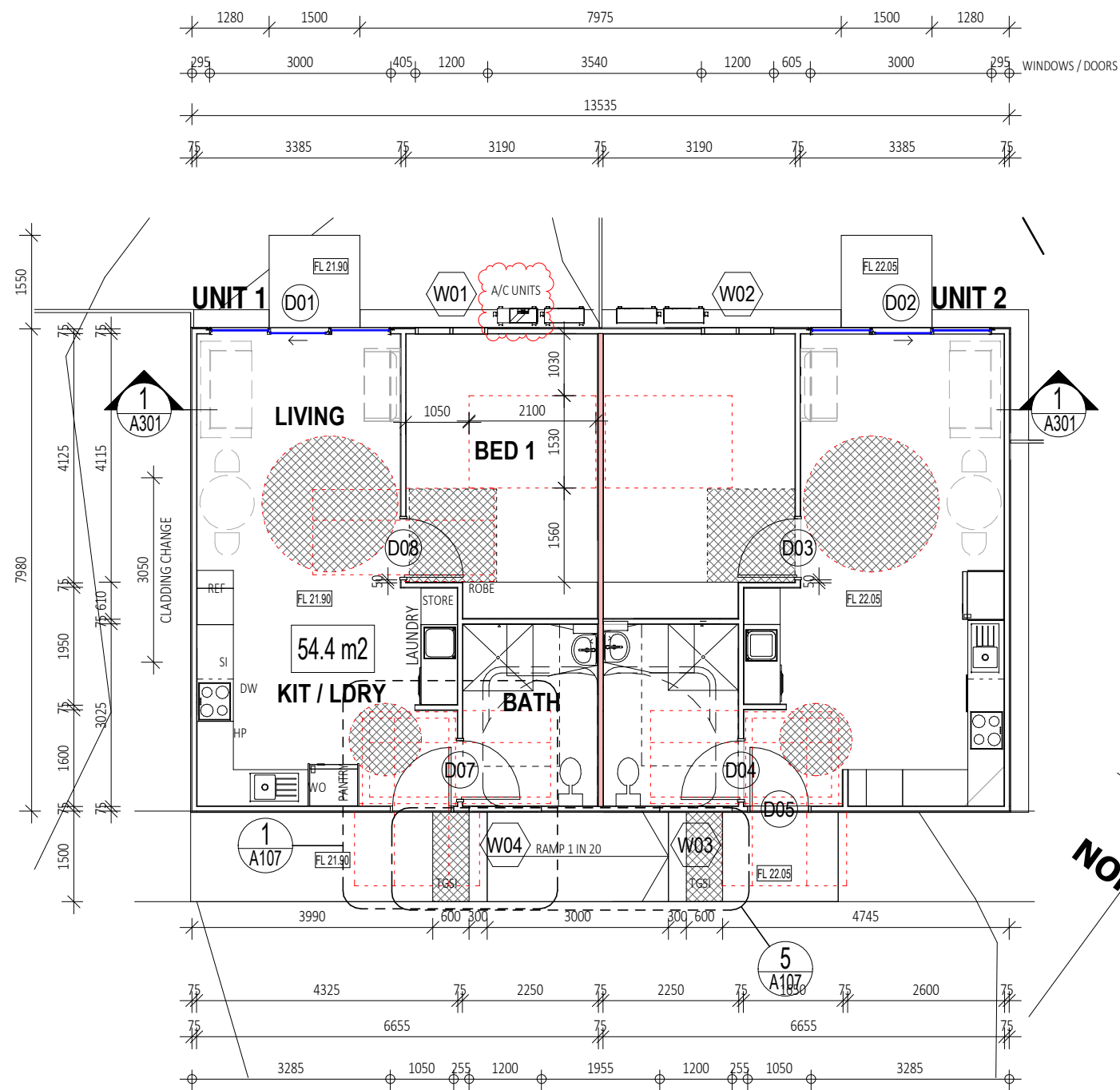
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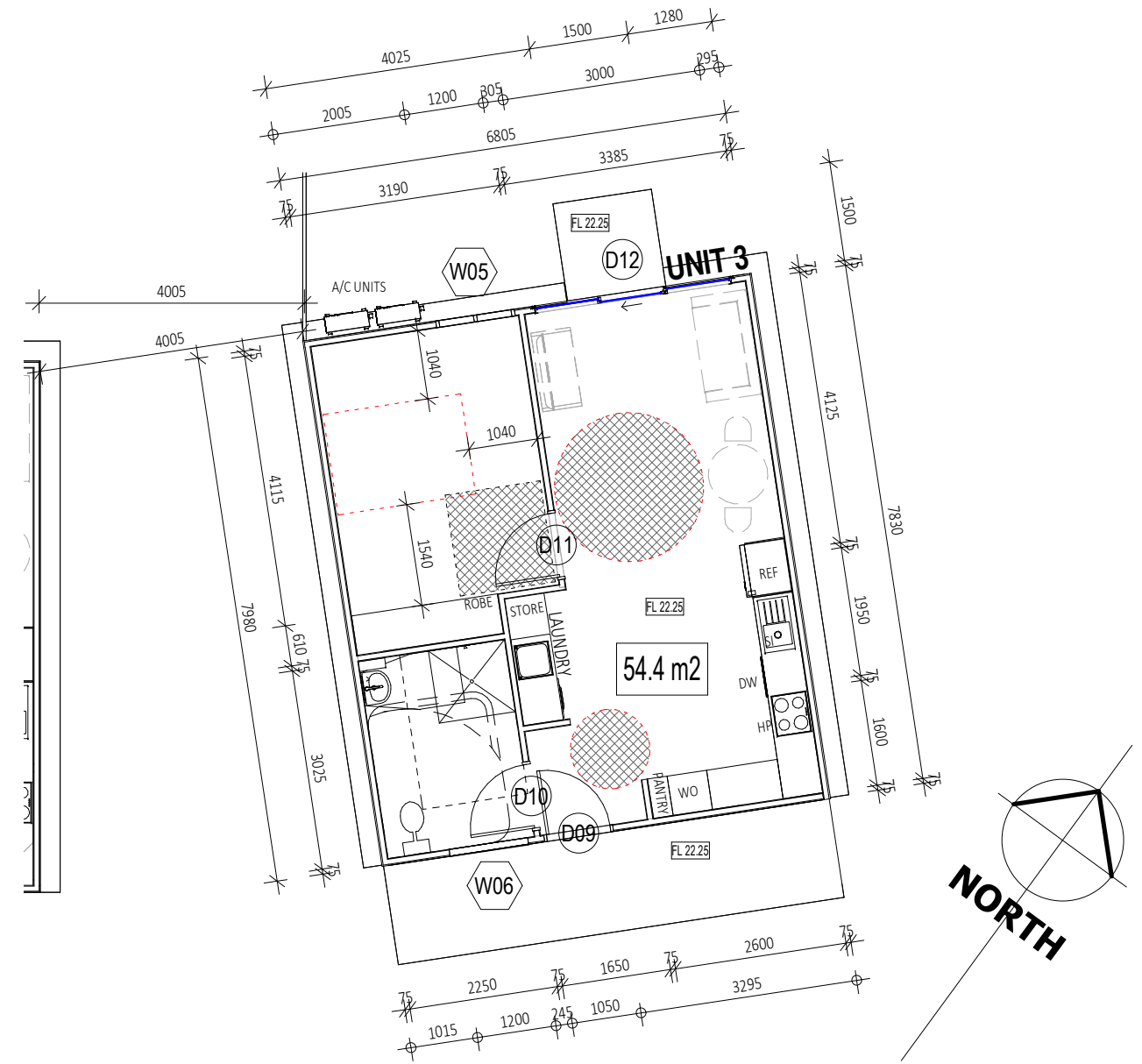
FLOOR PLANS TYPICAL
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

