

**DEVELOPMENT CONSENT AUTHORITY
PALMERSTON DIVISION**

NORTHERN TERRITORY PLANNING SCHEME 2020

AGENDA ITEM: **1** **MEETING DATE:** 14 March 2025 **FILE:** PA2023/0324

APPLICATION PURPOSE: Variation to condition 5 of DP23/0304 for the purpose of changes to floor layout including changes to the north facade to allow for a lift lobby area, changes to ground floor units 1 and 7, and additional internal service ducts, electrical and mechanical service cupboards and internal roof access

SUBJECT SITE: Units 13888 & 13892, 11 Tarakan Court, Johnston, Town of Palmerston. Locality Plan at **Bookmark A**

ZONE: MR (Medium Density Residential)

SITE AREA: 2850m² (Unit 13888)

APPLICANT K. Bruce Baldey

PERSONS ON WHOSE Landowner

BEHALF THE

APPLICATION IS MADE

LANDOWNER

Unit 13888 - Mitchell & Thompson Pty Ltd (Greg Thompson)

Unit 13892 - Body Corporate for 11 Tarakan Court
Principal Unit Title Scheme (BC 2016/026)

**ANY PERSON WITH AN
AGREEMENT TO ACQUIRE
AN INTEREST IN THE
LAND**

Nil

1. BACKGROUND

The subject site is zoned MR (Medium Density Residential), the following planning approvals are relevant:

Permit (<i>Planning Act 1999</i>)	Date Issued	Approved Purpose	Notes:
DP13/0464 Development Permit	27 June 2013	73 x 3 bedroom, 123 x 2 bedroom and 28 x 1 bedroom multiple dwellings in 5 x 4 storey buildings	<ul style="list-style-type: none"> Application assessed against NT Planning Scheme 2007
DP13/0464A Variation of Conditions permit	18 September 2015	vary Condition 3 of Development Permit DP13/0464 for the purpose of staging of the development (in 5 stages), reconfiguration of internal floor layouts, minor changes in building positions and minor changes to building façades	<ul style="list-style-type: none"> Certificate of Compliance (in part) for Stage 1 works was issued on 16 May 2016 Stage 1 works included construction of: <ul style="list-style-type: none"> dwellings-multiple Car parking spaces and driveway access for Stage 1 dwellings part of communal open space area (eastern portion of Unit 13892)
DP13/0464B Variation of Conditions permit	6 October 2015	vary Condition 3 of Development Permit DP13/0464A for the purpose of 6 car storage areas in front of Building 2 (within Stage 2)	<ul style="list-style-type: none"> Stages 2, 3, 4 and 5 of DP13/0464 (as varied) did not proceed.

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			<ul style="list-style-type: none"> Internal driveways and car parking spaces were to be completed as part of individual stages
DP15/0694 Development Permit	9 November 2015	subdivision to create a unit title scheme subdivision to create 5 principal unit schemes, 224 units and common property in 5 stages	<ul style="list-style-type: none"> "Part 5" (section 62 Planning Act 1999) clearance for "Stage 1" issued on 16 May 2016 Survey Plan UTS2015/073 refers to creation of Units 13887 to 13892 (5 principle units and common property (13892)) Survey Plan UTS2015/074 - refers to creation of Units 13893 to 13941 (Stage 1 dwellings) Stages 2, 3, 4 and 5 did not proceed & DP15/0694 has expired
DP23/0304 Development Permit	19 December 2023	dwelling-multiple (13 x 3 bedroom, 12 x 2 bedroom and 2 x 1 bedrooms) in 1 x 3 storey building	<ul style="list-style-type: none"> Application assessed against NT Planning Scheme 2020. Application registered against Units 13888 and 13892 Location of works is generally within the building footprint approved by former "Stage 2" of DP13/0464 (as varied) Drawings endorsed by delegate of DCA on 10 September 2024 Works have not commenced - DP23/0304 will expire/lapse if work has not commenced prior to December 2025.
DP24/0181 Development Permit	23 August 2024	dwelling-multiple (12 x 3 bedroom, 12 x 2 bedroom and 3 x 1 bedrooms) in 1 x 3 storey building	<ul style="list-style-type: none"> Application registered against Units 13889 and 13892 no updated drawings provided (in response to Condition Precedent) Works have not commenced

Copies of these permits can be found at **Bookmark C**.

Development Permit DP23/0304 granted variations to the following minimum requirements of "Part 5" of the NTPS2020:

- Clause 5.2.4.4 (Layout of Car Parking Areas) – reduced setback of car parking area and landscaping width to Lambrick Avenue (1m instead of 3m)
- Clause 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures) – reduced building setbacks of carport to Lambrick Avenue (support columns setback 1.2m)
- Clause 5.4.7 (Communal Open Space) – to allow 12.5% of the site area to be communal open space instead of 15%
- Clause 5.4.8.2 (Building Design for Dwelling-Multiple) – non-compliant balcony designs.

Units 13890 and 13991 remain undeveloped. Any proposed dwellings and associated subdivision of these parcels will require separate development applications.

The dwellings-multiple at 11 Tarakan Court (Units 13893 to 13940) are all owned by Venture Housing Company Limited. This variation application does not impact on that existing building (dwellings) – only the common property (Unit 13892).

On 24 January 2025, an application was lodged seeking consent to subdivide the development approved by DP23/0304 to create a unit title scheme. This application is listed for consideration at the 14 March 2025 DCA meeting (agenda Item 2). In assessing the application, it was identified that, in some areas the UTS drawings (proposed unit boundaries) do not align with the built form approved DP23/0304.

2. PROPOSAL

A copy of the application (lodged on 10 March 2025) is at **Bookmark B1**, further updated drawings are at **Bookmark B2**.

The application seeks consent to vary the drawings that were endorsed as forming part of Condition 5 of DP23/0304 to allow design changes including:

- site plan –
 - ground level private open space, designs of:
 - Unit 1 – verandah area
 - Unit 2 – patio areas for bedrooms 1, 2 and 3, design of verandah areas
 - Unit 3 – verandah area and air conditioner enclosure
 - Unit 4 - verandah area and air conditioner enclosure
 - Unit 5 – verandah area
 - Unit 6 - patio areas for bedrooms 1, 2 and 3. design of verandah areas, storeroom
 - Unit 7 - design of patio areas for bedroom 1, design of verandah area
- floor plans –
 - dwellings-multiple:
 - lift / lobby area, addition of cleaner's room
 - footprints of Unit 1 and Unit 7
 - internal doors, floor layouts (eg: bathrooms)
 - balconies (private open space)
 - maintenance access to roof
 - bicycle / bin enclosure – length increased from 9m to 9.6m
- elevations -
 - dwellings-multiple:
 - amended roof pitch / design – east and west ends
 - various amendments to doors, window (locations and dimensions)
 - balconies (private open space)
 - carport -apex height increased from 3.2m to ~3.4m

The application indicates changes have been made to improve cross ventilation, provide kitchens with a window, compliance with adaptable living standards. Amendments may also have been necessary after review by a building certifier.

3. REASON FOR APPLICATION

Pursuant to section 57 of the *Planning Act 1999*, approval is sought to vary Condition 5 of DP23/0304 to allow changes to the design shown on endorsed drawings. The application is referred to the Development Consent Authority (DCA) for determination. An assessment is made within this report against the criteria listed in section 57.

4. ASSESSMENT SYNOPSIS

This report concludes that the Authority should consider approving the application as detailed in section 9 of this report.

5. PUBLIC EXHIBITION

Sections 47 (notification of proposal) 48 and 48A (notification to local government council and service authorities) do not apply to variations lodged under section 57 of the *Planning Act 1999*.

This variation application was not circulated due to the assessment that the approved density and land use is not altering, changes will not result in an increased level of impact to the abutting land and the similarity between the new drawings and the previously approved proposal.

6. MATTERS TO BE TAKEN INTO ACCOUNT (SECTION 57 OF THE PLANNING ACT 1999)

Pursuant to section 57(3) of the *Planning Act 1999* the consent authority must only vary a condition of a development permit if:

- (a) *the proposed variation will not alter a measurable aspect of the development by a margin greater than 5% and, in the opinion of the consent authority, will not materially affect the amenity of adjoining or nearby land or premises; or*
- (b) *in the opinion of the consent authority, the alteration resulting from the proposed variation is not conveniently measurable and the proposed variation will not materially affect the amenity of adjoining or nearby land or premises.*

Despite subsection 3(a), subsection (4) specifies that *a permit must not be varied if it will allow an increase in the number of dwellings capable of separate occupancy*. The changes to the drawings will not create any additional ‘dwellings’.

The consent authority has discretionary powers to grant consent of the proposed variation provided that the proposal satisfies sections 57(3)&(4).

Section 57(5) of the *Planning Act 1999* states - *if the consent authority refuses to vary a condition of a permit in accordance with an application, the consent authority must give to the applicant a statement of the consent authority's reasons for the refusal.*

Measurable aspects test:

The subject site is within zone MR (Medium Density Residential) of the NT Planning Scheme 2020 (NTPS2020). In considering the relevant aspects of the development as determined in Part 5 of the NTPS2020, the following would apply to the proposed changes to DP23/0304.

Clause of "Part 5" of NTPS2020	Impact of proposed variation to DP23/0304	Compliance
5.2.1 (General Height Control)	<ul style="list-style-type: none"> • For the site, Table B to Clause 5.2.1 allows up to 3 storeys (with no height measurement limitation). • Design remains 3 storeys, no notable change in measurement • Roof design / pitch has changed in some areas. 	<ul style="list-style-type: none"> • Complies with NTPS2020 • No “conveniently measurable changes”
5.2.4.1 (Car Parking Spaces)	DP23/0304 – 60 car parking spaces were shown for the 27 dwellings Proposed variation – no changes to approved number of spaces	<ul style="list-style-type: none"> • no changes
5.2.4.4 (Layout of Car Parking Areas)	<u>Dimensions of car parking spaces</u> No changes proposed. <u>Car Parking Layout</u> <ul style="list-style-type: none"> • surface treatments of driveways and car parking areas not shown on amended drawings • landscaping (planting, surface treatments) not shown on amended drawings (Bookmarks B1 and B2) 	Subject to detail being shown on drawings, proposed changes to design are not conveniently measurable.
5.2.6.1 (Landscaping in Zones Other Than Zone CB)	<ul style="list-style-type: none"> • The calculation of “landscaping” for the drawings for DP23/0304 was 4575m² (36% area of the Units 13888 & 13892). The NTPS2020 requires 30% of a “site” area. • The updated drawings (Bookmark B2) included with the variation application provide overall calculations of landscaping however, locations of planted areas / 	<ul style="list-style-type: none"> • Will comply with NTPS2020 • Changes unlikely to be greater than 5%. • Variation of Conditions permit should either refer back to endorsed landscaping drawing 2023/0324/06 or require an

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	surface treatments are not provided (quantities of plants, species, irrigation etc).	updated drawing including amended calculations after UTS boundary realignment
5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures)	<ul style="list-style-type: none"> DP23/0304 granted a variation to allow - 1.2m setback of carport to Lambrick Avenue boundary (instead of 1.5m) <p>The variation application does not propose changes to side setbacks</p>	No changes proposed.
5.4.3.2 (Distance Between Residential Buildings on One Site)	Design approved by DP23/0304 complied in full with NTPS2020 - new dwellings-multiple will be in a single "residential building"	No changes proposed.
5.4.6.2 (Private Open Space for Dwelling-Multiple)	<p>The 2025 variation application drawings show</p> <ul style="list-style-type: none"> changes to private open space (ground level and balconies) updated drawings (Bookmark 2) indicate areas (m²) of balconies and ground level private open space comply no calculations (confirmation of 2.8m dimensions) have been provided. Fencing at ground level will be 1.8m high Direct access from ground level private open space to communal open space provided. 	<p>To be determined - may be less than a 5% change.</p> <p>Areas (m²) reduced for some dwellings (from what was approved by DP23/0304), but design complies with NTPS2020.</p>
5.4.7 (Communal Open Space)	<p>Design approved by DP23/0304 noted the overall site area (all stages Tarakan Court) is 24,900m², the communal open space for the overall development is required to be 3,735m². The DP23/0304 includes communal open space of 3,102m², or 12.5% of the total site area only.</p> <p>The updated drawings (Bookmark B2) included with the variation application provide any calculation of overall landscaping. However full details of planted areas / surface treatments etc are not provided (species, quantities, location of BBQ etc).</p>	<p>To be determined - may be less than a 5% change.</p> <p>Any Variation of Conditions permit should either refer back to endorsed communal open space / landscaping drawing 2023/0324/06 or require an updated drawing including amended calculations after UTS boundary realignment</p>
5.4.8.2 (Building Design for Dwelling-Multiple)	<p>Design approved by DP23/0304 granted variations to the balcony designs</p> <p>Drawings (Bookmarks B1 and B2) do not provide commentary / dimensions regarding balcony compliance (sub-clauses 13 and 14).</p> <p>2025 changes to drawings includes amendments to balcony designs / m²</p>	To be determined - may be less than a 5% change.
5.4.17 (Building Articulation)	<p>Design approved by DP23/0304 complied in full.</p> <p>2025 changes to drawings comply.</p>	<ul style="list-style-type: none"> Complies with NTPS2020 No "conveniently measurable changes"
5.4.18.1 (Fencing in Zones MR and HR)	Existing 2.5m high wall along Lambrick Avenue was built circa 2015/2016	No changes proposed.
5.4.19 (Residential Plot Ratio)		Will be less than 5% (after UTS boundaries amended) + complies with NTPS2020

Amenity test:

It is considered that the proposed changes *will not materially affect the amenity of adjoining or nearby land or premises* as the:

- development is setback significantly from parcel boundaries
- building footprint and height is generally consistent with the previously approved design
- amended locations/ design of windows and balconies will not overlook onto other residential allotments
- subject to updated drawings, landscaping and communal open space consistent with DP23/0304 will be provided.

Additional dwelling test:

The changes to the development do not allow an increase in the number of 'dwellings'.

7. RECOMMENDATION

That, pursuant to section 57(3) of the *Planning Act 1999*, the Development Consent Authority consent to the application to vary condition 5 of Development Permit DP23/0304 for the purpose changes to the site plan, floor plans and elevations (amended building footprints, floor layouts, changes to balconies, doors, windows).

CONDITIONS PRECEDENT

1. Prior to the endorsement of plans and prior to the commencement of works, a schematic plan demonstrating the on-site collection of stormwater and its discharge into the City of Palmerston stormwater drainage system, or an alternate approved connection shall be submitted to and approved by the City of Palmerston and the Land Development Unit, Department of Infrastructure, Planning and Logistics, to the satisfaction of the consent authority. **CONDITION HAS BEEN CLEARED**
2. Prior to the endorsement of plans and prior to the commencement of works, the applicant is to specify on the plans the specific building treatments included to achieve the maximum recommended design sound levels of the *Australian Standard AS2107-2000 Acoustics - Recommended design sound levels for reverberation times for building interiors*, to the satisfaction of the consent authority. **CONDITION HAS BEEN CLEARED**
3. Prior to the commencement of works, in principle approval from the City of Palmerston is required for the access to the site, to the satisfaction of the consent authority. **CONDITION HAS BEEN CLEARED**
4. Prior to the commencement of works, details of waste servicing shall be submitted to and approved by the City of Palmerston, to the satisfaction of the consent authority. **CONDITION HAS BEEN CLEARED**

GENERAL CONDITIONS

5. The works carried out under this permit shall be in accordance with the drawings endorsed as forming part of this permit. **Works for landscaping works and communal open space is shown on the drawings endorsed on 10 September 2024 as forming part of DP23/0304.**
6. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, sewerage, and electricity services to the development shown on the endorsed drawings in accordance with the authorities' requirements and relevant legislation at the time. Please refer to notation 1 for further information.
7. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the consent authority.
8. All existing and proposed easements and sites for existing and required utility services must be vested in the relevant authority for which the easement or site is to be created.
9. Confirmation shall be provided to Development Assessment Services (in the form of an email addressed to the Power and Water Corporation) from a suitable qualified professional confirming that all new number labels have been correctly installed at the Customer's Metering Panel(s) and water meters (where applicable). Please provide a copy

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of an email addressed to both waterdevelopment@powerwater.com.au and powerconnections@powerwater.com.au

10. Prior to the use/occupation of the development and connection of services (i.e. power and water), the owner of the land must apply for street addressing from the Surveyor-General of the Northern Territory. This will form the legal address and will be required to be placed on the meters within the development in accordance with the allocation. A Certificate of Compliance (section 65 *Planning Act 1999*) will not be able to be granted until such time as addressing is obtained.”
11. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of City of Palmerston, to the satisfaction of the consent authority.
12. The owner shall:
 - (a) remove disused vehicle and/ or pedestrian crossovers;
 - (b) provide footpaths/ cycleways;
 - (c) collect stormwater and discharge it to the drainage network; and
 - (d) undertake reinstatement works;all to the technical requirements of and at no cost to the City of Palmerston, to the satisfaction of the consent authority.
13. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to City of Palmerston, and Land Development Unit, Department of Lands, Planning and Environment, to the satisfaction of the consent authority.
14. Storage for waste disposal bins is to be provided to the requirements of City of Palmerston to the satisfaction of the consent authority.
15. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street, in accordance with the requirements of City of Palmerston, to the satisfaction of the consent authority.
16. Before the occupation of the development, the applicant is to demonstrate the building treatments to meet the maximum recommended design sound levels of the *Australian Standard AS2107-2000 Acoustics - Recommended design sound levels for reverberation times for building interiors* have been constructed, to the satisfaction of the consent authority.
17. Before the occupation of the development starts, the area(s) set-aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
 - (a) constructed;
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced with an all-weather-seal coat;
 - (d) drained;
 - (e) line marked to indicate each car space and all access lanes; and
 - (f) clearly marked to show the direction of traffic along access lanes and driveways to the satisfaction of the consent authority.Car parking spaces, access lanes and driveways must be kept available for these purposes at all times.
18. All air conditioning condensers (including any condenser units required to be added or replaced in the future) are to be appropriately screened from public view and from view

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of neighbouring or nearby developments (or developments reasonably anticipated), located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the consent authority. The use of angled louvered slats for screening purposes is acceptable, however the slat screening must be designed with a panel to gap ratio, such that the condenser units are not readily visible from any angle.

19. All pipes, fixtures, fittings and vents servicing any building on the site must be concealed in service ducts or otherwise hidden from view to the satisfaction of the consent authority.
20. All balconies are to be internally drained and discharge is to be disposed of at ground level and in a manner consistent with stormwater disposal arrangements for the site to the satisfaction of the consent authority.
21. Before the occupation of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.
22. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.

NOTES:

1. The Power and Water Corporation advises that the Water and Sewer Services Development Section (waterdevelopment@powerwater.com.au) and Power Network Engineering Section (powerdevelopment@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing in order to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.
2. The Surveyor-General advises you should immediately make application for unit/street addresses to the Survey and Land Records unit on (08) 89955346 (surveylandrecords@nt.gov.au).
3. A "Permit to Work Within a Road Reserve" may be required from City of Palmerston before commencement of any work within the road reserve.
4. There are statutory obligations under the *Waste Management and Pollution Control Act 1998* (the Act), that require all persons to take all measures that are reasonable and practicable to prevent or minimise pollution or environmental harm and reduce the amount of waste. The proponent is required to comply at all times with the Act, including the General Environmental Duty under Section 12 of the Act. There is also a requirement to obtain an authorisation prior to conducting any of the activities listed in Schedule 2 of the Act. Guidelines to assist proponents to avoid environmental impacts are available on the Northern Territory Environment Protection Authority website at <http://ntepa.ntg.gov.au/waste-pollution/guidelines/guidelines>. The Act, administered by the Northern Territory Environment Protection Authority, is separate to and not reduced or affected in any way by other legislation administered by other Departments or Authorities. The Environment Operations Branch of the Environment Division may take enforcement action or issue statutory instruments should there be non-compliance with the Act.

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5. This development permit is not an approval to undertake building work. You are advised to contact a Northern Territory registered building certifier to seek a building permit as required by the Northern Territory *Building Act 1993* before commencing any demolition or construction works.
6. Any proposed works which fall within the scope of the *Construction Industry Long Service Leave and Benefits Act 2005* must be notified to NT Build by lodgement of the required Project Notification Form. Payment of any levy must be made prior to the commencement of any construction activity. NT Build should be contacted via email (info@ntbuild.com.au) or by phone on 08 89364070 to determine if the proposed works are subject to the Act.