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XB A101	7	

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1 UNIT 1 & 2 PLAN
A201 1 : 100



2 UNIT 3 PLAN
A201 1 : 100

All internal doorways shall have a level (step-free) transition and threshold (maximum vertical tolerance of 3mm vertical or 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled).

3	AMENDMENTS FOR NDIS	14.11.24
2	AMENDMENTS FOR NDIS	02.09.24
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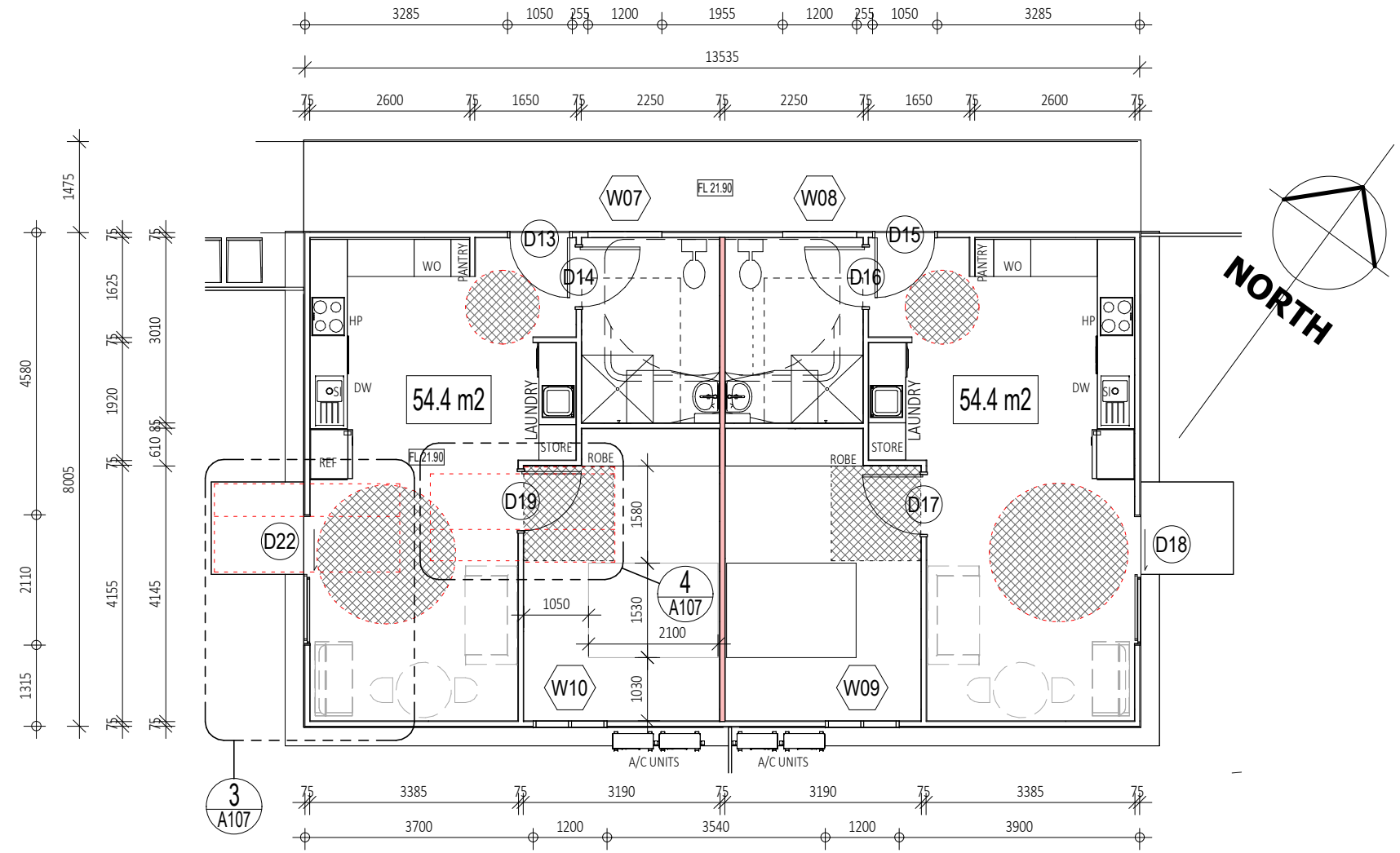


FLOOR PLANS UNIT 1, 2 & 3
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

FOR CONSTRUCTION

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JOB No. XB A102	Amend. 3	

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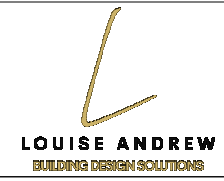
1 UNIT 4 & 5 PLAN
A201 1 : 100

All internal doorways shall have a level (step-free) transition and threshold (maximum vertical tolerance of 3mm vertical or 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled).

2	AMENDMENTS FOR NDIS	02.09.24
1	ISSUED FOR PERMIT	24.07.24
NO	DESCRIPTION	DATE
	ISSUE / REVISION	

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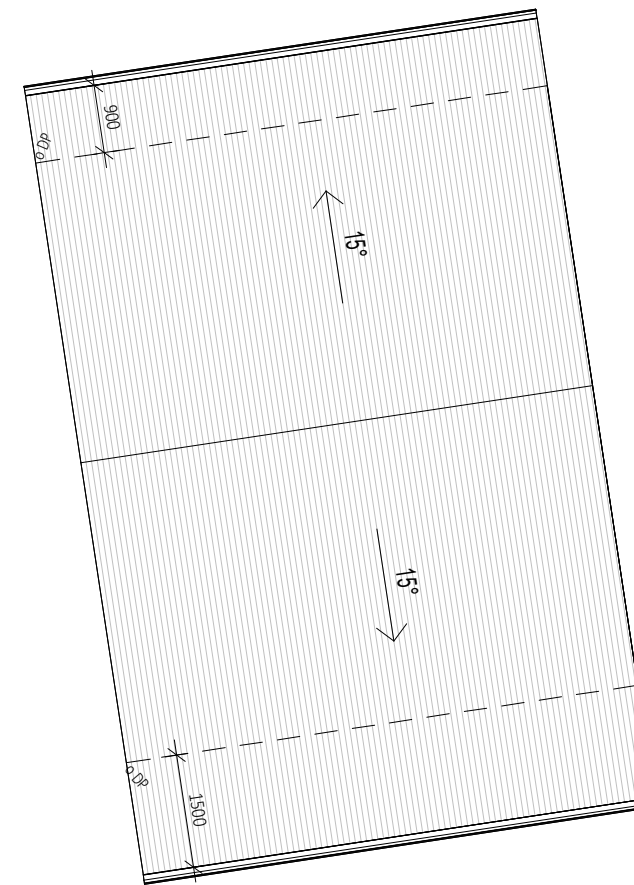
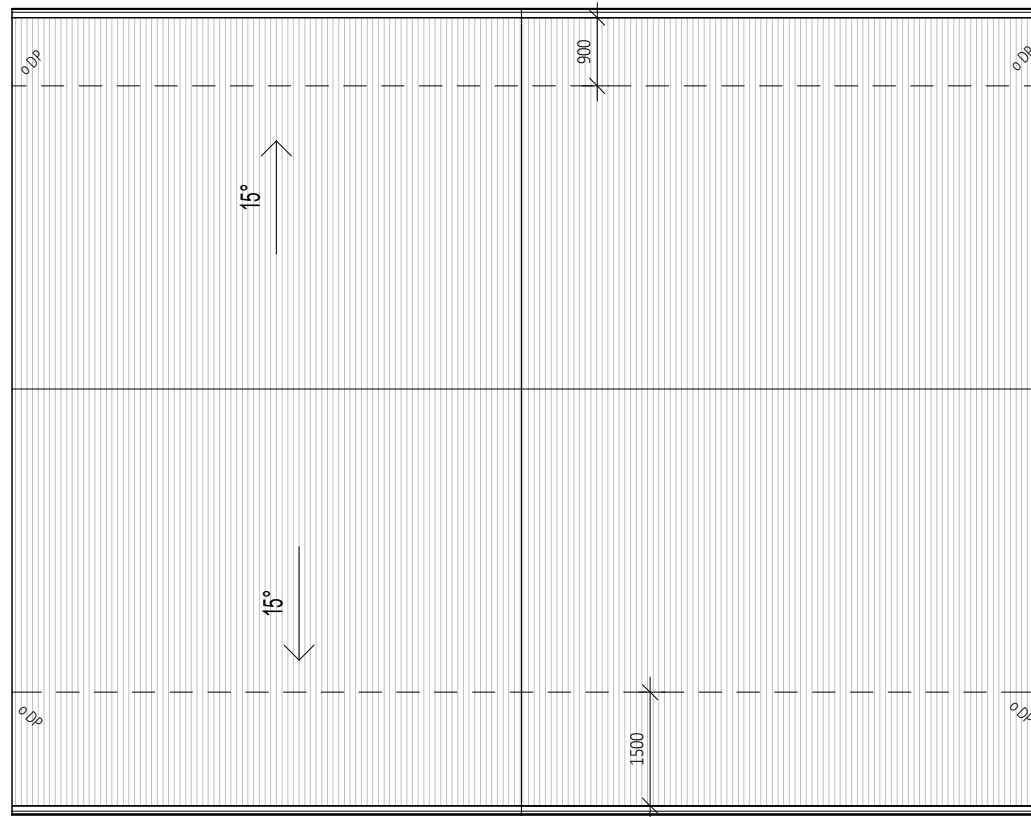
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DP-AD 25358



FLOOR PLANS UNIT 4 & 5
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

FOR CONSTRUCTION		
Scale 1 : 100	Date 17.12.22	Drawn By L. ANDREW
Saved As SPRINGS ROAD		
JOB No. XB A103	Amend. 2	

27/11/2024 2:28:05 PM



LEGEND

BG	BOX GUTTER
BR	BARGE ROLL
DP	DOWN PIPE
EC	EXHAUST COWL
EG	EAVES GUTTER
OF	OVER FLOW
RC	RIDGE CAPPING
SHWU	SOLAR HOT WATER UNIT.
	FIX TO DTC M/534/01/04
DP	DOWNPIPE.