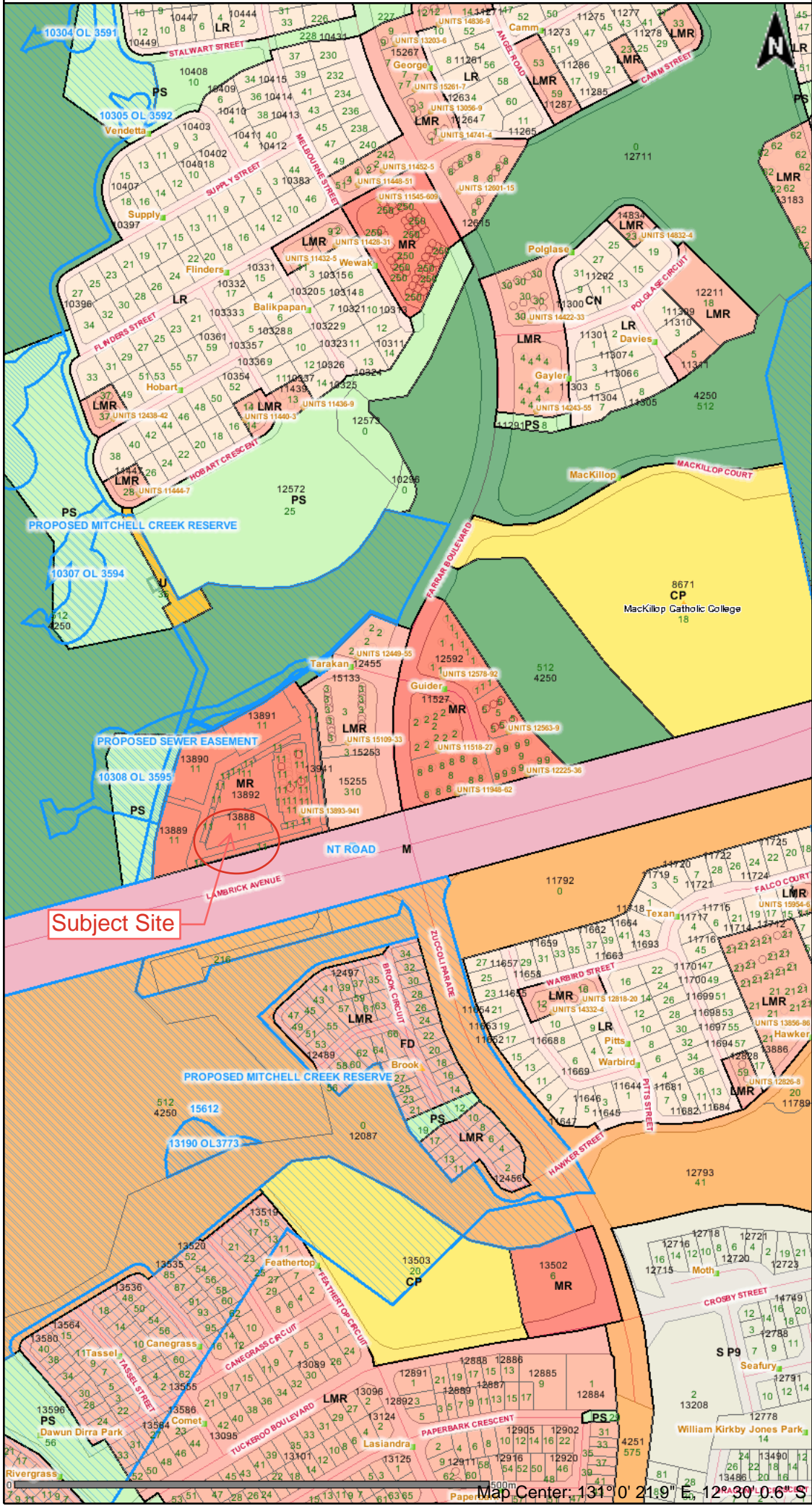


AUTHORISED:

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**A/MANAGER – PALMERSTON AND EAST ARM
DEVELOPMENT ASSESSMENT SERVICES**

zoning map - 04/03/2025

Legend



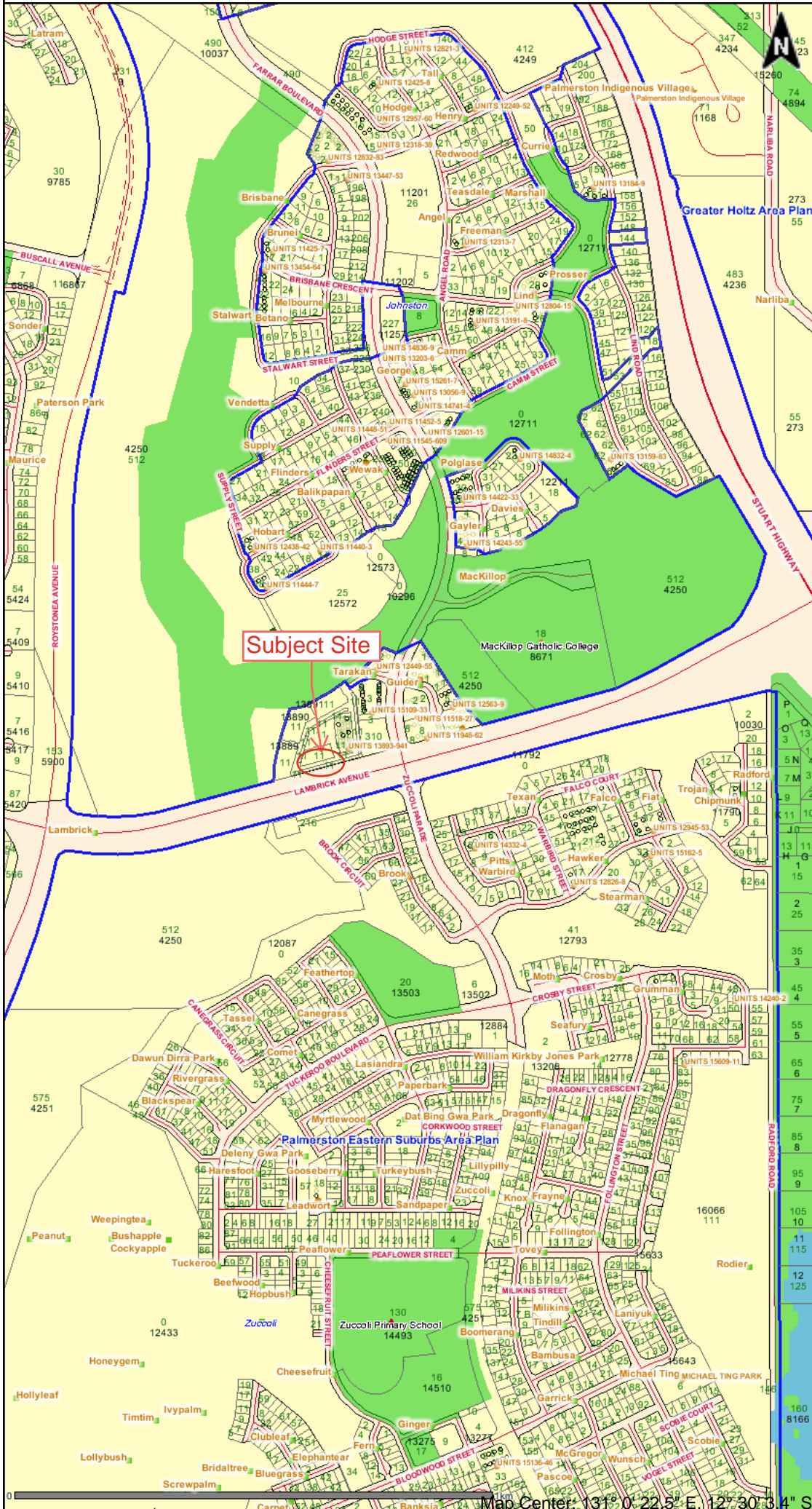
- Placenames**
- ▲ Recorded
 - ★ Historical
 - Registered
 - ▲ Assigned
 - Revoked
 - + Registered - Historical
- Aboriginal Communities**
- Family Outstation
 - Major
 - ▲ Minor
 - + Town Camp
 - General Text
- Railways**
- General Lines
 - Gas Pipelines
 - Lot Boundaries
- Notations**
- Active
 - Proposed
 - ANEF Katherine 1997
 - 1997
- Town Planning Zones**
- A - Agriculture
 - CV - Caravan Park
 - CB - Central Business
 - C - Commercial
 - CL - Community Living
 - CP - Community Purpose
 - CN - Conservation
 - DD - Development
 - RR - Rural Residential
 - GI - General Industry
 - HT - Heritage
 - HR - High Density Residential
 - H - Horticulture
 - LI - Light Industry
 - M - Main Road
 - MR - Medium Density Residential
 - LMR - Low-Medium Density Residential
 - CA - No Planning Scheme Controls
 - OR - Organised Recreation
 - PM - Proposed Main Road
 - PS - Public Open Space
 - RW - Railway
 - RD - Restricted Development
 - R - Rural
 - RL - Rural Living
 - SC - Service Commercial
 - LR - Low Density Residential
 - S - Specific Use
 - TC - Tourist Commercial
 - U - Utilities
 - WM - Water Management
 - FD - Future Development
 - RJ - Residential Jabiru
 - PSJ - Public Open Space Jabiru
 - ORJ - Organised Recreation Jabiru
 - CJ - Commercial Jabiru
 - SCJ - Service Commercial Jabiru
- Created by Public User**
- Bottom Left: 101° 00' 07" E, 12° 30' 08" S
 Top Right: 101° 00' 36" E, -12° 29' 52" S
 Approximate Scale: 1:5,800
 UJ - Utilities
 Date: ODA 1994
 Data for information purposes only
 Road accuracy not guaranteed
 Not a Land Information System
 Copyright Northern Territory of Australia

Map Center: 131° 0' 21.9" E, 12° 30' 0.6" S

Street Numbers

Overlays - NTPS2020 - 04/03/2025

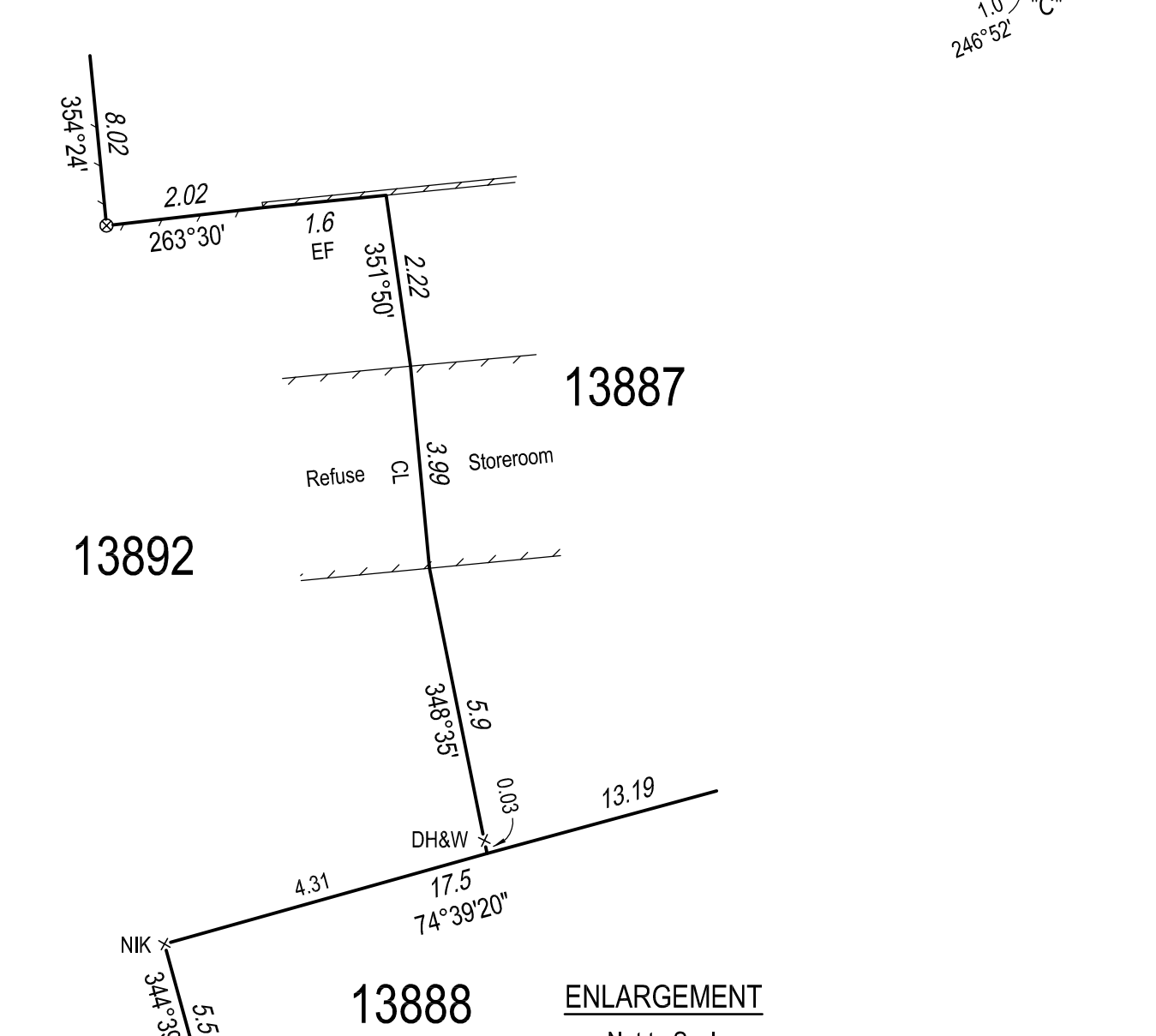
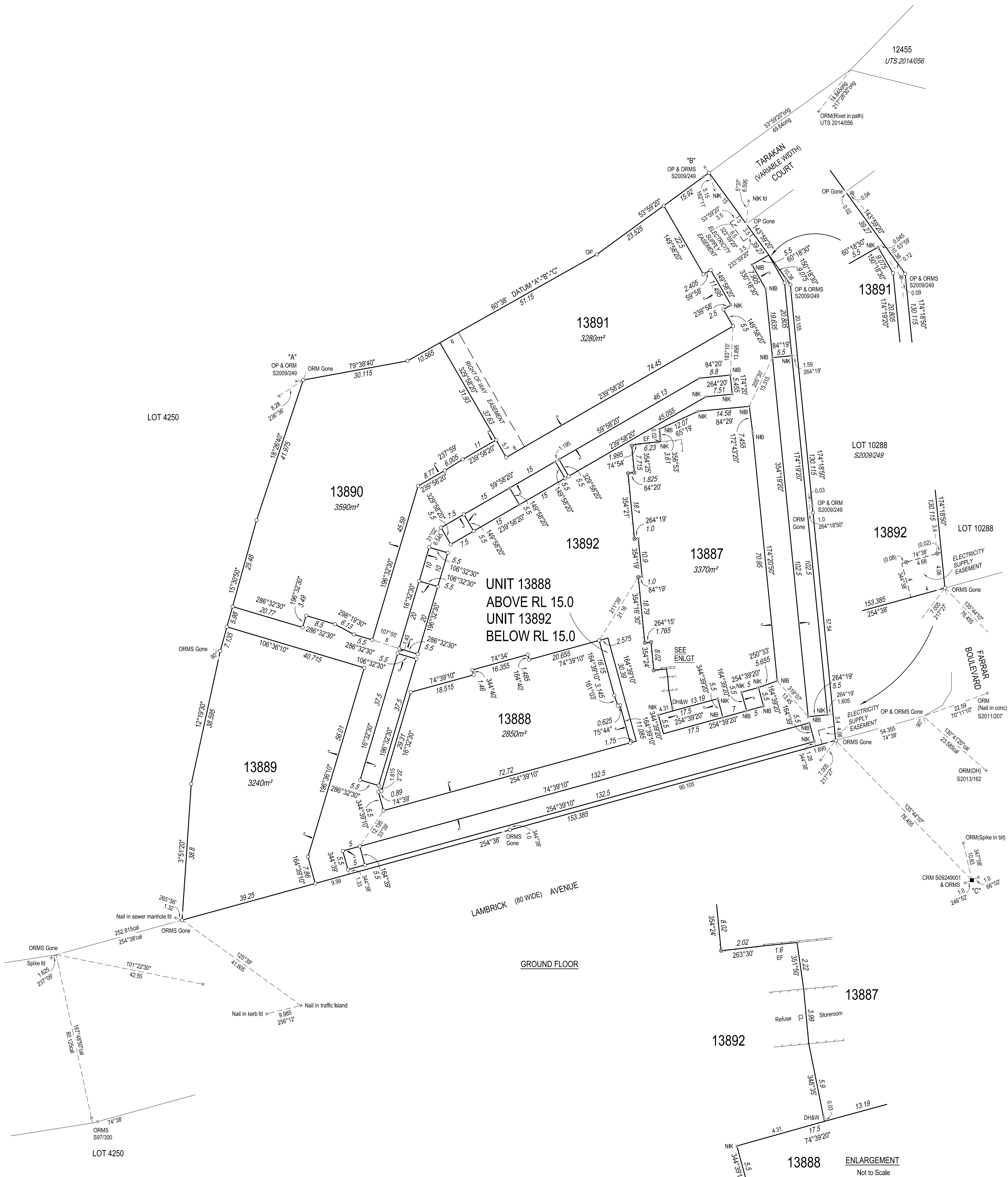
Legend



- Placenames**
- ▲ Recorded
 - ★ Historical
 - ▲ Registered
 - ▲ Assigned
 - Revoked
 - + Registered - Historical
- Aboriginal Communities**
- Family Outstation
 - Major
 - ▲ Minor
 - + Town Camp
- General Text**
- General Text
- Railways**
- Railways
- General Lines**
- General Lines
- Gas Pipelines**
- Gas Pipelines
- Lot Boundaries**
- Lot Boundaries
- Area Plans**
- Area Plans
- Gateway Locations**
- Gateway Locations
- Land Subject to Flooding**
- Land Subject to Flooding
- Clearing of Native Vegetation**
- Clearing of Native Vegetation
- Road Labels**
- Road Labels
- Road Centrelines**
- Road Centrelines
- Highway**
- Highway
- Other Road**
- Other Road
- Street Numbers**
- Street Numbers
- Parcel Numbers**
- Parcel Numbers
- Cadastre Proposed**
- Cadastre Proposed
- Cadastre**
- Cadastre
- Coastline**
- Coastline

Created by Public User

Bottom Left: 130° 59' 54", -12° 30' 18"
 Top Right: 131° 00' 50", -12° 29' 48"
 Approximate Scale: 1:11,000
 Datum: GDA 1994
 Data for information purposes only
 - accuracy not guaranteed
 N.T. Land Information System
 Copyright Northern Territory of Australia



Note
 CL denotes Centreline of Wall
 EF denotes External Face of Wall
 NIB denotes Nail in bitumen
 NIK denotes Nail in kerb
 Horizontal Unit Boundaries have no upper or lower limits
 except at the nominated change between Units 13888 and 13892
 Datum for level is Australian Height Datum (AHD) (CRM
 S09249001 RL13.978)

UNIT TITLES SUBDIVISION - UNIT TITLE SCHEMES ACT

Richard David Purnell
 Licensed Surveyor
 17/11/2015
 Date

SURVEY APPROVED
 25 May 2016
 Date

Note
 Unit 13892 is Common Property
 Reference marks are at one metre unless otherwise shown
 Right of Way Easement over Unit 13891 is in favour of
 Unit 13890
 Right of Way Easement is to be created by registration of
 this plan
 Existing Electricity Supply Easements are in favour of the
 Power and Water Corporation and affect Unit 13892
 Version 1 - survey plan as lodged

Field Book
 EJA REF: 8769
 Drawn
 Earl James & Associates
 18.11.15
 Examined
 Earl James & Associates
 24.11.15
 Map Reference

Grid
 (Palmerston Datum) Bearings
AZIMUTH
 Assumed from
 S2009/249
 Observed at

LEGEND
 Concrete Post
 Concrete Block
 Peg or Wooden Post
 Reference Mark
 Locksplit
 Fence Post

UNITS 13887 TO 13892
 SUBDIVISION OF LOT 10286
 TOWN OF PALMERSTON

SCALE 1:500(A1)
 10 0 10 20 30
 metres

UTS 2015/073

Untitled Map

Write a description for your map.