NOTES

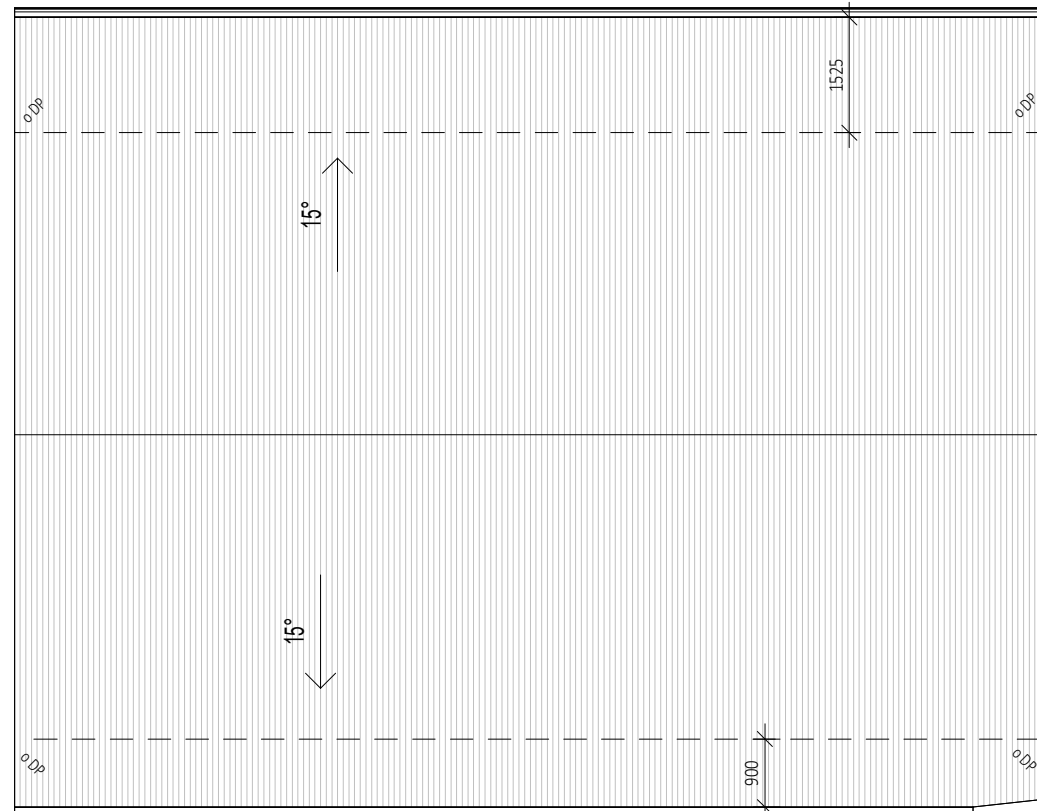
ROOF SHEETING GENERALLY TO BE COLORBOND CUSTOM ORB U.N.O. GENERALLY PROVIDE PAN FLASHING TO EXTEND FROM RIDGE TO COVER ALL ROOF PENETRATIONS. NEATLY SCRIBE FLASHING TO SUIT ROOF SHEET PROFILES. PROVIDE 'DEKTTITE' ROOF FLASHING OF MATCHING DIAMETER TO ALL PLUMBING ROOF PENETRATIONS. SELECTED COLOUR TO MATCH ROOF SHEETING.

METAL SHEET ROOF CAPPING AND FLASHING TO COMPLY WITH BCA VOLUME 2 2019 3.5.1.7

STORMWATER FROM ALL ROOF CATCHMENT AREAS TO BE DISPERSED IN ACCORDANCE WITH AS3500.3 AND TO APPROVED LPOD

STORMWATER DRAIN NOTE
 PROVIDE 90mm DIAMETER PVC STORMWATER PIPE WITH MIN FALL OF 1:100
 STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY AND WILL BE LAID AT THE DRAINERS DISCRETION.
 DISCHARGE TO LEGAL POINT OF DISCHARGE (LPOD)

GUTTERS AND DOWNPIPES LAYOUT IS INDICATIVE ONLY AND SHOULD BE INSTALLED AT THE PLUMBERS DISCRETION IN ACCORDANCE WITH AS3599.3:2018



1 ROOF PLAN
 A201 1 : 100

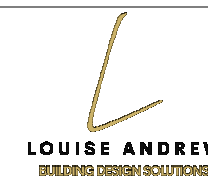
FOR CONSTRUCTION

4	AMENDMENTS FOR NDIS	02.09.24
3	ISSUED FOR PERMIT	24.07.24
2	REDUCED UNITS TO 5	16.01.24
1	LEVELS ADDED AND OTHER DETAIL	14.06.23

NO	DESCRIPTION	DATE
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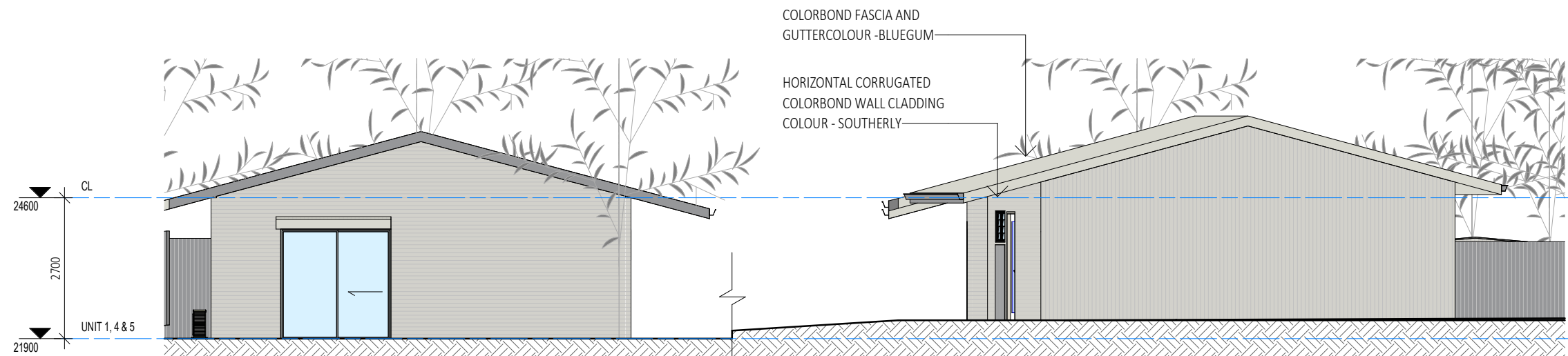
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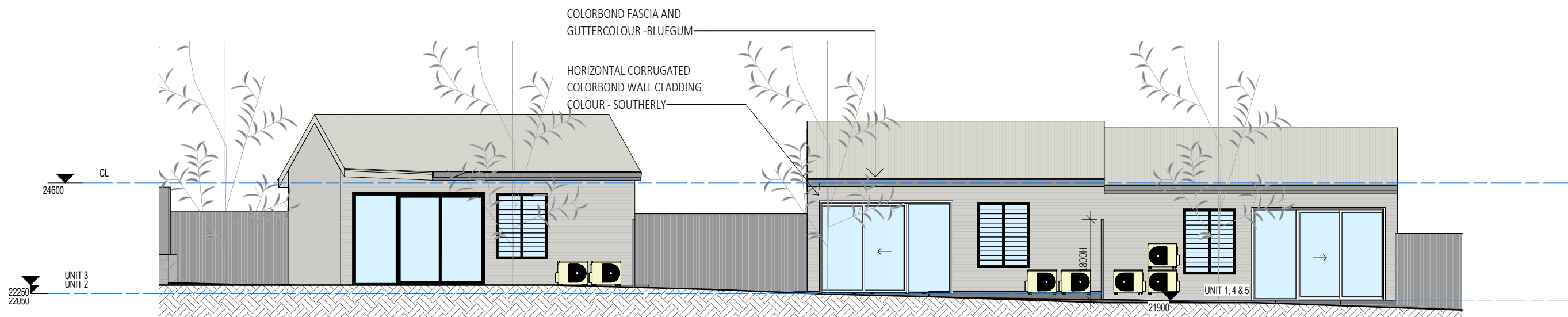
ROOF PLAN
 PROPOSED RESIDENCES
 LOT 11311, NO 5 DAVIES COURT
 JOHNSTON, NT
 XTREME BUILD