Legend

Google Earth

© Northern Territory of Australia 2024

100 m



Lambrick Avenue

Arakan Court

Guider Court

Fairfax Boulevard

13891

13890

13892

13888

13889

13920
13905 13934
13933 13921
13904 13932 13935
13903 13936
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13916 13941 13937
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11521 11520
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11957 11962
11955 11953
11956 11954

12563
1256

11961 11948
11960 11946
11958 11959
11957 11962
11953 11954

Date Registered: 23/06/2016

Volume 811 Folio 570

Duplicate Certificate as to Title issued? No

SEARCH CERTIFICATE

Unit 13888 Town of Palmerston from plan(s) UTS2015/073

Interest entitlement 4118 of 20000 of 11 Tarakan Court Principal Unit Title Scheme

Contribution entitlement 4118 of 20000 of 11 Tarakan Court Principal Unit Title Scheme

Area under title is 2850 square metres

Owner:

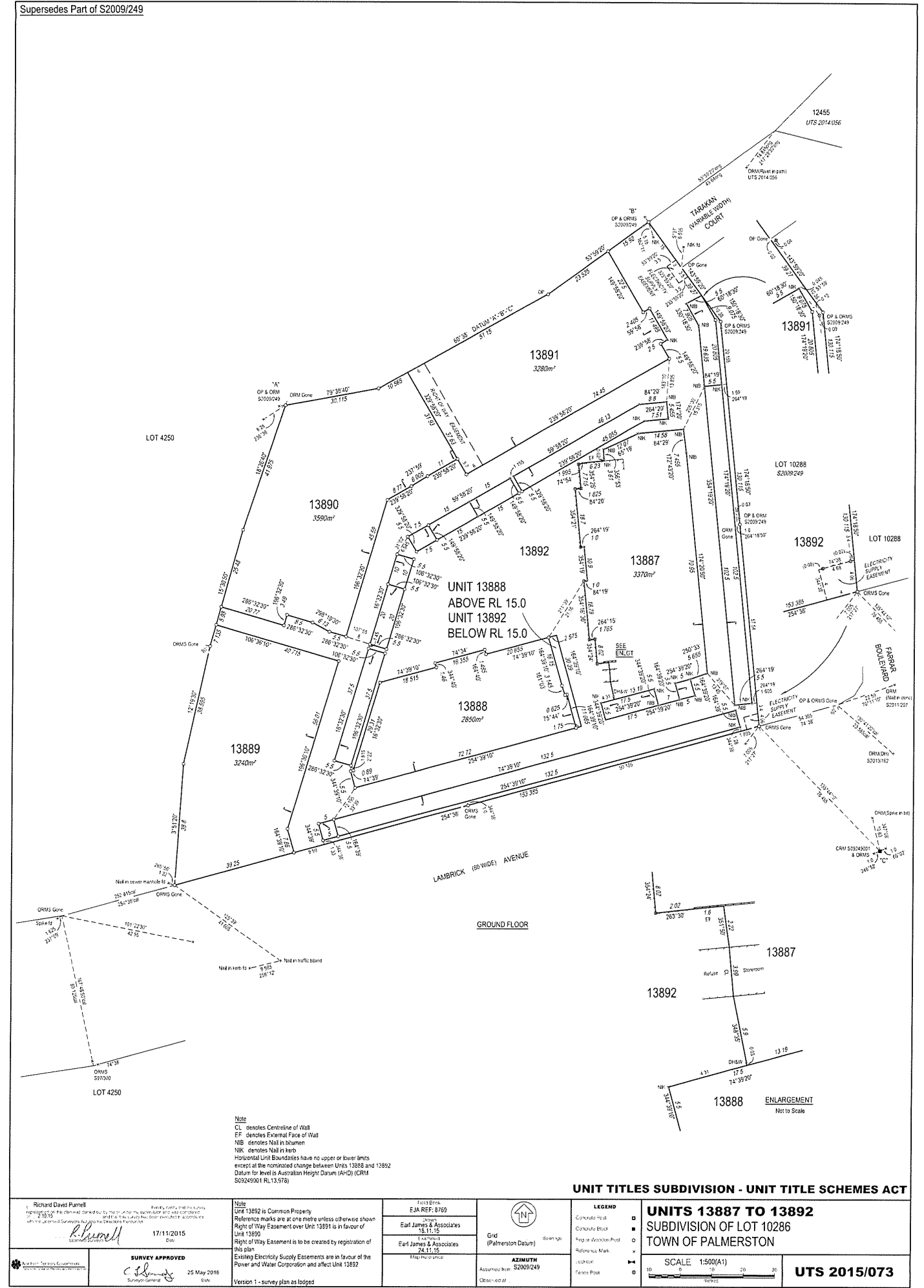
Mitchell & Thompson Pty Ltd (ACN 068 186 354)

of PO Box 2716, Parap NT 0804

Registered Date	Dealing Number	Description
23/06/2016	871045	Mortgage Westpac Banking Corporation
23/06/2016	871044	Unit Title Scheme Statement (Scheme 2016/026)
18/11/2014	836753	Unit Title Schemes Disclosure Statement - Disclosure Statement - Tarakan Court Development Stage 2
18/11/2014	836752	Unit Title Schemes Disclosure Statement - Disclosure Statement - Tarakan Court Development Stage 1

End of Dealings

Refer to Plan UTS2015/073 for diagram of Unit 13888 Town of Palmerston



<p>Richard Davis Planner</p> <p>17/11/2015</p>	<p>Survey Approved</p> <p>25 May 2016</p>	<p>Richard Davis Planner</p> <p>17/11/2015</p>	<p>Earl James & Associates</p> <p>74/11/15</p>	<p>Earl James & Associates</p> <p>74/11/15</p>	<p>AS201/04</p> <p>Assessment from S2009/249</p>	<p>LEGEND</p> <p>Calculate Post</p> <p>Calculate Block</p> <p>Prop or Wooden Post</p> <p>Reference Mark</p> <p>Lockset</p> <p>Feature Post</p>	<p>UNITS 13887 TO 13892</p> <p>SUBDIVISION OF LOT 10286</p> <p>TOWN OF PALMERSTON</p> <p>SCALE 1:500(A1)</p> <p>UTS 2015/073</p>
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Date Registered: 23/06/2016

Volume 811 Folio 574

Duplicate Certificate as to Title issued? No

SEARCH CERTIFICATE

Unit 13892 Town of Palmerston from plan(s) UTS2015/073
Common Property of 11 Tarakan Court Principal Unit Title Scheme

Owner:

Body Corporate for 11 Tarakan Court Principal Unit Title Scheme (BC 2016/026)
of GPO Box 3197, Darwin NT 0801

Easements:

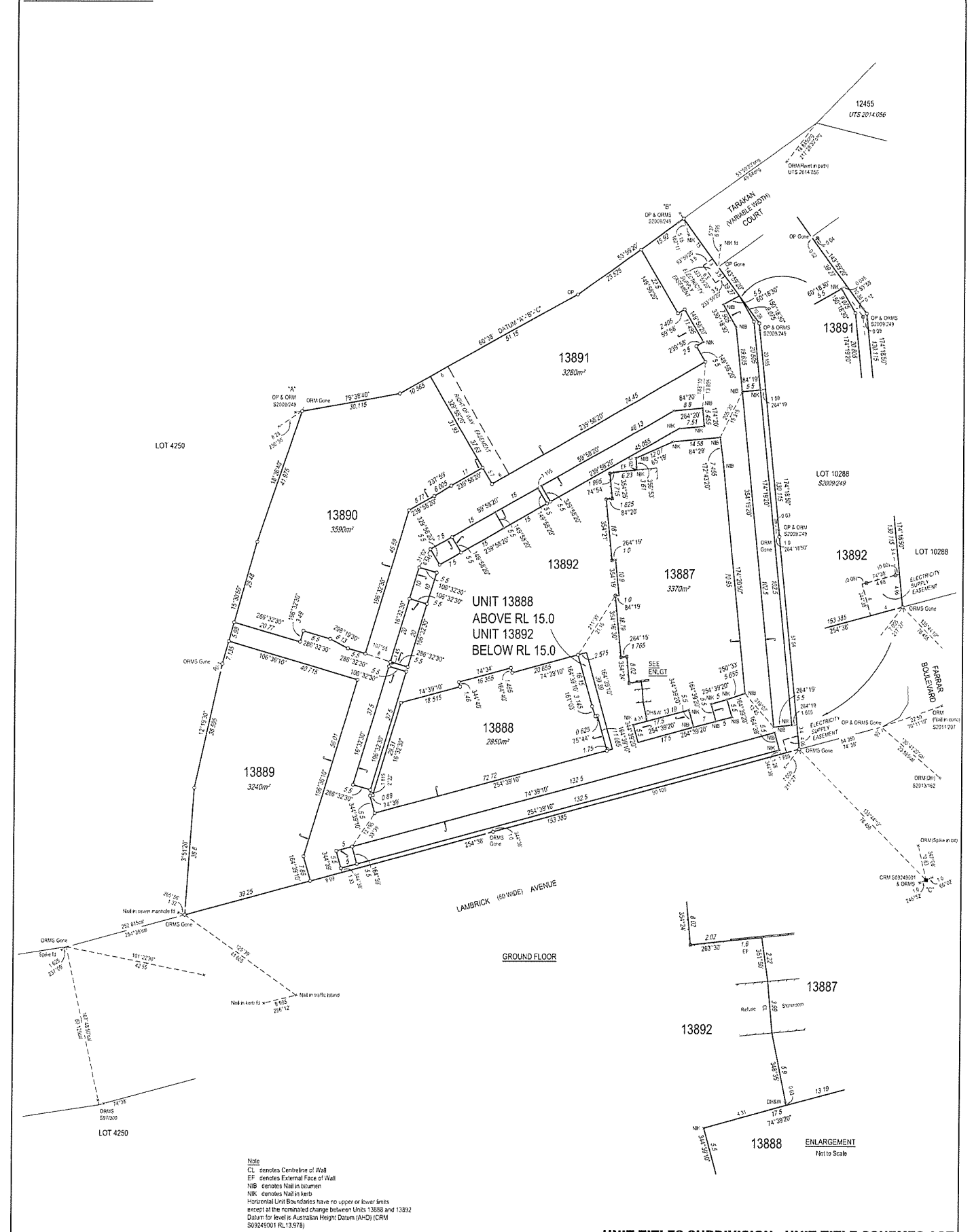
Electricity supply Easement to Power and Water Corporation

Registered Date	Dealing Number	Description
23/06/2016	871044	Unit Title Scheme Statement (Scheme 2016/026)
15/10/2015	857876	Electricity supply Easement to Power and Water Corporation
18/11/2014	836753	Unit Title Schemes Disclosure Statement - Disclosure Statement - Tarakan Court Development Stage 2
18/11/2014	836752	Unit Title Schemes Disclosure Statement - Disclosure Statement - Tarakan Court Development Stage 1

End of Dealings

Refer to Plan UTS2015/073 for diagram of Unit 13892 Town of Palmerston

Supersedes Part of S2009/249



<p>Richard Davis Parnell 17/11/2015 Date</p>		<p>17/11/2015 Date</p>		<p>25 May 2016 Date</p>	
<p>Richard Davis Parnell EJA REF: 8169 Earl James & Associates 24.11.15</p>		<p>Earl James & Associates 24.11.15</p>		<p>ASIMUTH Adapted from S2009/249</p>	
<p>UNIT 13892 is Common Property Reference marks are at one metre unless otherwise shown Right of Way Easement over Unit 13891 is in favour of Unit 13890 Right of Way Easement is to be created by registration of this plan Existing Electricity Supply Easements are in favour of the Power and Water Corporation and affect Unit 13892</p>		<p>Note: CL denotes Centreline of Wall EF denotes External Face of Wall NB denotes Nail in beam NBK denotes Nail in kerb horizontal Line Boundaries have no upper or lower limits except at the nominal change between Units 13888 and 13892 Datum for level is Australian Height Datum (AHD) (CRM 50/924/001 RL 13.978)</p>		<p>LEGEND </p>	
<p>UNIT TITLES SUBDIVISION - UNIT TITLE SCHEMES ACT</p>		<p>UNITS 13887 TO 13892 SUBDIVISION OF LOT 10286 TOWN OF PALMERSTON</p>		<p>SCALE 1:500(A1) </p>	
<p>UTS 2015/073</p>					

Bookmark B1
Variation of Conditions application
(lodged documents 03/03/2025)

Lots 13888, 13892
(11) Tarakan Court, Johnston NT

Application for Variation to the
Conditions of DP23.0304 (10/9/2024)

STATEMENT OF EFFECT OF VARIATION

- 1.0 The Site**
- 2.0 Reason for Variation Application**
- 3.0 Variations**
- 4.0 Relevant documents and drawings**

Bookmark B1

Variation of Conditions application (lodged documents 03/03/2025)

1.0 The Site

The site which is the subject of this Application for a Variation is part of a subdivision formerly Lot 10286 Palmerston NT. DP23.0304 has been granted for the development of 27 dwellings in a 3 storey structure on subdivided lot 13888. Further approval is given to extensions to the common property Lot 13892 including additional covered and uncovered car parking bays and an additional garbage enclosure. The area of Lot 13888 is 2,850M²

2.0 Reason for Variation Application

Construction documentation has been completed on the development and the project is 'shovel ready'. The Owners are now required to unit title the project as a condition of the Permit to Build. During the development of the design and contract documentation alterations to the initial Planning submission have been made to the floor layout. The reasons for these alterations are given in the next section: Variations.

The Development Consent Authority has noted these variations between the For Construction documentation and the stamped Development Permit drawings on the Unit Title Plan submitted for approval by Earl James and Associates and has requested this Variation Application be submitted.

3.0 Variations

The DCA issued a Technical Assessment on 1 November 2023. The Applicant responded with a letter on 5 November 2023. Revised drawings were attached to the response and the following amendments are relevant to this Application for a Variation:

Bookmark B1

Variation of Conditions application (lodged documents 03/03/2025)

Residential Building Design (Clause 5.4.2)

The façade (GF/1r Units 2,3,4, 1st FL Units 9,10,11, 2nd FL Units 19,20,21) was extended to the North resulting “ *in a slight ‘bulge’ in the north façade but has created the opportunity to conform with the Guidelines. It has also achieved the benefit of an expanded Lift lobby on each floor which will improve internal circulation and occupant comfort*”

It should be noted that DCA stamped approved Drawings TK2R 00G and 18A reflect these amendments

An appreciable change was made to the external walls of Ground Floor Units 1 and 7 to improve the natural cross flow ventilation generally and to provide the Kitchens with an external window. Relatively minor amendments were made to the internal layouts to provide for:

- ... Vertical service ducts
- ... Electrical and mechanical service cupboards
- ... Internal access to the Roof from 2nd Floor

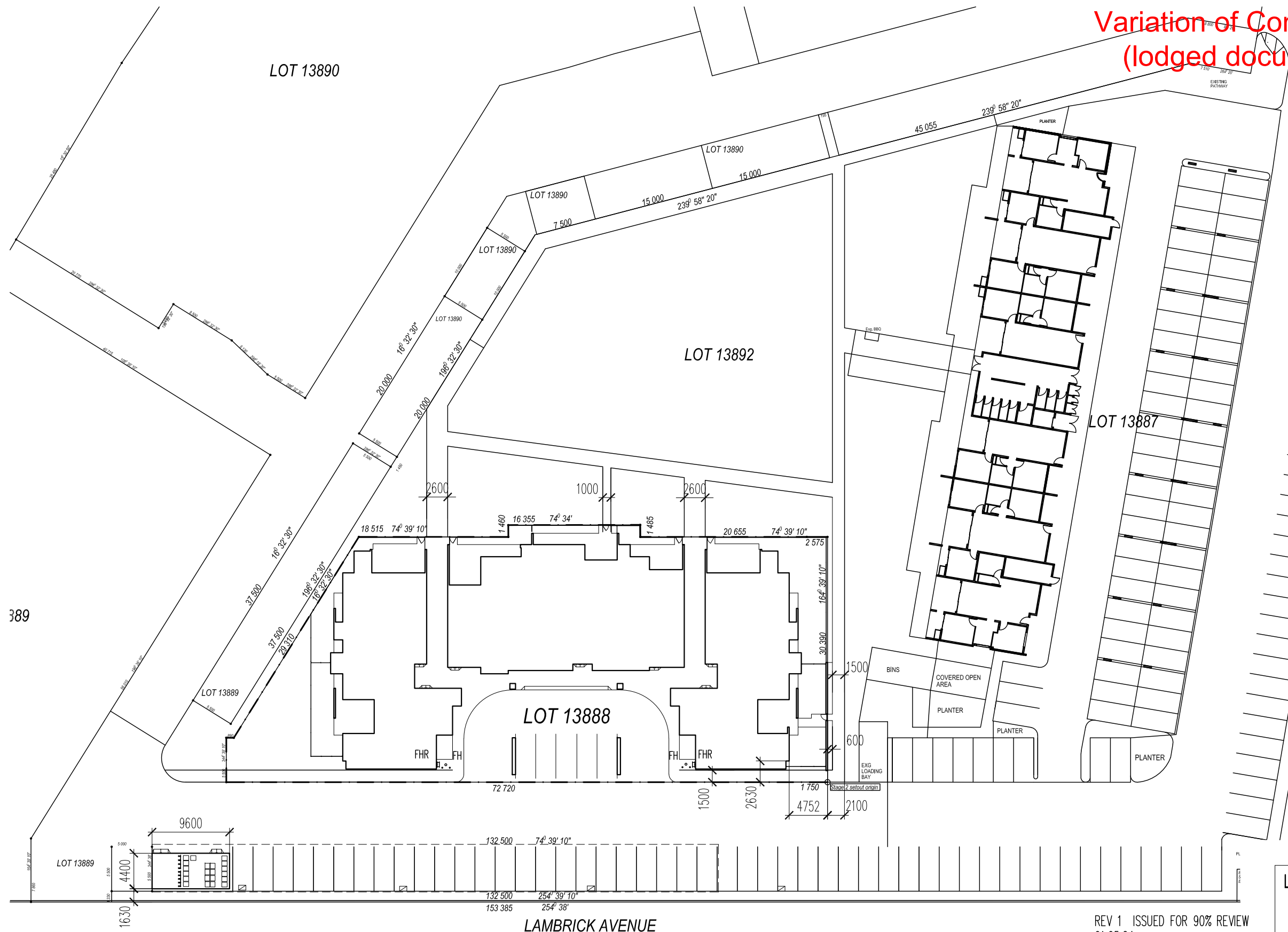
4.0 Relevant documents and drawings

The following Drawings are relevant to this Application and are submitted as a companion to this Statement:

- ... PTWKM Letter to DCA dated 5 /11/2024
- ... Architectural drawing set (For Construction) 10/9/2024
- ... DCA signed and endorsed plans DP23.0304
- ... Site Survey Plan (Earl James & Associates)

*Bruce Baldey
212/416 St Kilda Road
Melbourne VIC 3004
0413 833863*

3 March 2025



389

site plan
SCALE 1 : 500

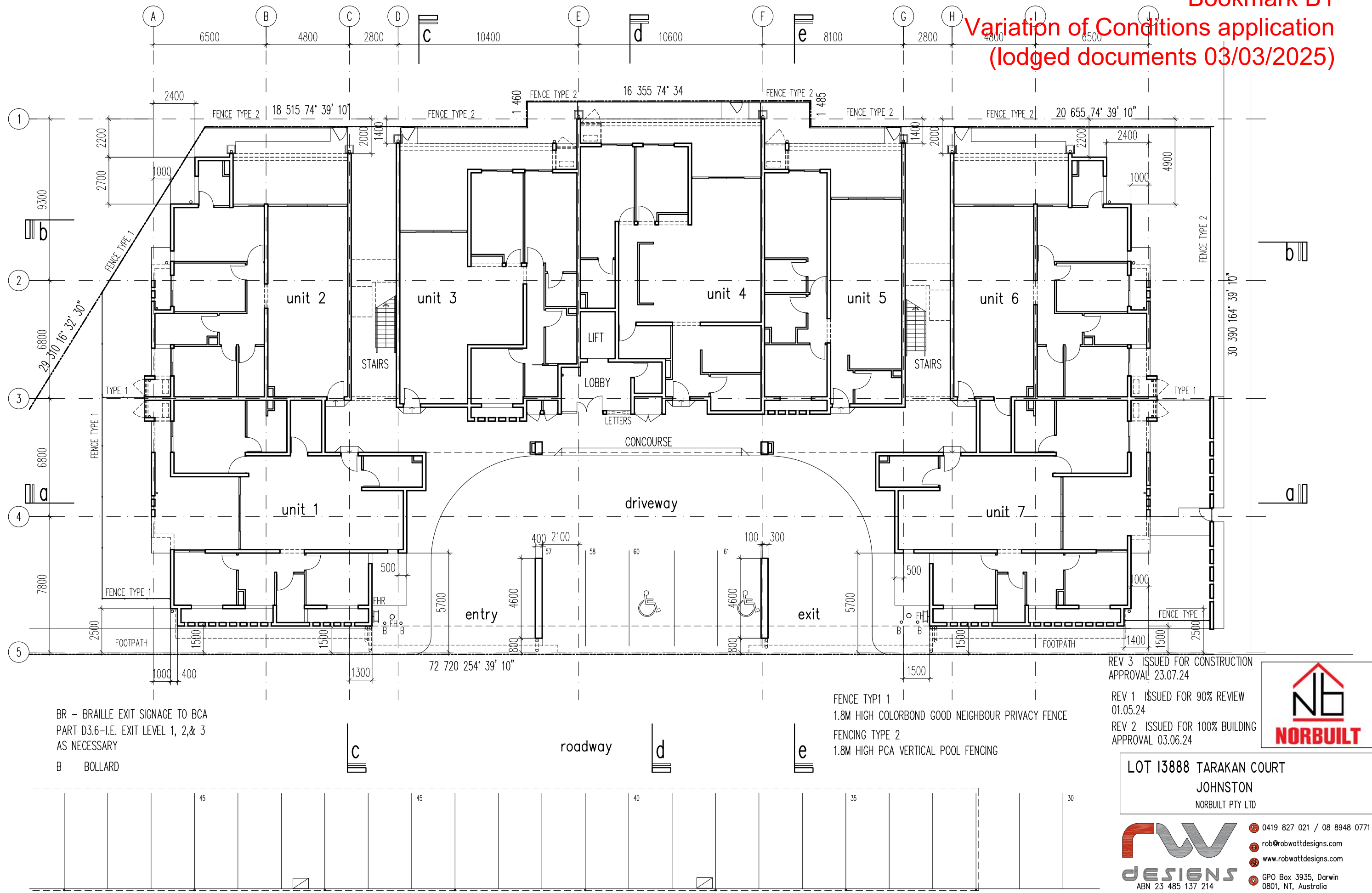
REV 1 ISSUED FOR 90% REVIEW
01.05.24
REV 2 ISSUED FOR 100% BUILDING
APPROVAL 03.06.24

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GPO Box 3935, Darwin
0801, NT, Australia

Date	FEBRUARY 2024	JOB No.	24008-B2-00	Amend.	2
Scale	AS SHOWN				

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



BR – BRAILLE EXIT SIGNAGE TO BCA
PART D3.6–I.E. EXIT LEVEL 1, 2, & 3
AS NECESSARY
B BOLLARD

FENCE TYP1 1
1.8M HIGH COLORBOND GOOD NEIGHBOUR PRIVACY FENCE
FENCING TYPE 2
1.8M HIGH PCA VERTICAL POOL FENCING

REV 3 ISSUED FOR CONSTRUCTION
APPROVAL 23.07.24
REV 1 ISSUED FOR 90% REVIEW
01.05.24
REV 2 ISSUED FOR 100% BUILDING
APPROVAL 03.06.24



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Date FEBRUARY 2024 JOB No. 24008-B2-01 Amend. 3
Scale AS SHOWN
BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

building 2-floor plan ground level
SCALE 1 : 200

GENERAL NOTES

- 1. DESIGN CRITERIA TO AS 1170 PARTS 1 & 2
- 2. TERRAIN CATEGORY: 2.5 REGION: C
- 3. VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY ON SITE WORKS
- 4. ALL WORKMANSHIP TO COMPLY WITH RELEVANT AUST STANDARDS BY STANDARDS ASSOC OF AUSTRALIA
- 5. 'DTC' REFERS TO 'DEEMED TO COMPLY STANDARDS' PREPARED BY THE NT DEPT OF LANDS
- 6. THE SUB CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE DURING ERECTION & SHALL PROVIDE ADEQUATE PROPPING AND SUPPORT
- 7. WET AREA FLOORS & WALLS TO AS3740 - 2400 WATERPROOFING OF WET AREAS FOR RESIDENTIAL BUILDINGS REFER TO FIT OUT DRAWINGS FOR DETAILS
- 8. HYDRAULICS DRAWINGS FOR LOCATION FLOOR WASTES MAX FALL BETWEEN 1:60 AND 1:80.
- 9. PLUMBING PENETRATIONS TO ACHIEVE FR 90/90
- 10. FLOOR SLABS TO ACHIEVE 45Rw
- 11. BOUNDING CONSTRUCTION WALLS TO ACHIEVE 45Rw BETWEEN HABITABLE ROOMS OR HABITABLE ROOM AND PUBLIC AREAS
- 12. 50Rw INSULATION AGAINST IMPACT SOUND BETWEEN HABITABLE ROOMS AND KITCHEN, BATHROOMS OR LAUNDRIES OF ADJOINING APARTMENTS
- 13. RW 45 INSULATION TO RISER/PEN TO BCA FP 5.2 & FP 5.4

- 14. DENOTES 200 SERIES BLOCKWORK WALLS
- 15. DENOTES RHONDO STUD WALL FRAMING AT 450CTS MAX
- 16. FENCE TYPE 1
1.8M HIGH COLORBOND GOOD NEIGHBOUR PRIVACY FENCE
- 17. FENCING TYPE 2
1.8M HIGH PCA VERTICAL POOL FENCING
- 18. PROVIDE 100x100x6 CAST-IN STEEL ANGLES TO NEW CONCRETE BLADE COLUMNS 1200H WITH HAZARD BLACK / YELLOW PAINT FINISH TO PREVENT DAMAGE FROM VEHICLES.

- REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
- REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
- REV 1 ISSUED FOR 90% REVIEW 01.05.24

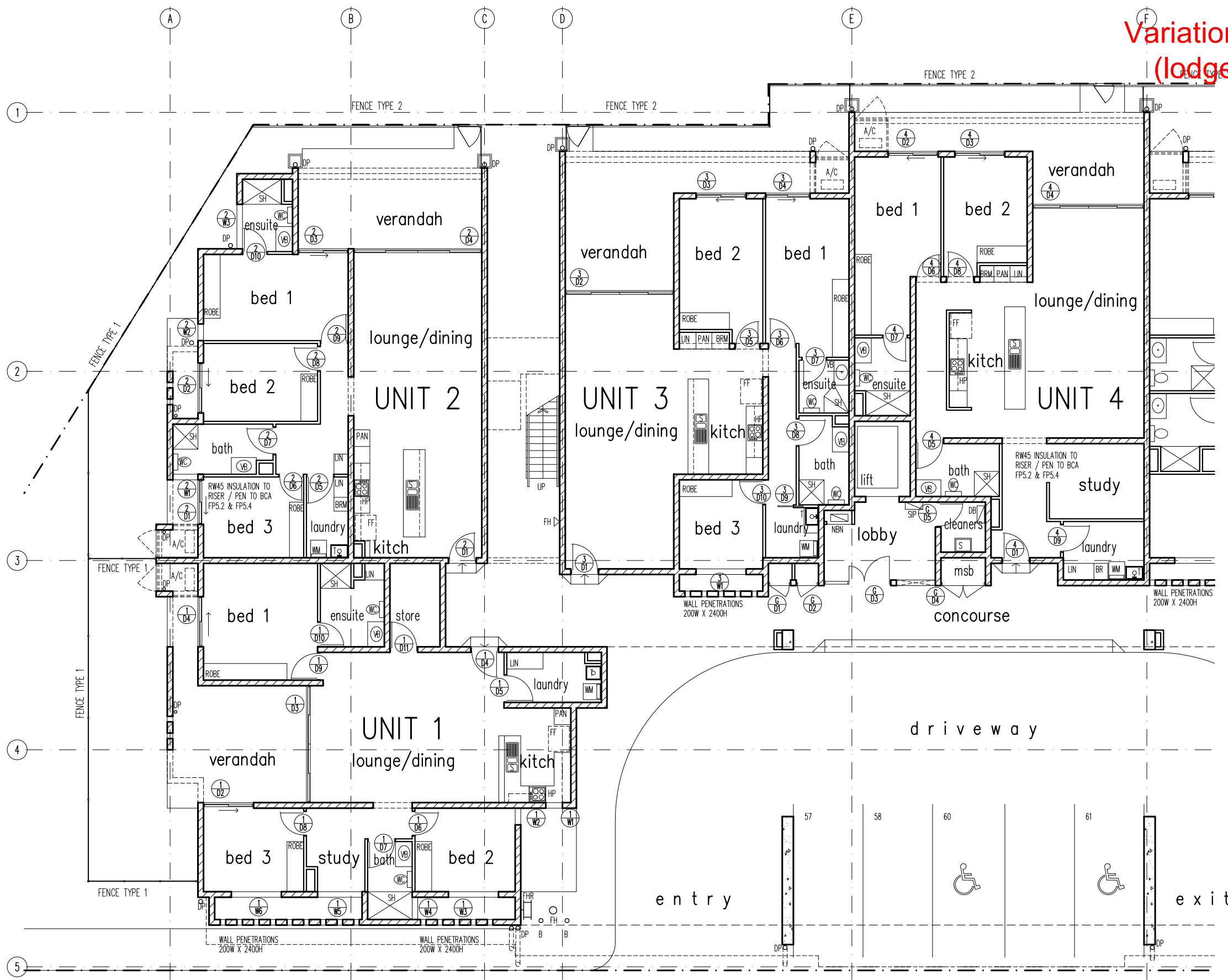


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Date	FEBRUARY 2024	JOB No.	24008-B2-02	Amend.	3
Scale	AS SHOWN	BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION			



building 2-part floor plan 1 - grd level

SCALE 1 : 150

Variation of Conditions application (lodged documents 03/03/2025)

GENERAL NOTES

- 1. LOAD CRITERIA (TO AS 1170 PARTS 2 & 3) & TERRAIN CATEGORY 2.5 REGION: C
- 2. VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY ON SITE WORKS
- 3. ALL WORKMANSHIP TO COMPLY WITH RELEVANT AUST STANDARDS BY STANDARDS ASSOC OF AUSTRALIA
- 4. 'DTC' REFERS TO 'DEEMED TO COMPLY STANDARDS' PREPARED BY THE NT DEPT OF LANDS
- 5. THE SUB CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE DURING ERECTION & SHALL PROVIDE ADEQUATE PROPPING AND SUPPORT
- 6. WET AREA FLOORS & WALLS TO AS3740 - 2400 WATERPROOFING OF WET AREAS FOR RESIDENTIAL BUILDINGS REFER TO FIT OUT DRAWINGS FOR DETAILS
- HYDRAULICS DRAWINGS FOR LOCATION FLOOR WASTES MAX FALL BETWEEN 1:60 AND 1:80.
- 7. PLUMBING PENETRATIONS TO ACHIEVE FR 90/90
- 8. FLOOR SLABS TO ACHIEVE 45Rw BOUNDING CONSTRUCTION WALLS TO ACHIEVE 45Rw BETWEEN HABITABLE ROOMS OR HABITABLE ROOM AND PUBLIC AREAS 50Rw INSULATION AGAINST IMPACT SOUND BETWEEN HABITABLE ROOMS AND KITCHEN, BATHROOMS OR LAUNDRIES OF ADJOINING APARTMENTS RW 45 INSULATION TO RISER/PEN TO BCA FP 5.2 & FP 5.4

- DENOTES 200 SERIES BLOCKWORK WALLS
- INTERNAL BLOCKWORK WALLS TO HAVE 10mm FLUSH JOINTED DIRECT STICK PLASTERBOARD
- DENOTES RHONDO STUD WALL FRAMING AT 450CTS MAX

- FENCE TYP1 1
1.8M HIGH COLORBOND GOOD NEIGHBOUR PRIVACY FENCE
- FENCING TYPE 2
1.8M HIGH PCA VERTICAL POOL FENCING

- REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
- REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
- REV 1 ISSUED FOR 90% REVIEW 01.05.24



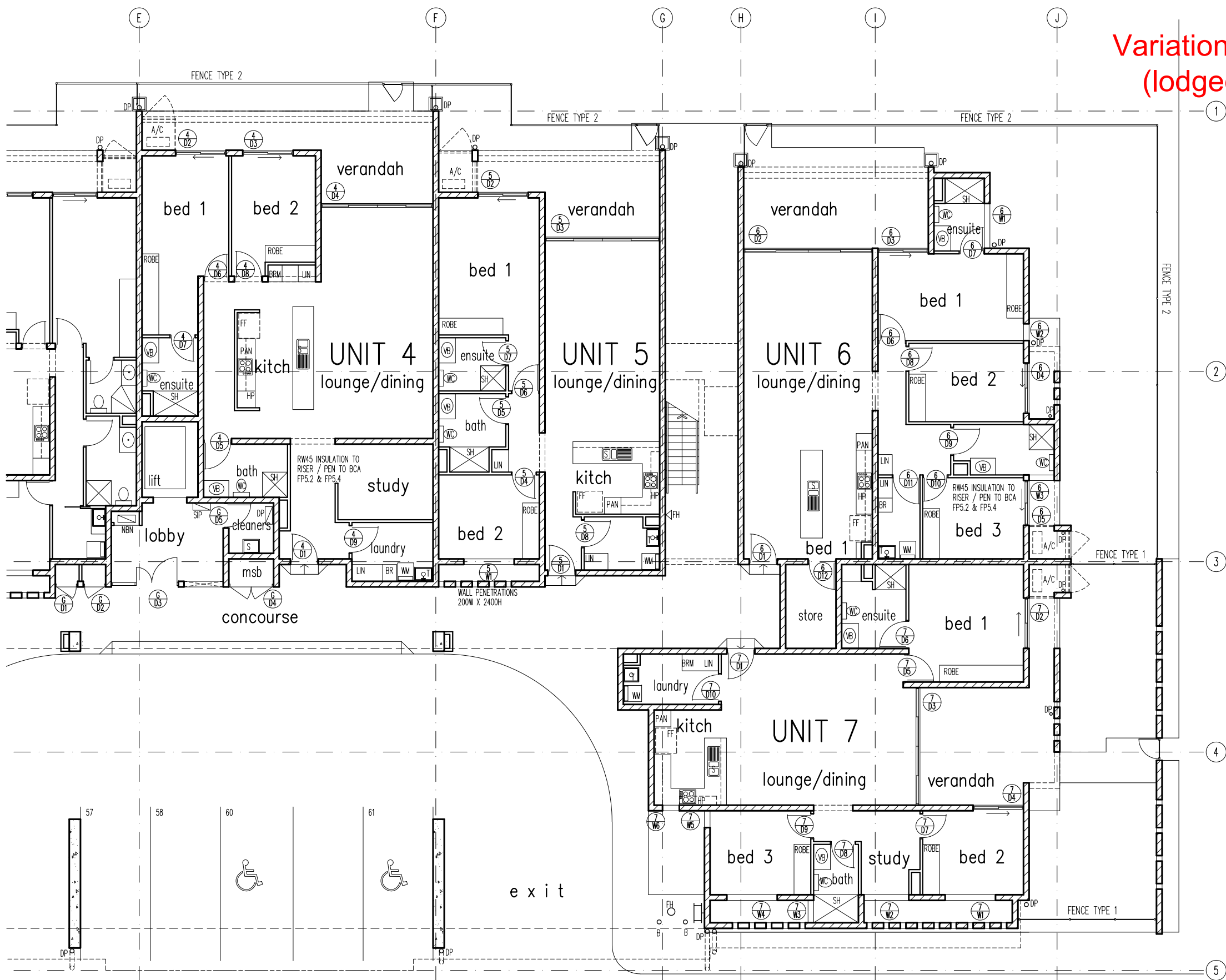
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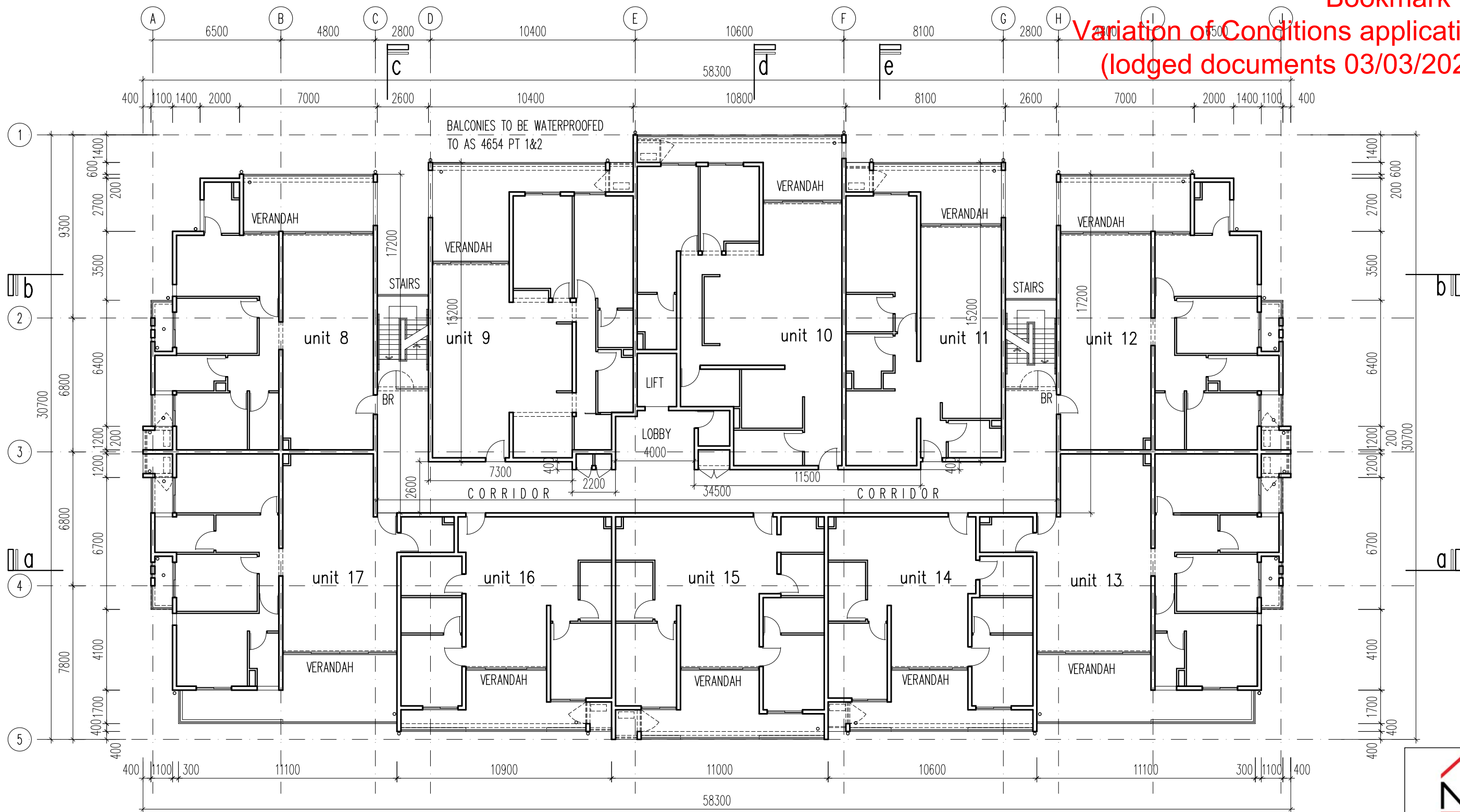
Date	FEBRUARY 2024	JOB No.	24008-B2-03	Amend.	3
Scale	AS SHOWN				