Scale 1 : 100	Date 17.12.22	Drawn By L. ANDREW
Saved As SPRINGS ROAD		
JOB No. XB A104	Amend. 4	

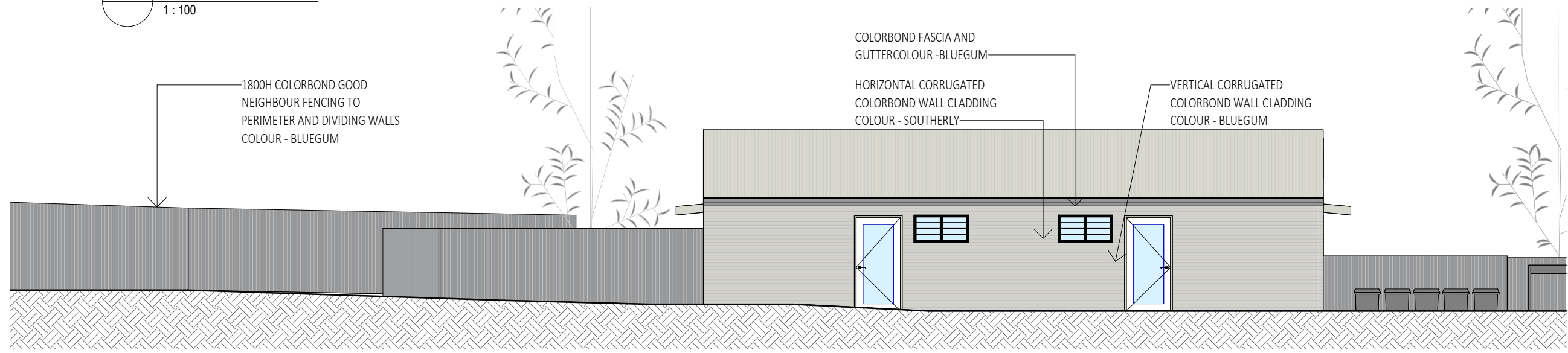
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1 EAST ELEVATION
1 : 100

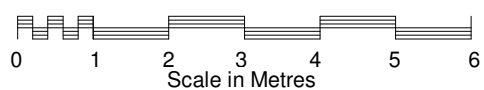


2 NORTH ELEVATION
1 : 100



3 NORTH UNITS 5-6
1 : 100

6	AMENDMENTS FOR NDIS	02.09.24
5	ISSUED FOR PERMIT	24.07.24
4	REDUCED UNITS TO 5	16.01.24
3	GARBAGE BINS & FENCE NOTES ADDED	20.09.23
NO	DESCRIPTION	DATE
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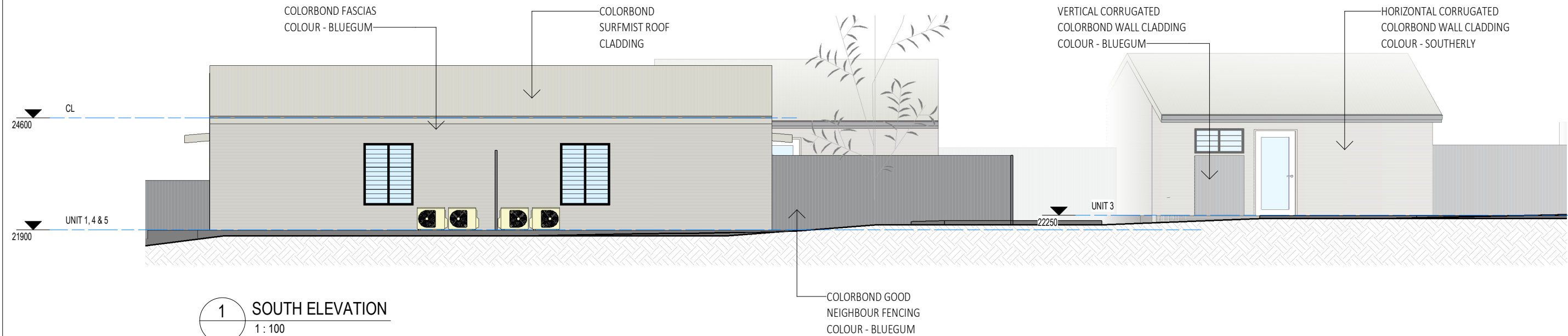


ELEVATIONS
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

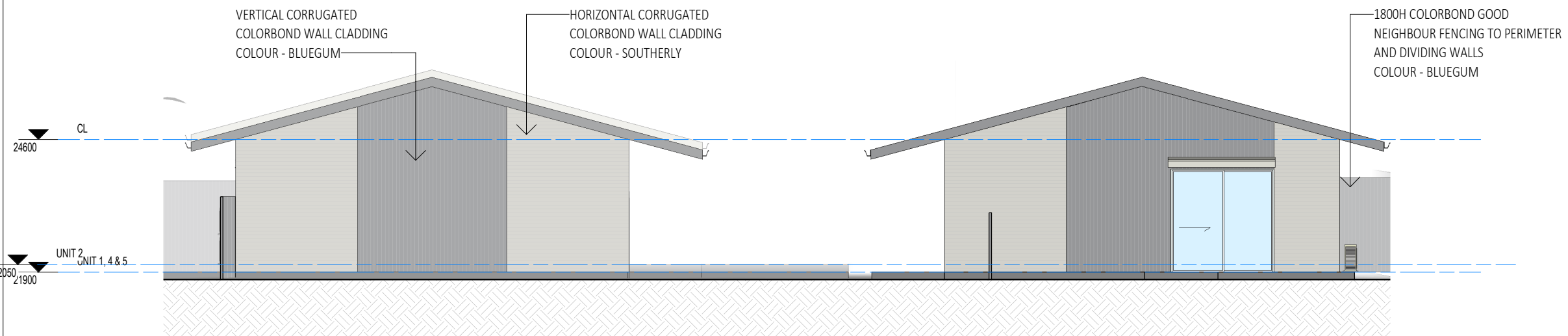
FOR CONSTRUCTION

Scale 1 : 100	Date 17.12.22	Drawn By L. ANDREW
Saved As SPRINGS ROAD		
JOB No. XB A201	Amend. 6	

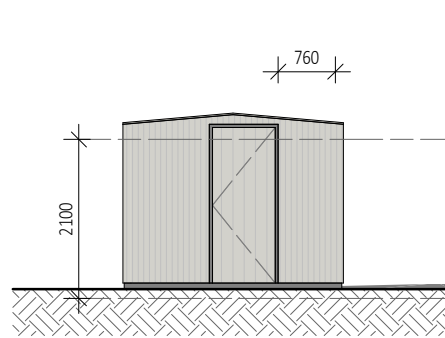
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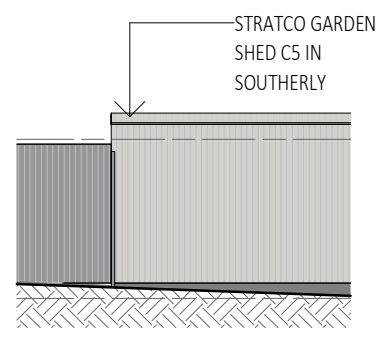
1 SOUTH ELEVATION
1 : 100



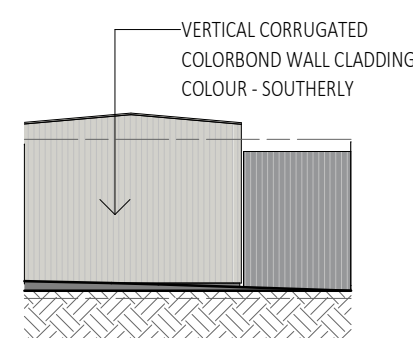
2 WEST ELEVATION
1 : 100



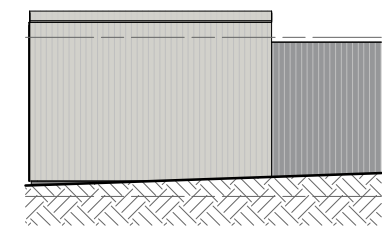
3 GARDEN SHED ELEV 1
A101 1 : 100



4 GARDEN SHED ELEV 2
A101 1 : 100



5 GARDEN SHED ELEV 3
A101 1 : 100



6 GARDEN SHED ELEV 4
A101 1 : 100

NO	DESCRIPTION	DATE
5	AMENDMENTS FOR NDIS	02.09.24
4	ISSUED FOR PERMIT	24.07.24
3	REDUCED UNITS TO 5	16.01.24
2	GARBAGE BINS & FENCE NOTES ADDED	20.09.23
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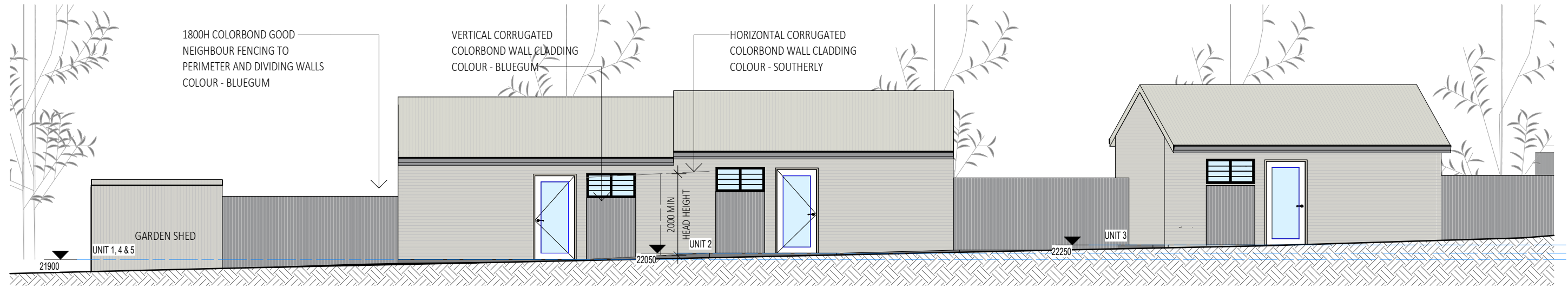
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ELEVATIONS
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

FOR CONSTRUCTION		
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Saved As SPRINGS ROAD		
JOB No. XB A202	Amend. 5	

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1 SOUTH UNITS 1-4
1 : 100

4	AMENDMENTS FOR NDIS	02.09.24
3	ISSUED FOR PERMIT	24.07.24
2	REDUCED UNITS TO 5	16.01.24
1	GARBAGE BINS & FENCE NOTES ADDED	20.09.23