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



building 2-part floor plan 2-ard level

SCALE 1 : 150



BR - BRAILLE EXIT SIGNAGE TO BCA PART D3.6-I.E. EXIT LEVEL 1, 2,& 3 AS NECESSARY

BALCONIES TO BE WATERPROOFED TO AS 4654 PT 1&2

building 2 - floor plan first floor

SCALE 1 : 200



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REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW 01.05.24

Date FEBRUARY 2024 JOB No. 24008-B2-04 Amend. 3
Scale AS SHOWN

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

GENERAL NOTES

- 1. DESIGN CRITERIA TO AS/NZS 1170 PARTS 2 & 3
- 2. TERRAIN CATEGORY: 2.5 REGION: C
- 2. VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY ON SITE WORKS
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- RW 45 INSULATION TO RISER/PEN TO BCA FP5.2 & FP5.4

- DENOTES 200 SERIES BLOCKWORK WALLS
- INTERNAL BLOCKWORK WALLS TO HAVE 10mm FLUSH JOINTED DIRECT STICK PLASTERBOARD
- DENOTES RHONDO STUD WALL FRAMING AT 450CTS MAX

- REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
- REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
- REV 1 ISSUED FOR 90% REVIEW 01.05.24



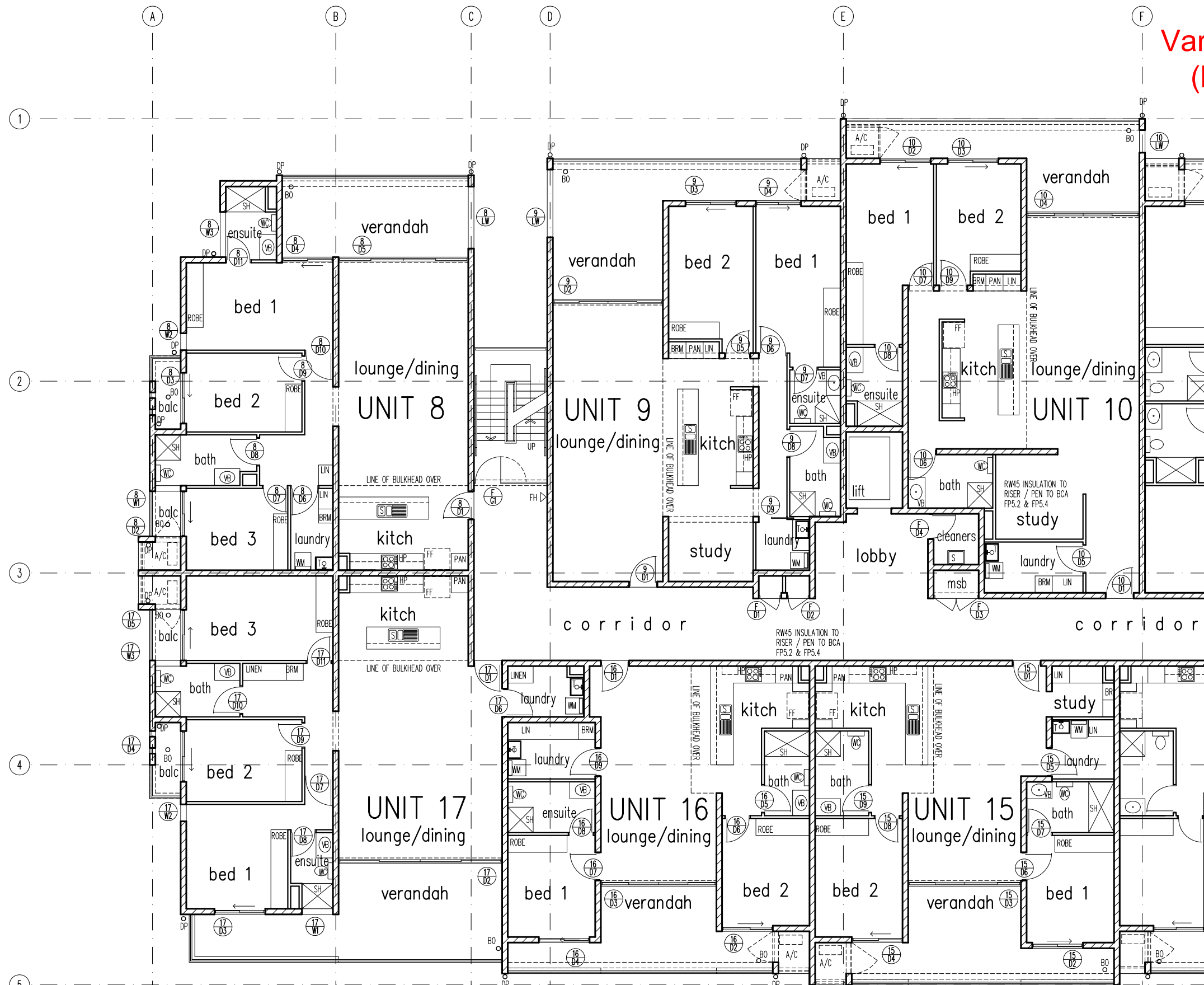
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Date FEBRUARY 2024 JOB No. 24008-B2-05 Amend. 3
Scale AS SHOWN

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



building 2-part floor plan 1-1st floor

SCALE 1 : 150

Variation of Conditions application (lodged documents 03/03/2025)

GENERAL NOTES

- 1. LOAD CRITERIA (TO 1117) PARTS 1 & 2
- 2. TERRAIN CATEGORY: 2.5 REGION: C
- 3. VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY ON SITE WORKS
- 4. ALL WORKMANSHIP TO COMPLY WITH RELEVANT AUST STANDARDS BY STANDARDS ASSOC OF AUSTRALIA
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- DENOTES RHONDO STUD WALL FRAMING AT 450CTS MAX

REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
 REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
 REV 1 ISSUED FOR 90% REVIEW 01.05.24



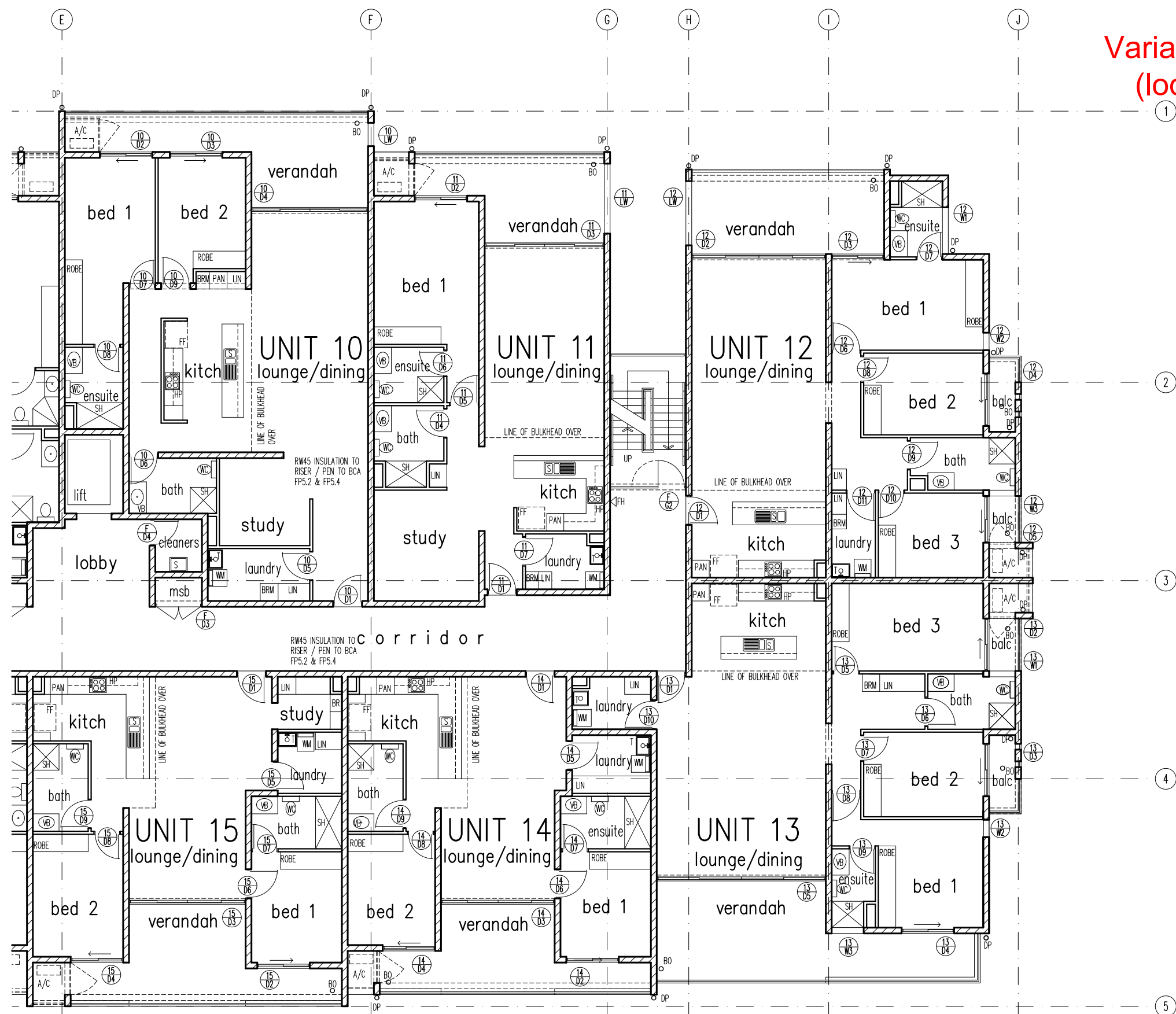
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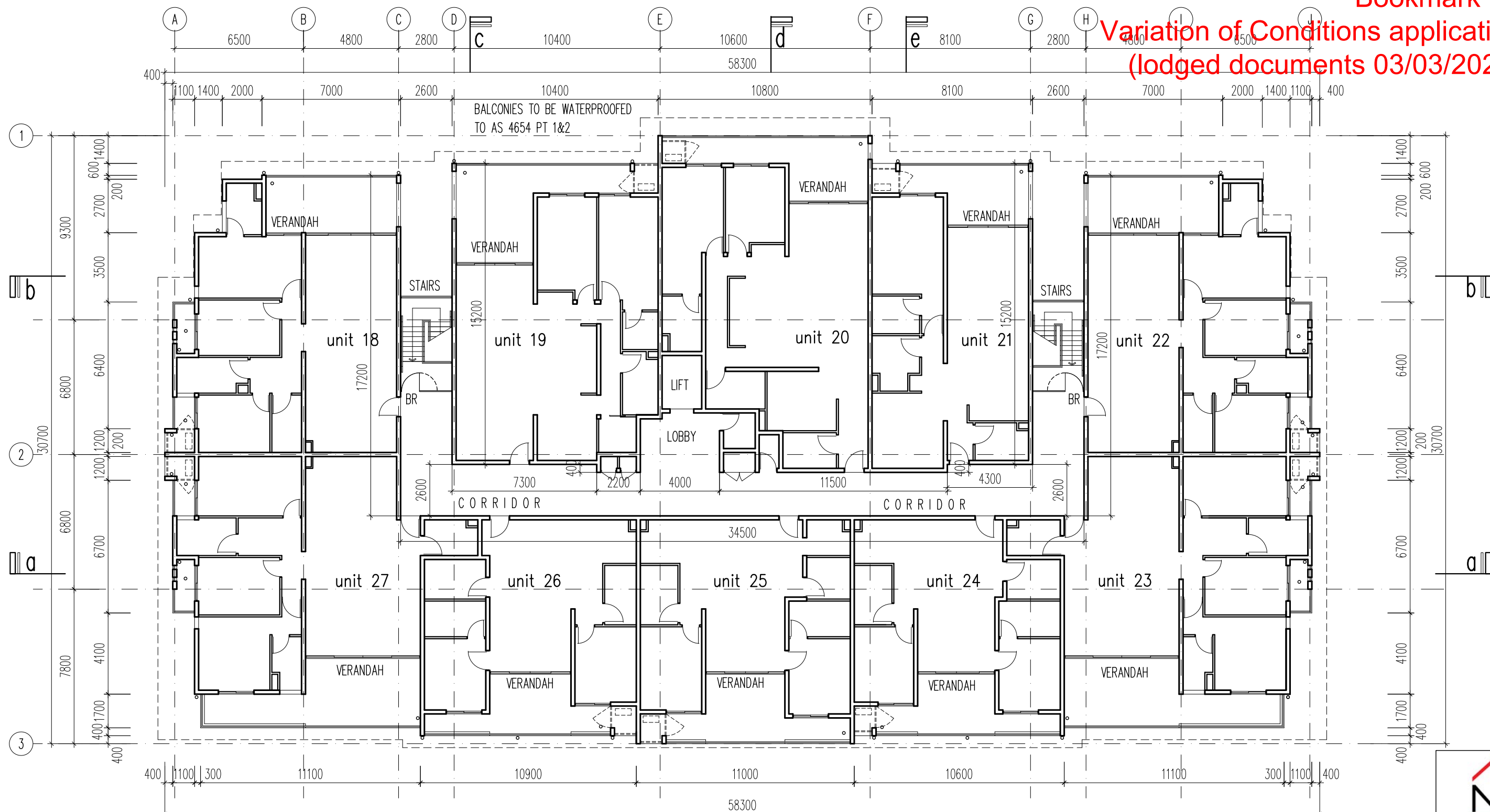
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Date FEBRUARY 2024 JOB No. 24008-B2-06 Amend. 3
 Scale AS SHOWN

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



building 2 - part floor plan 2 - 1st floor
 SCALE 1 : 150



BR - BRAILLE EXIT SIGNAGE TO BCA PART D3.6-I.E. EXIT LEVEL 1, 2,& 3 AS NECESSARY

BALCONIES TO BE WATERPROOFED TO AS 4654 PT 1&2

building 2 - floor plan second floor

SCALE 1 : 200

REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
 REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
 REV 1 ISSUED FOR 90% REVIEW 01.05.24



LOT 10286 TARAKAN COURT
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Date FEBRUARY 2024 JOB No. 24008-B2-07 Amend. 3
 Scale AS SHOWN

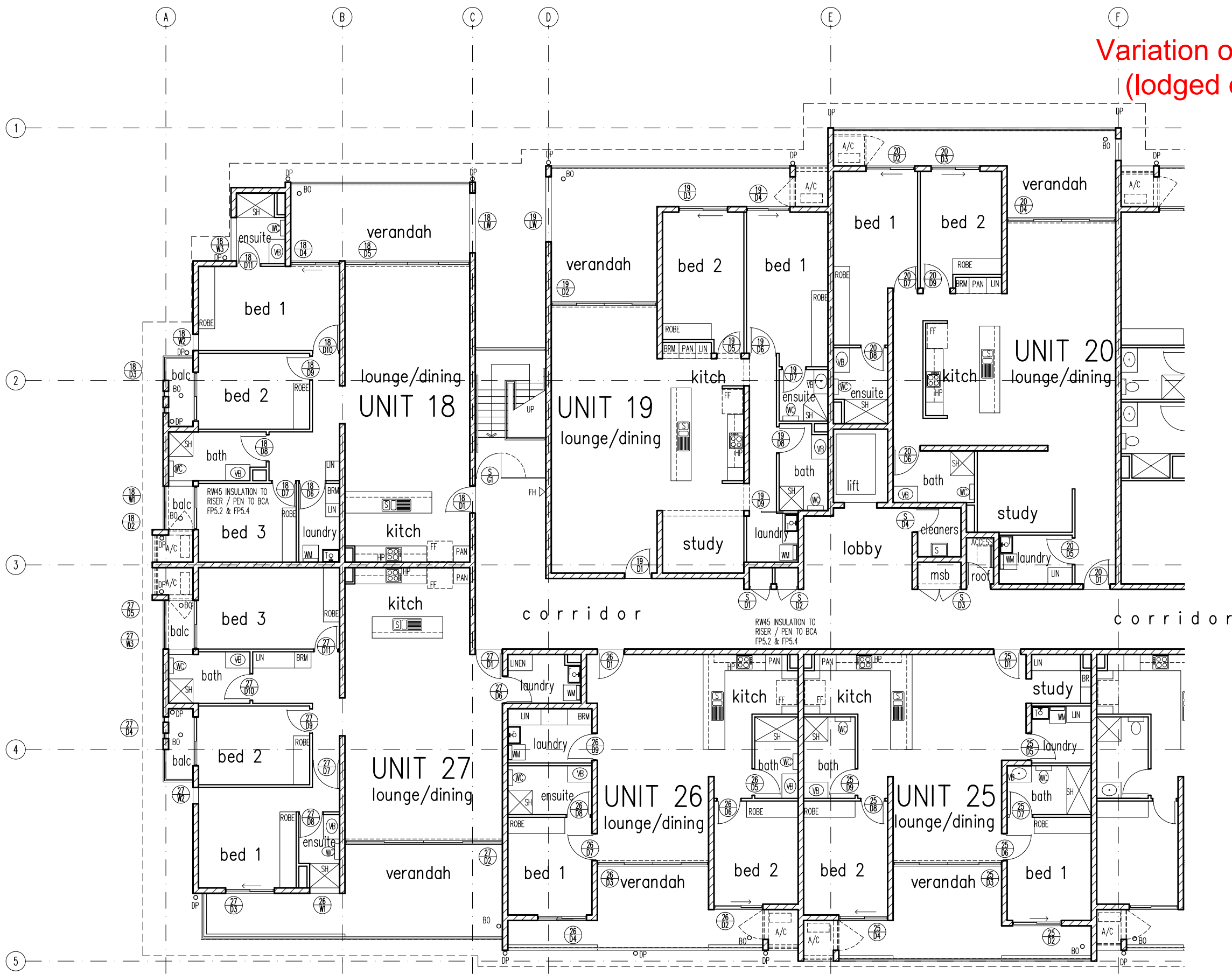
BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

Variation of Conditions application (lodged documents 03/03/2025)

GENERAL NOTES

- 1. CONSTRUCTION CRITERIA (TO 1117) PARTS 1 & 2
- TERRAIN CATEGORY: 2.5 REGION: C
- 2. VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY ON SITE WORKS
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- 6. WET AREA FLOORS & WALLS TO AS3740 - 2400 WATERPROOFING OF WET AREAS FOR RESIDENTIAL BUILDINGS REFER TO FIT OUT DRAWINGS FOR DETAILS
- HYDRAULICS DRAWINGS FOR LOCATION FLOOR WASTES MAX FALL BETWEEN 1:60 AND 1:80.
- 7. PLUMBING PENETRATIONS TO ACHIEVE FR 90/90
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-  DENOTES 200 SERIES BLOCKWORK WALLS
-  INTERNAL BLOCKWORK WALLS TO HAVE 10mm
-  FLUSH JOINTED DIRECT STICK PLASTERBOARD
-  DENOTES RHONDO STUD WALL FRAMING AT 450CTS MAX



REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
 REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
 REV 1 ISSUED FOR 90% REVIEW 01.05.24



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building 2 - part floor plan 1 - 2nd floor
 SCALE 1 : 150

Date	FEBRUARY 2024	JOB No.	24008-B2-08	Amend.	3
Scale	AS SHOWN				
BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION					

Variation of Conditions application (lodged documents 03/03/2025)

GENERAL NOTES

- 1. LOAD CRITERIA TO AS 1170 PARTS 2 & 3
- 2. TERRAIN CATEGORY 2.5 REGION C
- 3. VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY ON SITE WORKS
- 4. ALL WORKMANSHIP TO COMPLY WITH RELEVANT AUST STANDARDS BY STANDARDS ASSOC OF AUSTRALIA
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- 8. HYDRAULICS DRAWINGS FOR LOCATION FLOOR WASTES MAX FALL BETWEEN 1:60 AND 1:80.
- 9. PLUMBING PENETRATIONS TO ACHIEVE FR 90/90
- 10. FLOOR SLABS TO ACHIEVE 45Rw
- 11. BOUNDING CONSTRUCTION WALLS TO ACHIEVE 45Rw BETWEEN HABITABLE ROOMS OR HABITABLE ROOM AND PUBLIC AREAS
- 12. 50Rw INSULATION AGAINST IMPACT SOUND BETWEEN HABITABLE ROOMS AND KITCHEN, BATHROOMS OR LAUNDRIES OF ADJOINING APARTMENTS
- 13. RW 45 INSULATION TO RISER/PEN TO BCA FP 5.2 & FP 5.4