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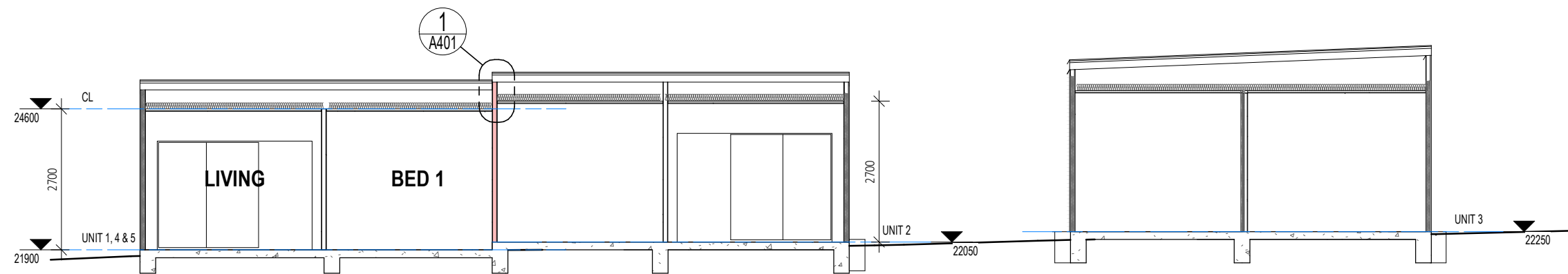


ELEVATIONS
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

FOR CONSTRUCTION

Scale 1 : 100	Date 17.12.22	Drawn By L. ANDREW
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JOB No. XB A203	Amend. 4	

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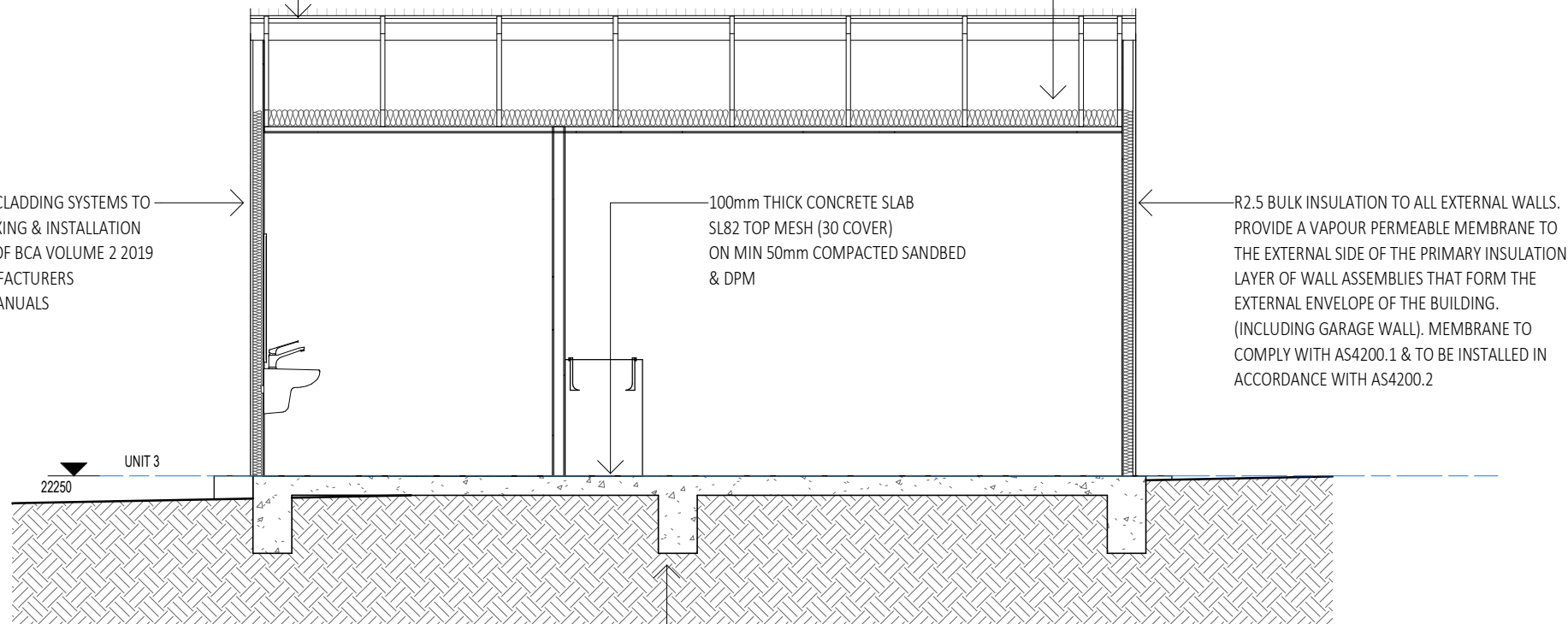
1 SECTION 1,2&3
A102 1 : 100

CUSTOM ORB ROOF CLADDING
FIXED TO ROOF BATTENS @
MAX 900 CTRS

EXTERNAL WALL CLADDING SYSTEMS TO
COMPLY WITH FIXING & INSTALLATION
REQUIREMENTS OF BCA VOLUME 2 2019
3.5.4 AND MANUFACTURERS
INSTALLATION MANUALS

R4.0 BULK INSULATION TO CEILING
AND R1.3 SARKING UNDER ROOF
CLADDING

As per Clause 3.8.7.2 of NCC
2019 a pliable building membrane to be installed
that complies with AS/NZS 4200.1 and to be
installed in accordance with AS/NZS 4200.2 and
must be a vapour permeable membrane for
climate zones 6/7/8.



2 SECTION 3
1 : 50

REFER TO ENGINEERS DRAWINGS
FOR ALL WALL FRAMING,
LINTELS, BEAMS & FOOTINGS

R2.5 BULK INSULATION TO ALL EXTERNAL WALLS.
PROVIDE A VAPOUR PERMEABLE MEMBRANE TO
THE EXTERNAL SIDE OF THE PRIMARY INSULATION
LAYER OF WALL ASSEMBLIES THAT FORM THE
EXTERNAL ENVELOPE OF THE BUILDING.
(INCLUDING GARAGE WALL). MEMBRANE TO
COMPLY WITH AS4200.1 & TO BE INSTALLED IN
ACCORDANCE WITH AS4200.2

FOR CONSTRUCTION

3	AMENDMENTS FOR NDIS	02.09.24
2	ISSUED FOR PERMIT	24.07.24
1	REDUCED UNITS TO 5	16.01.24
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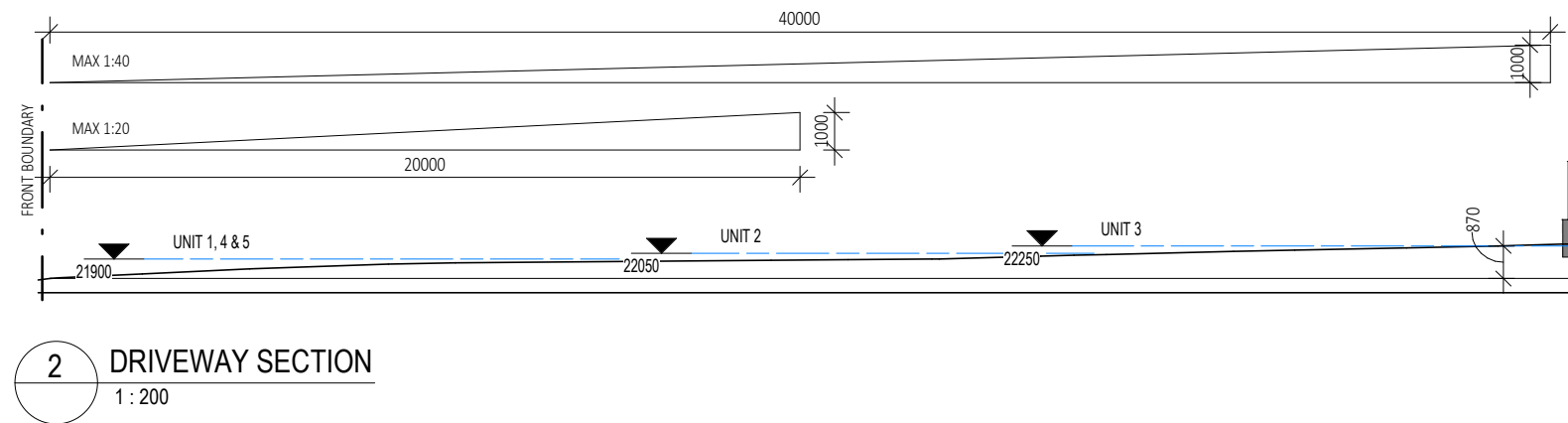
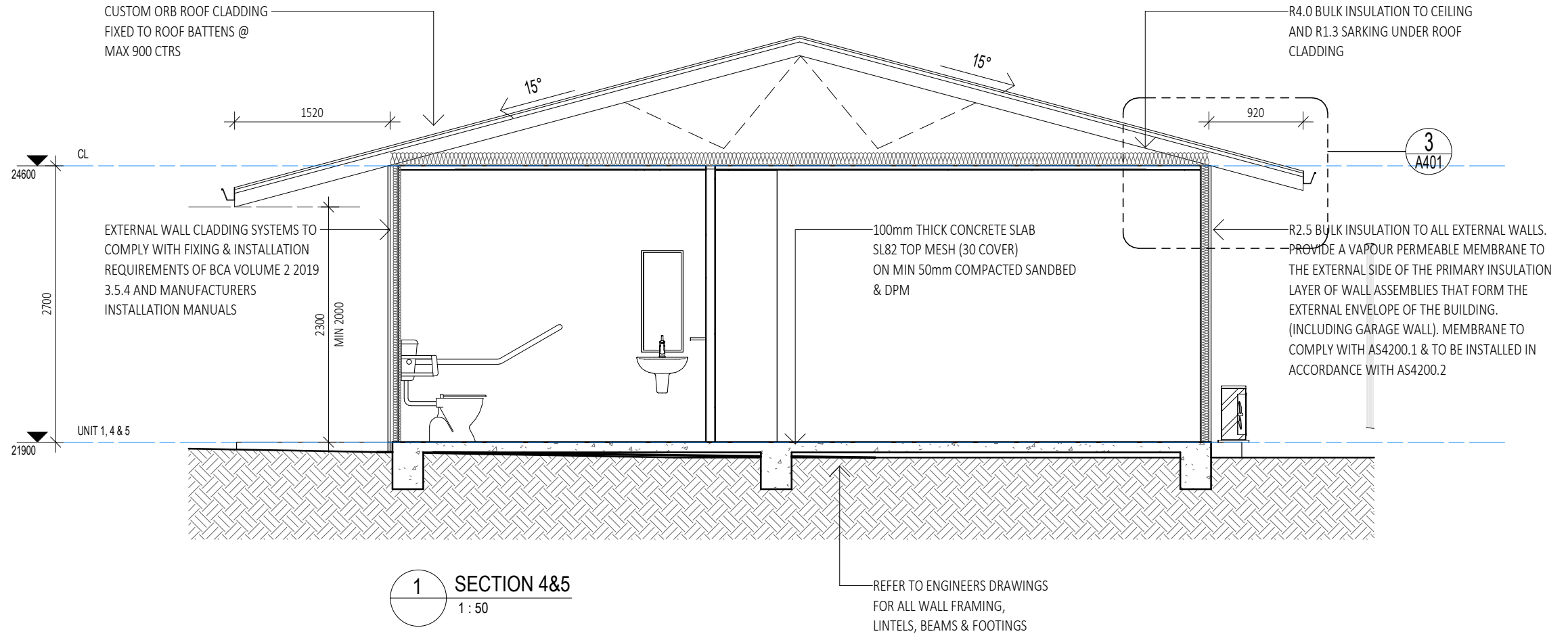


SECTIONS
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
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XTREME BUILD

Scale As indicated	Date 17.12.22	Drawn By L. ANDREW
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As per Clause 3.8.7.2 of NCC 2019 a pliable building membrane to be installed that complies with AS/NZS 4200.1 and to be installed in accordance with AS/NZS 4200.2 and must be a vapour permeable membrane for climate zones 6/7/8.

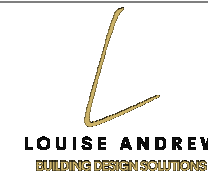


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SECTIONS
PROPOSED RESIDENCES
LOT 11311, NO 5 DAVIES COURT
JOHNSTON, NT
XTREME BUILD

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JOB No. XB A302	Amend. 2	

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