- DENOTES 200 SERIES BLOCKWORK WALLS
- INTERNAL BLOCKWORK WALLS TO HAVE 10mm FLUSH JOINTED DIRECT STICK PLASTERBOARD
- DENOTES RHONDO STUD WALL FRAMING AT 450CTS MAX

REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
 REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
 REV 1 ISSUED FOR 90% REVIEW 01.05.24

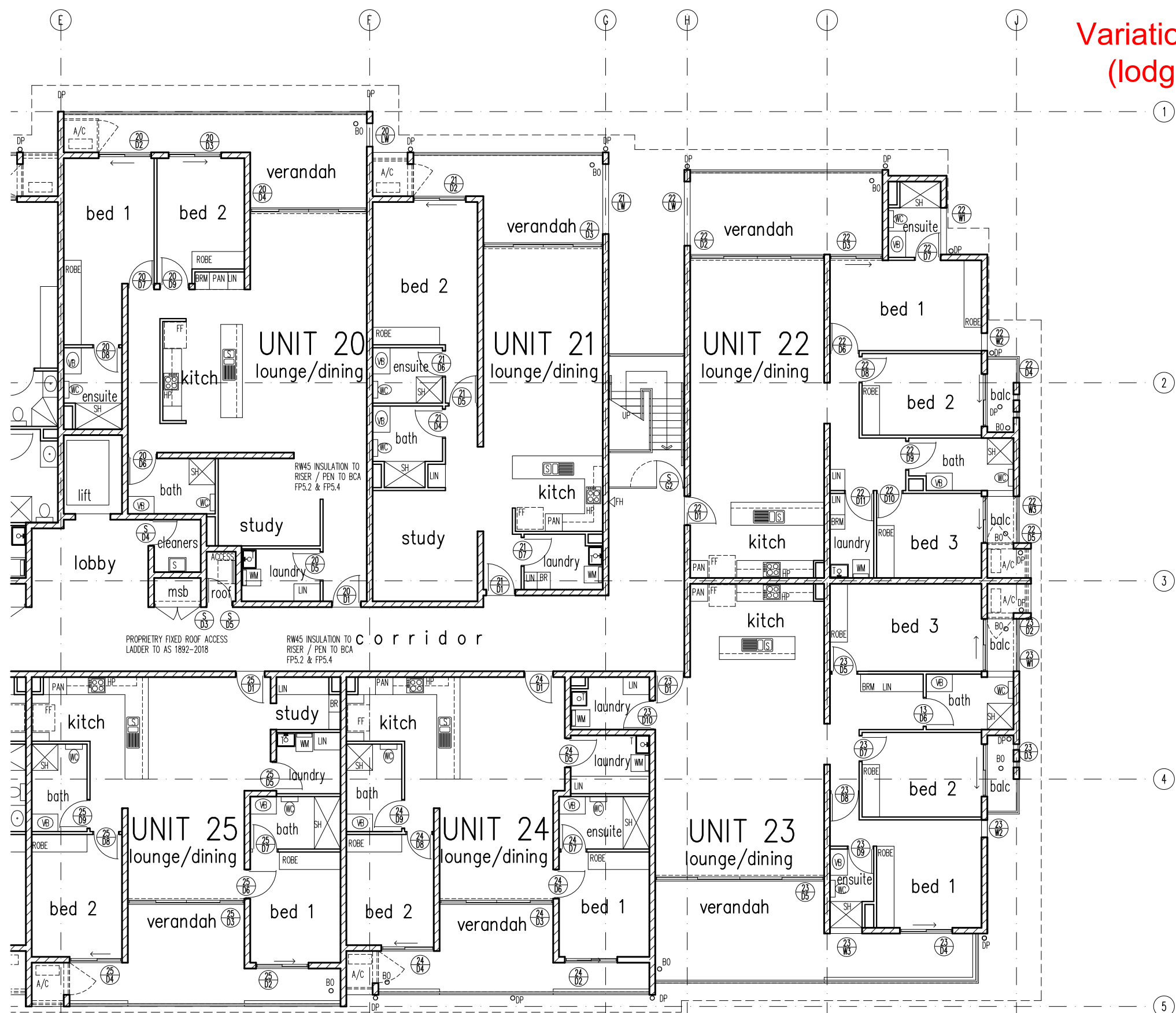


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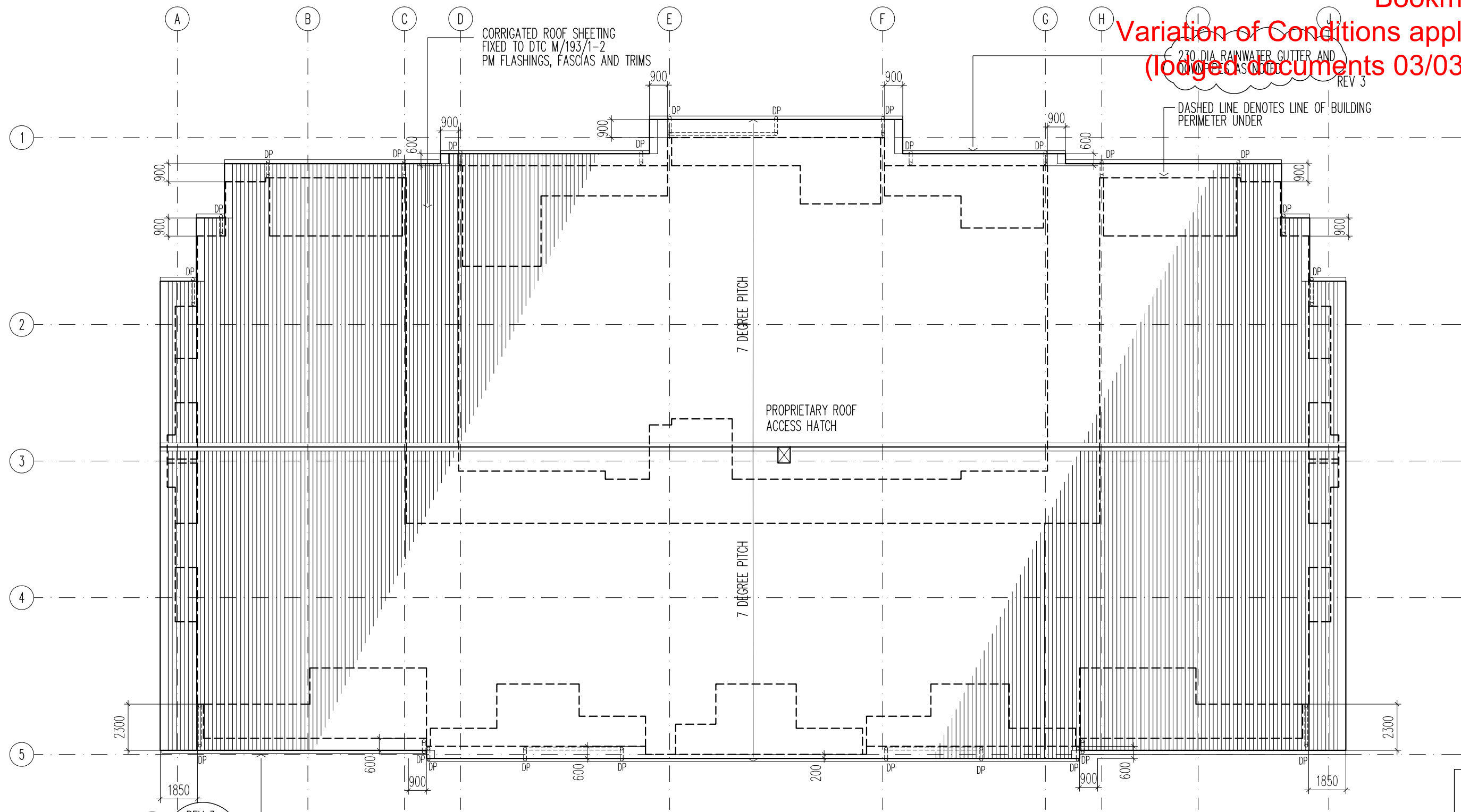
Date	FEBRUARY 2024	JOB No.	24008-B2-09	Amend.	3
Scale	AS SHOWN				
BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION					



building 2-part floor plan 2-2nd floor

SCALE 1 : 150

Variation of Conditions application
(lodged documents 03/03/2025)



REV 3
 COLORBOND HIGH FRONTED GUTTERS WITH OVERFLOWS AND 230 DIA DOWNPIPES REFER TO CIVIL ENGINEERS DRAWINGS FOR CONNECTIONS

building 2 - roof plan
 SCALE 1 : 200

NOTE
 FLASHINGS INDICATE ARCHITECTURAL INTENT ONLY.
 SITE CHECK DIMENSIONS OF ALL FLASHINGS PRIOR TO MANUFACTURE.
 PROVIDE ADDITIONAL FLASHINGS AS REQUIRED TO ACHIEVE A WATERPROOF ROOF/WALL CLADDINGS SYSTEM.
 ROOF FLASHINGS GENERALLY TO BE EX 0.6mm COLORBOND
 WALL FLASHINGS GENERALLY TO BE EX 0.6mm COLORBOND.
 PROVIDE DEKTITE FLASHINGS TO VENT PENETRATIONS GENERALLY

REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
 REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
 REV 1 ISSUED FOR 90% REVIEW 01.05.24

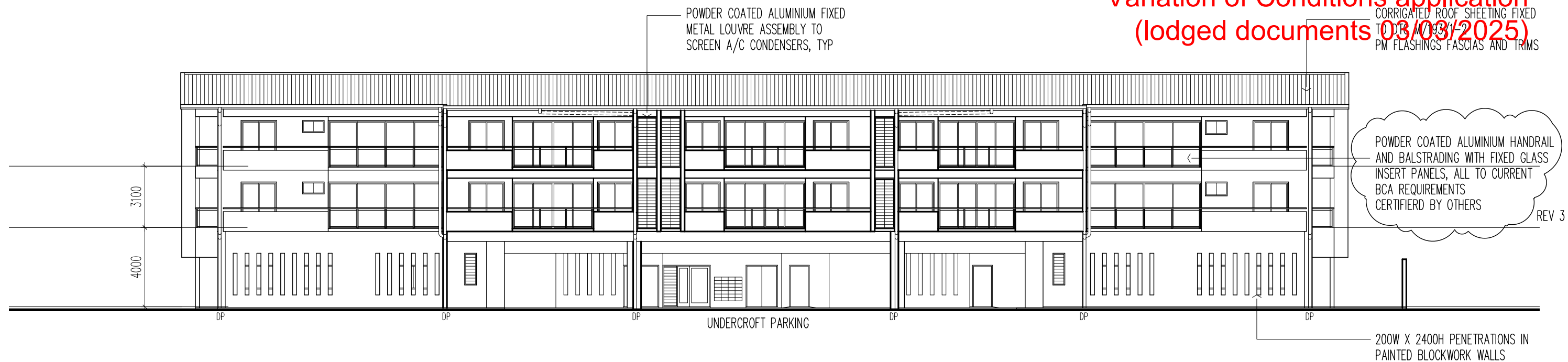


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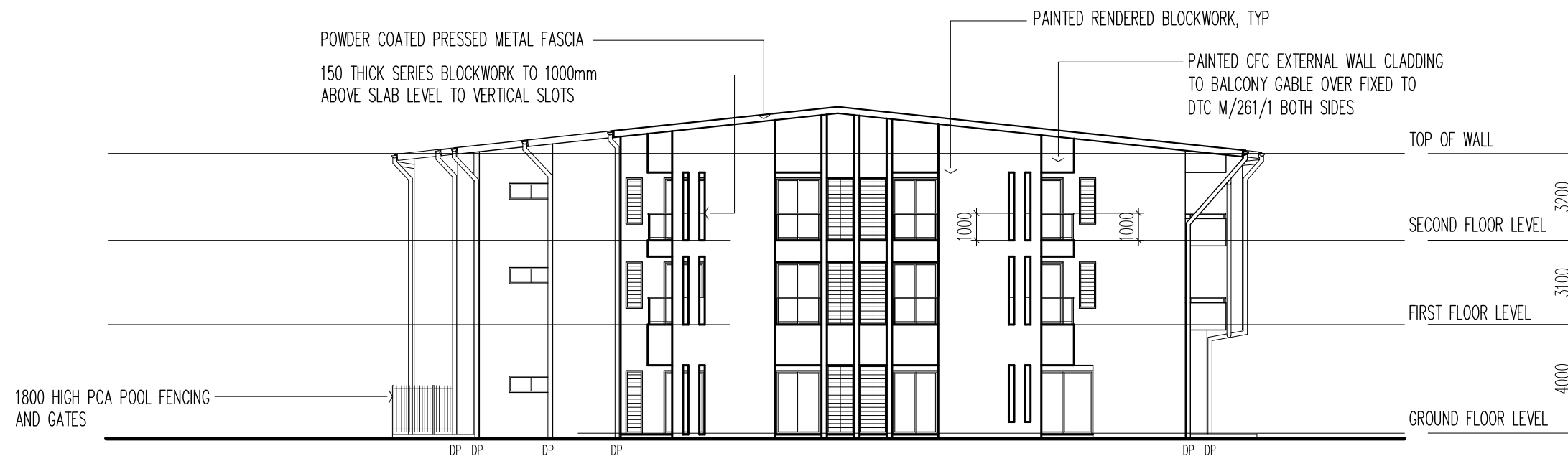
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southern elevation
SCALE 1 : 200



eastern elevation
SCALE 1 : 200

REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
 REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
 REV 1 ISSUED FOR 90% REVIEW 01.05.24

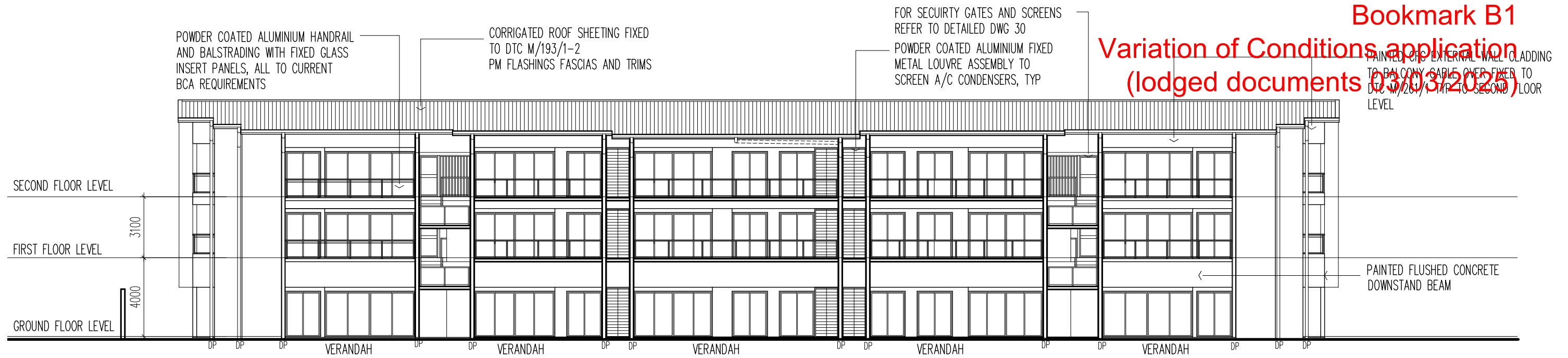


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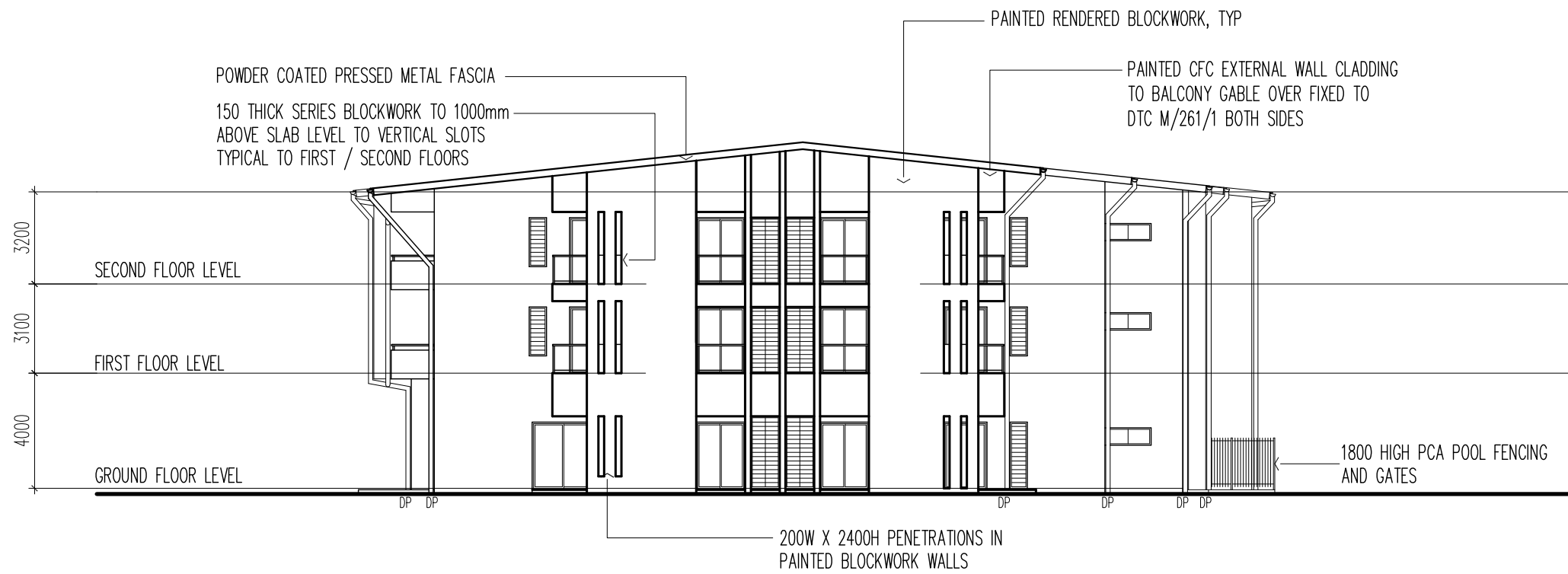
Date	FEBRUARY 2024	JOB No.	24008-B2-II	Amend.	3
Scale	AS SHOWN				

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



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n o r t h e r n e l e v a t i o n
 SCALE 1 : 200



w e s t e r n e l e v a t i o n
 SCALE 1 : 200

REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
 REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
 REV 1 ISSUED FOR 90% REVIEW 01.05.24

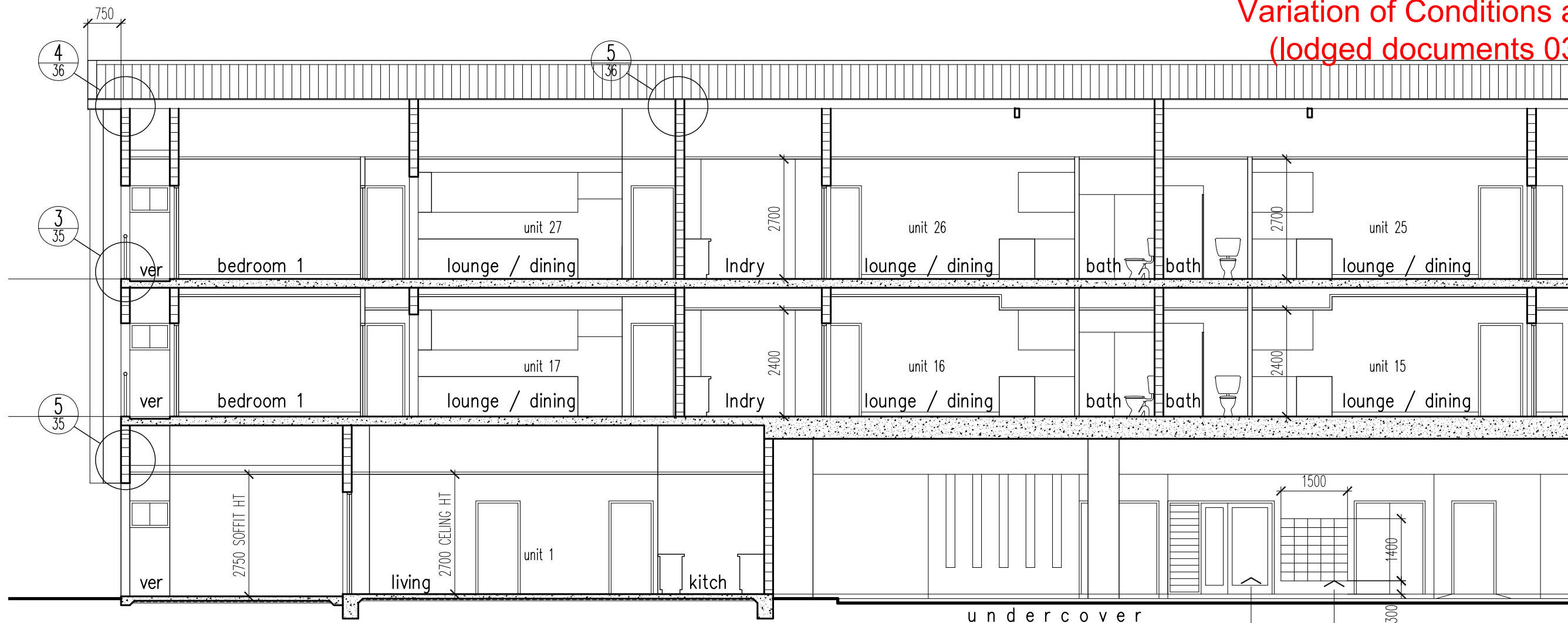


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Scale	AS SHOWN				

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



section a-a - part 1

SCALE 1 : 100

28 POST BOXES 27 UNIT AND 1No FOR
MANAGEMENT. EQUAL TO 'HEATLINE 08 83514511'
OR SIMILAR APPROVED FIXED TO
MANUFACTURERS DETAILS

LIFT LOBBY ENTRANCE DOOR REFER TO DWG 30

REV 2 ISSUED FOR 100% BUILDING
APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW
01.05.24



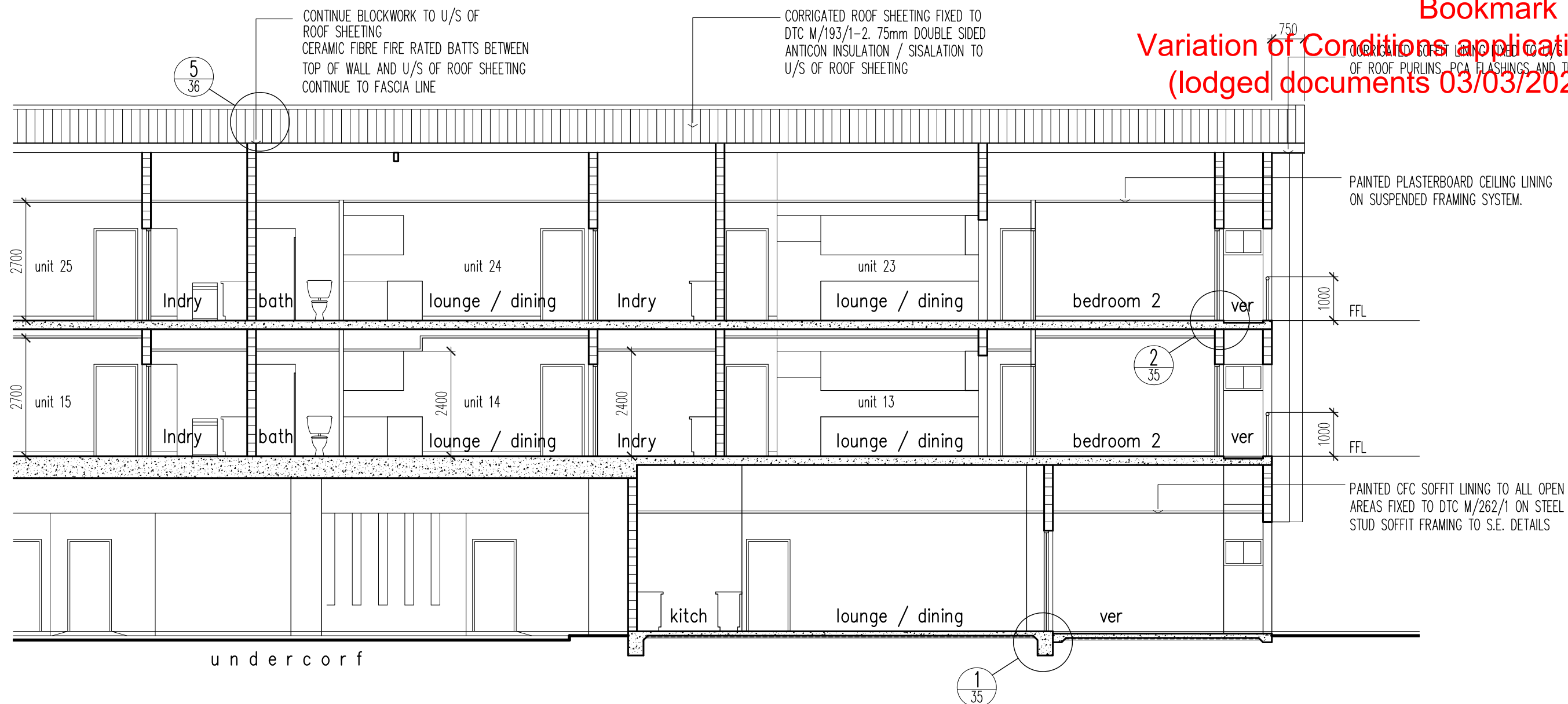
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Scale AS SHOWN

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



section a-a - part 2

SCALE 1 : 100

REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW 01.05.24



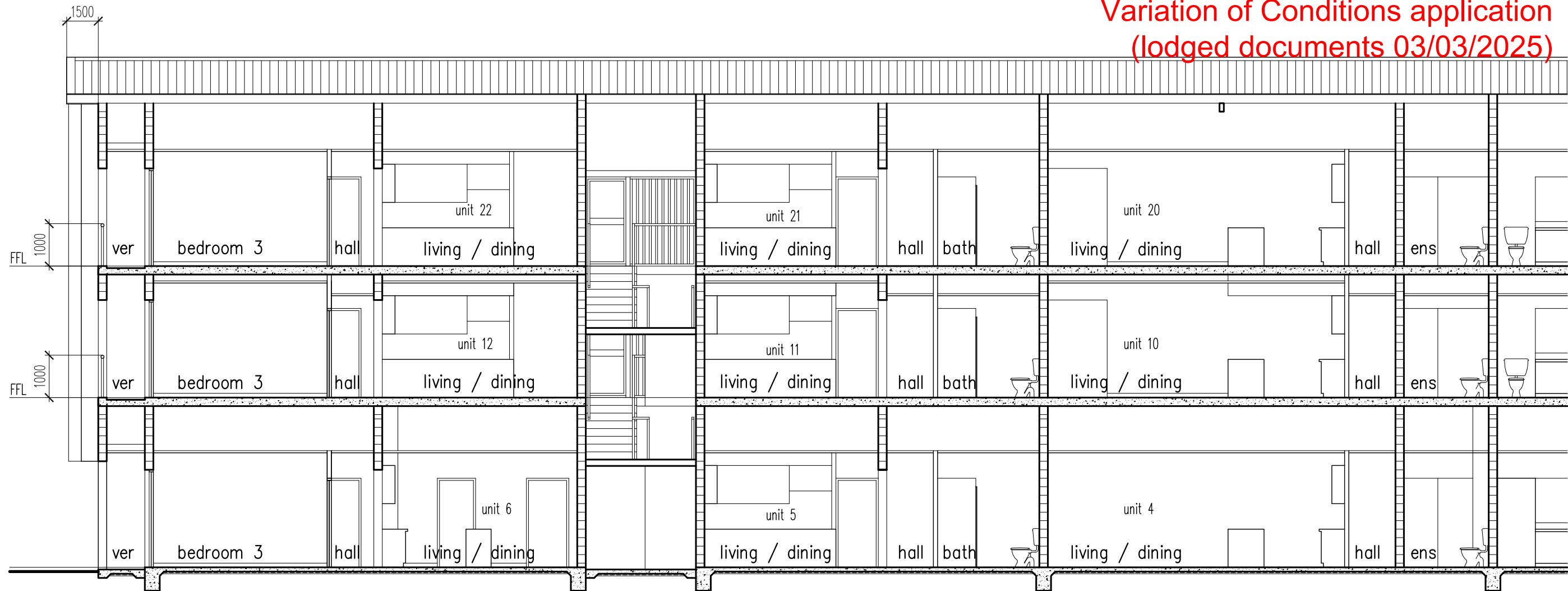
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Variation of Conditions application
(lodged documents 03/03/2025)



REFER TO DRAWING 23
 FOR STAIRCASE SET OUT
 AND DETAILS

section b-b - part 1
 SCALE 1 : 100

REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
 REV 1 ISSUED FOR 90% REVIEW 01.05.24

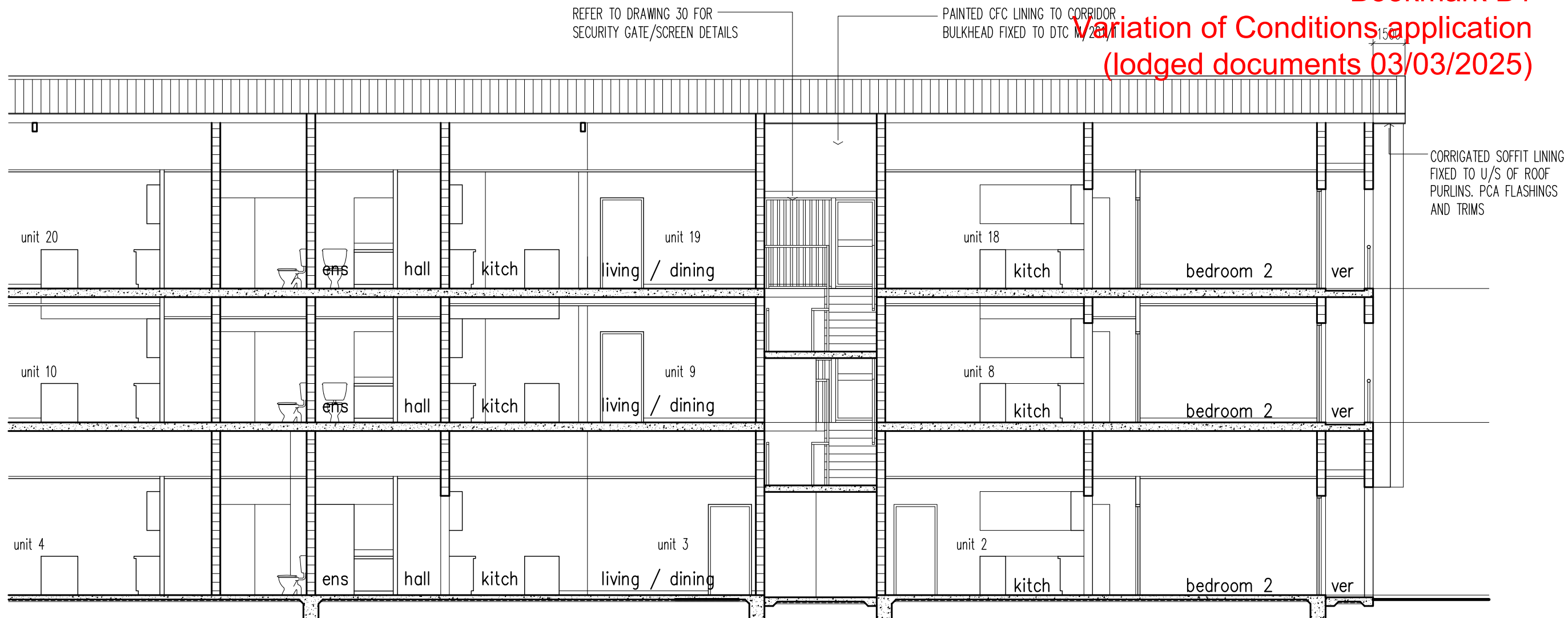


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Scale	AS SHOWN				

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



section b-b - part 2

SCALE 1 : 100

REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW 01.05.24



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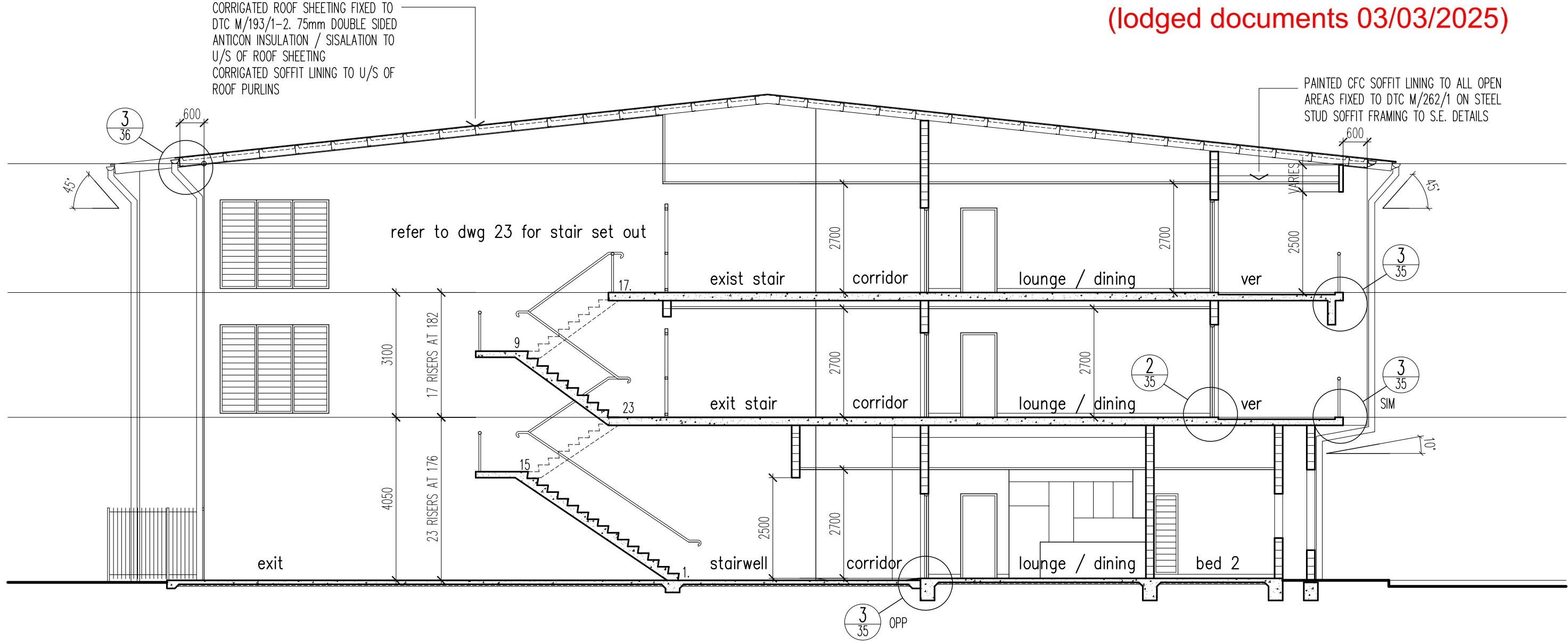


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(lodged documents 03/03/2025)



section c-c
 SCALE 1 : 100

REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
 REV 1 ISSUED FOR 90% REVIEW 01.05.24

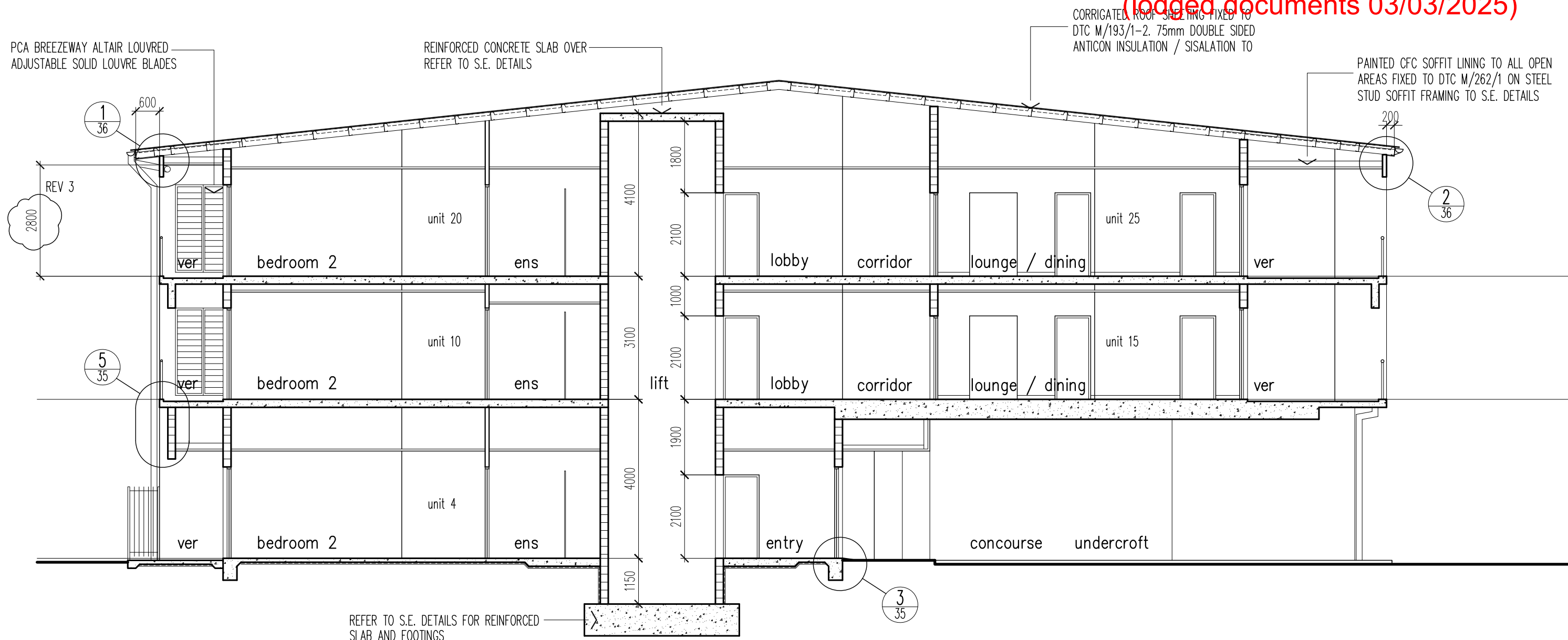


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Scale	AS SHOWN				

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



section d-d

SCALE 1 : 100

REV 3 ISSUED FOR CONSTRUCTION
APPROVAL 23.07.24

REV 2 ISSUED FOR 100% BUILDING
APPROVAL 03.06.24

REV 1 ISSUED FOR 90% REVIEW
01.05.24



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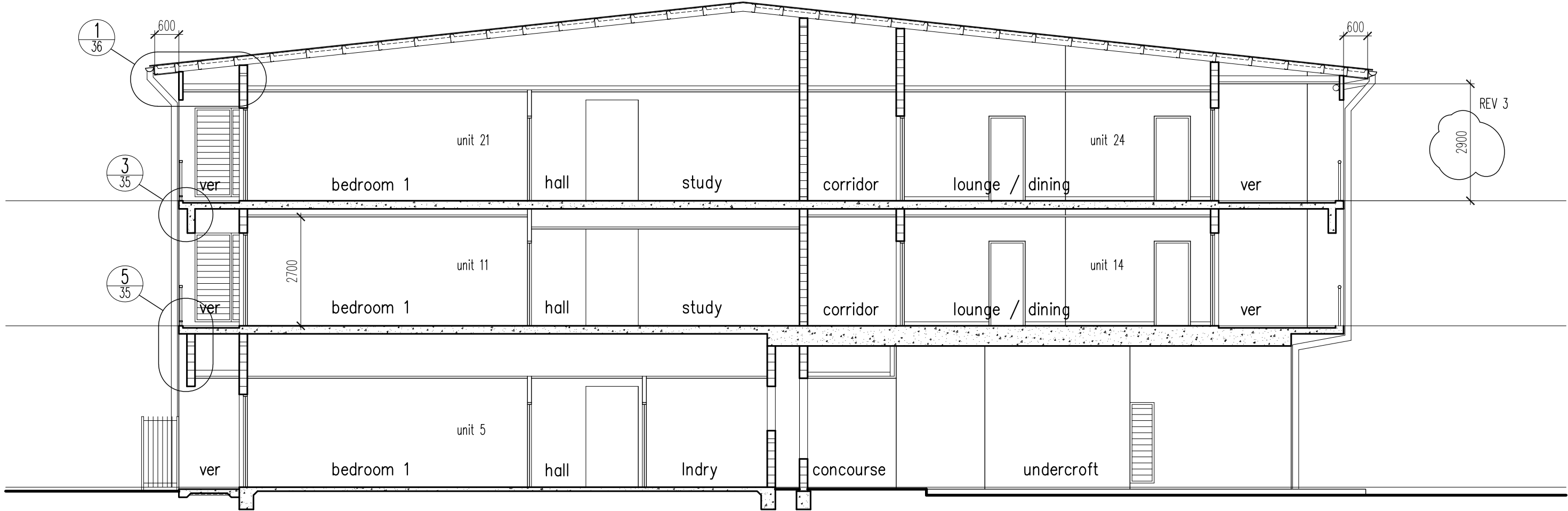
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Variation of Conditions application
(lodged documents 03/03/2025)



section e-e
 SCALE 1 : 100

REV 3 ISSUED FOR CONSTRUCTION
 APPROVAL 23.07.24
 REV 2 ISSUED FOR 100% BUILDING
 APPROVAL 03.06.24
 REV 1 ISSUED FOR 90% REVIEW
 01.05.24

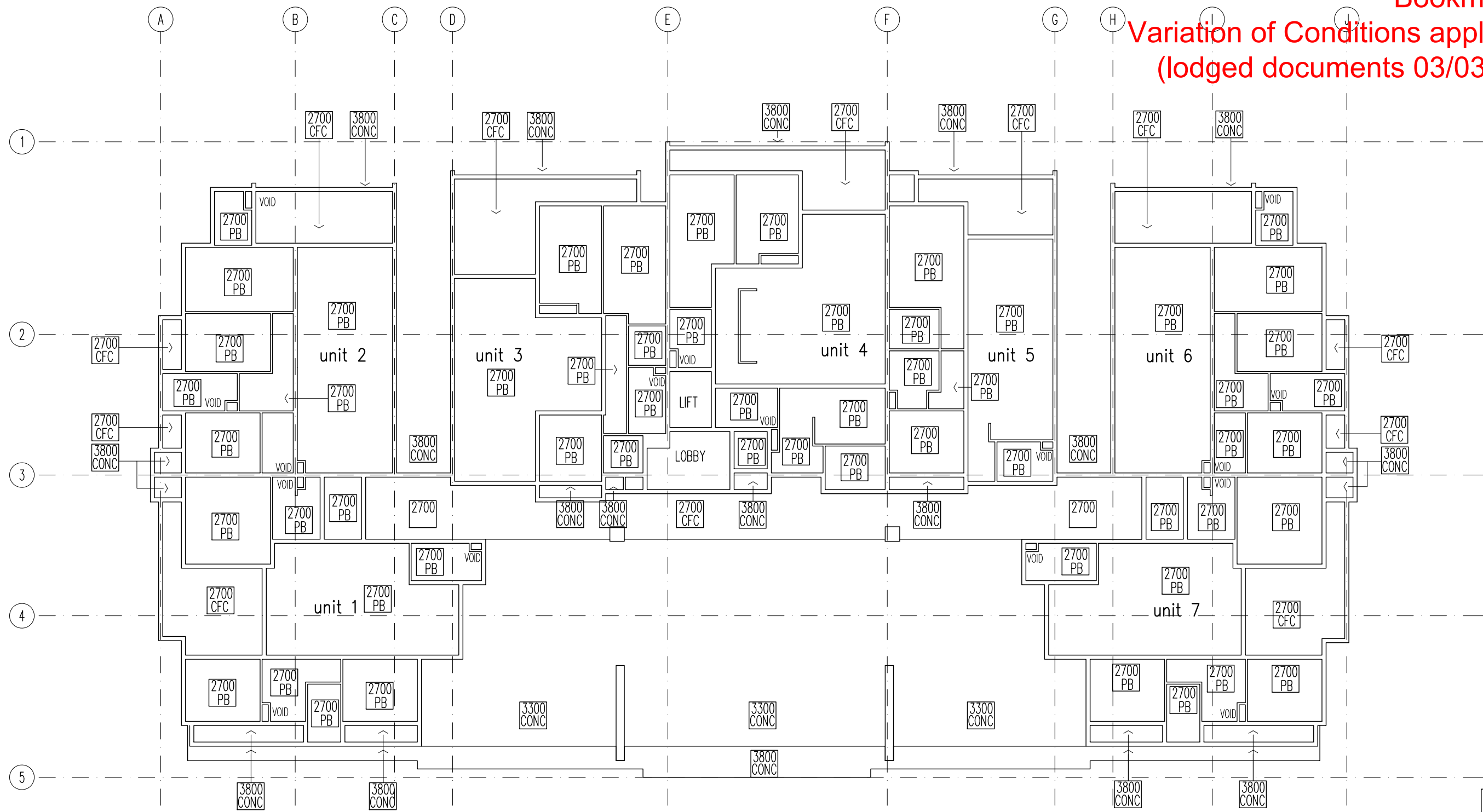


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Scale	AS SHOWN				
BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION					



ground level - reflected ceiling plan

SCALE 1 : 200

SCHEDULE

- 2700
PB HEIGHT ABOVE FINISHED FLOOR LEVEL
FINISH
- RAK RAKING SOFFIT
- PB PAINTED PLASTERBOARD
- CFC PAINTED FIBRE CEMENT SHEETING
- RFS UNDERSIDE OF ROOF SHEETING
- CONC UNDERSIDE OF CONCRETE SLAB

REV 2 ISSUED FOR 100% BUILDING
APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW
01.05.24

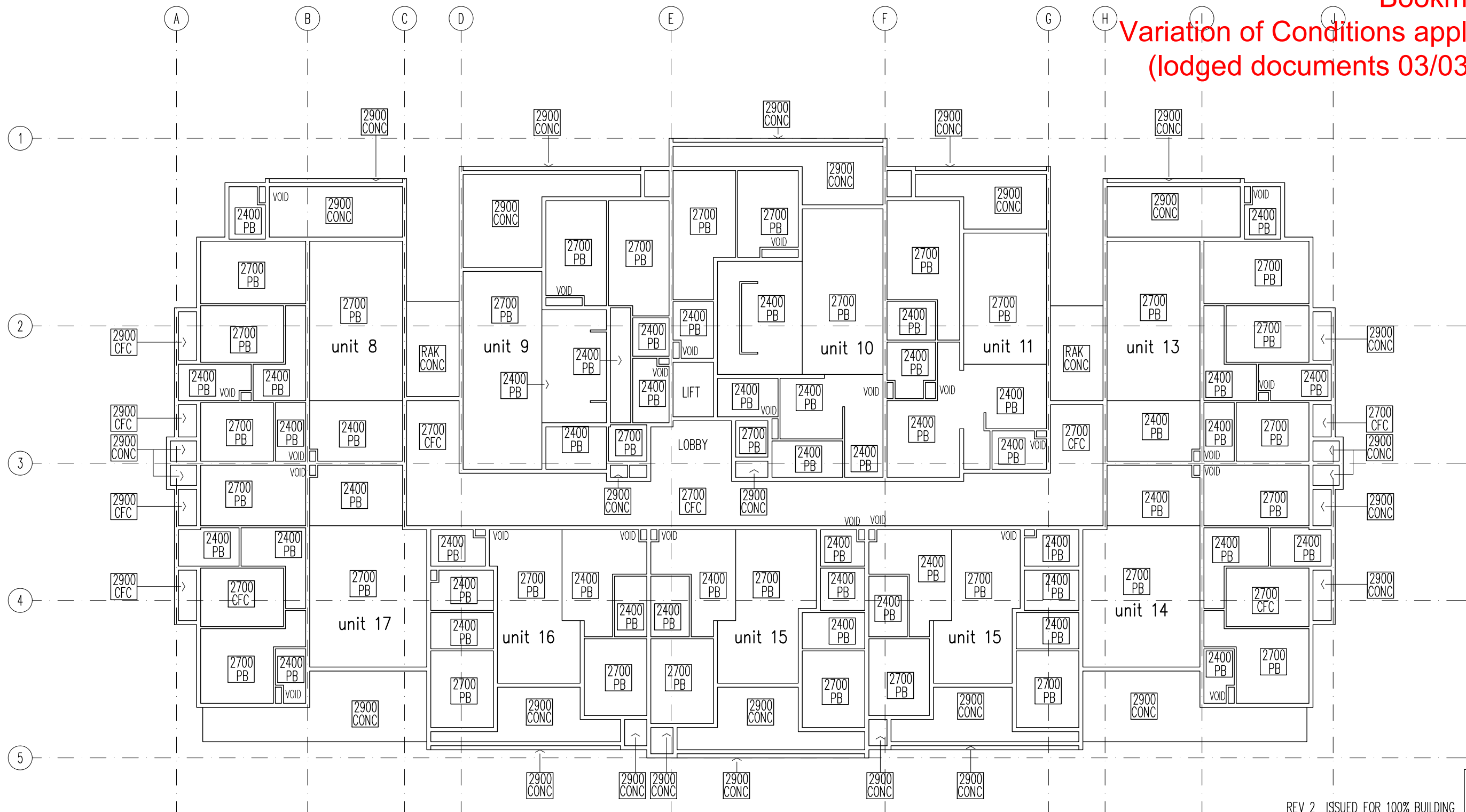


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Scale AS SHOWN

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



first floor - reflected ceiling plan

SCALE 1 : 200

SCHEDULE

2700 PB	HEIGHT ABOVE FINISHED FLOOR LEVEL FINISH
RAK	RAKING SOFFIT
PB	PAINTED PLASTERBOARD
CFC	PAINTED FIBRE CEMENT SHEETING
RFS	UNDERSIDE OF ROOF SHEETING
CONC	UNDERSIDE OF CONCRETE SLAB

REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
 REV 1 ISSUED FOR 90% REVIEW 01.05.24

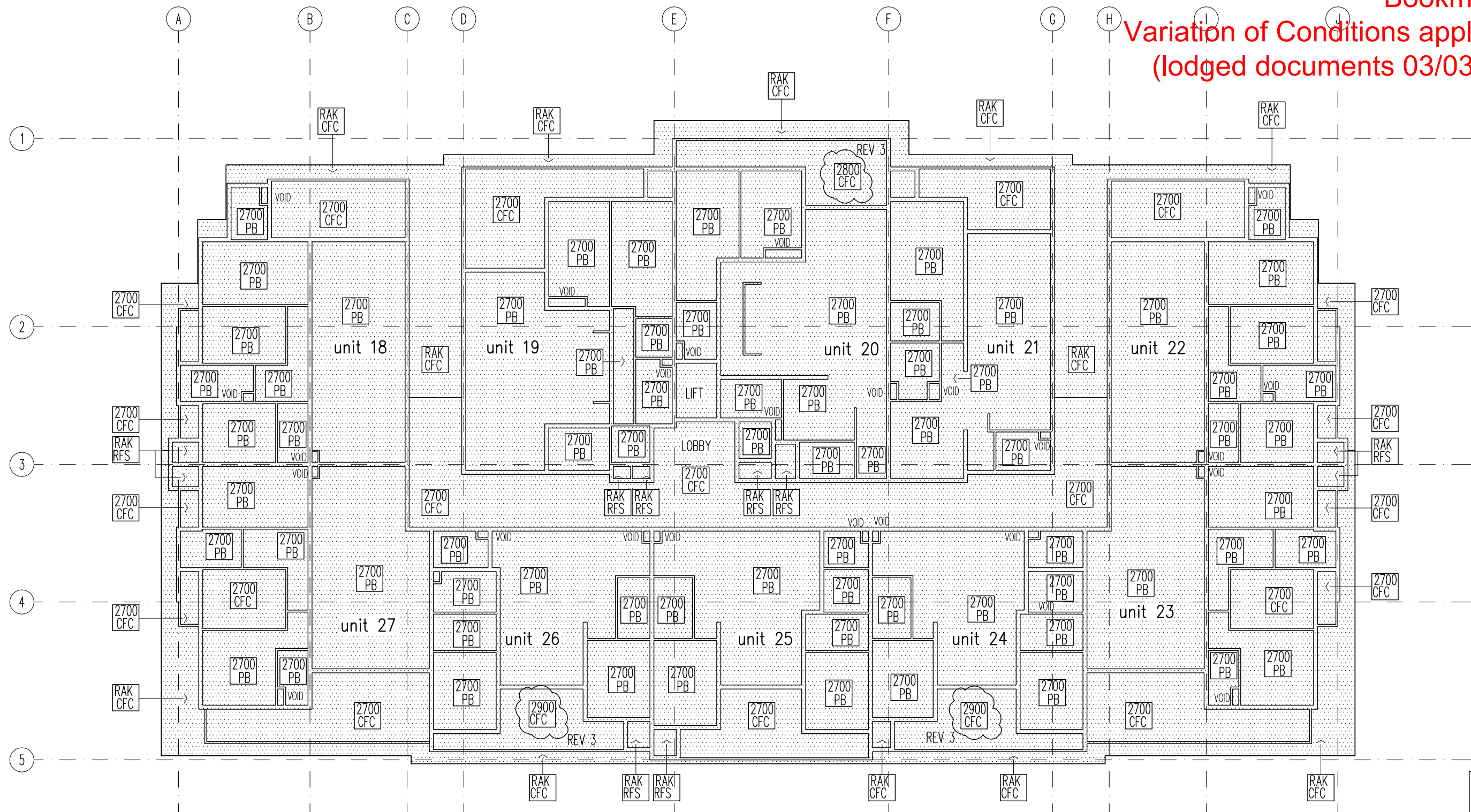


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second floor - reflected ceiling plan

SCALE 1 : 200

SCHEDULE

- 2700 PB HEIGHT ABOVE FINISHED FLOOR LEVEL FINISH
- RAK RAKING SOFFIT
- PB PAINTED PLASTERBOARD
- CFC PAINTED FIBRE CEMENT SHEETING
- RFS UNDERSIDE OF ROOF SHEETING
- CONC UNDERSIDE OF CONCRETE SLAB

DENOTES 75mm DOUBLE SIDED ANTICON ROOF INSULATION SISALATION TO U/S OF ROOF SHEETING



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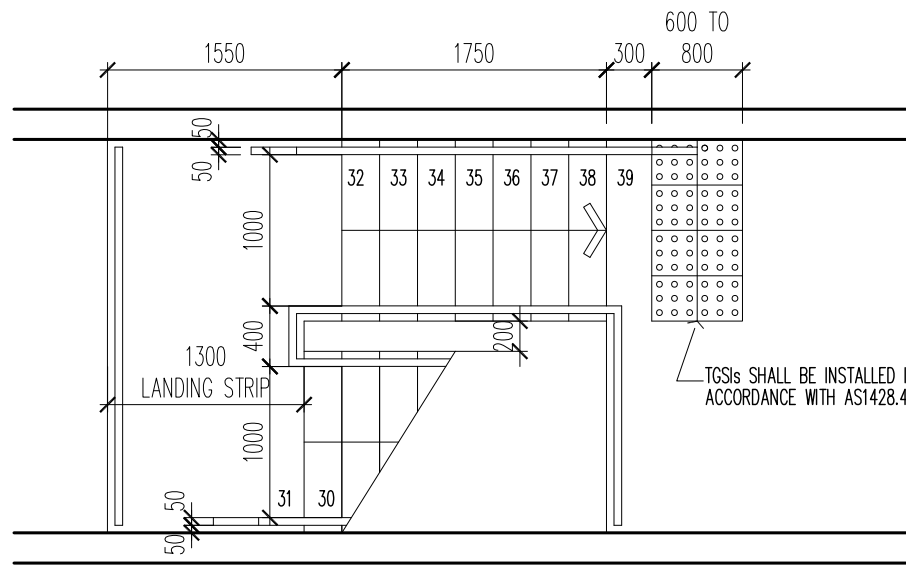
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Scale AS SHOWN

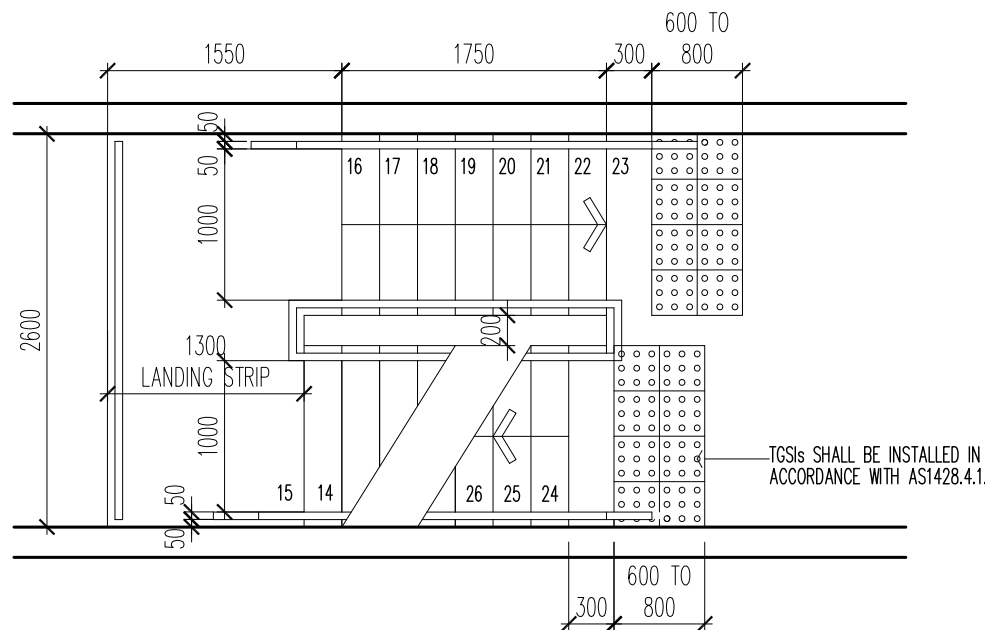
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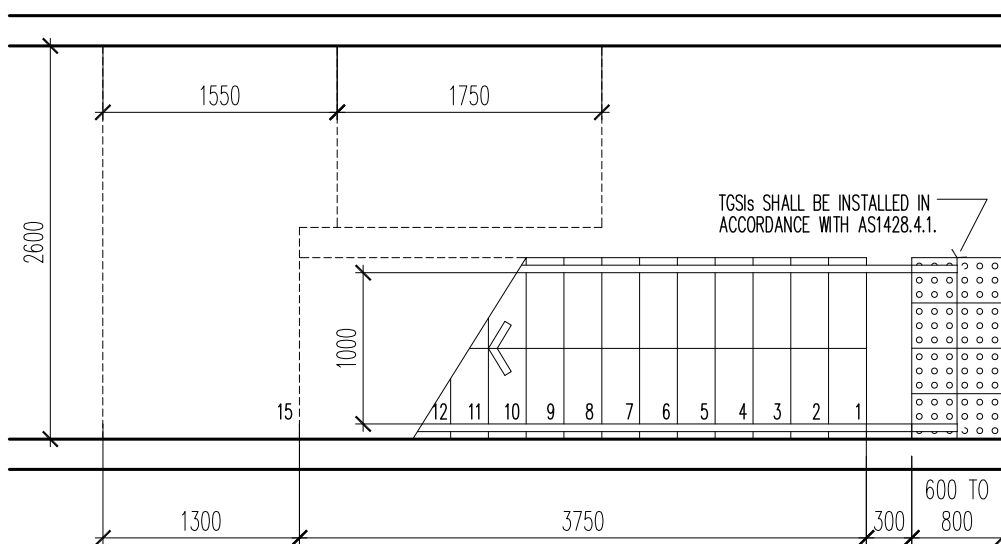
SECOND FLOOR STAIR PLAN

SCALE 1 : 50



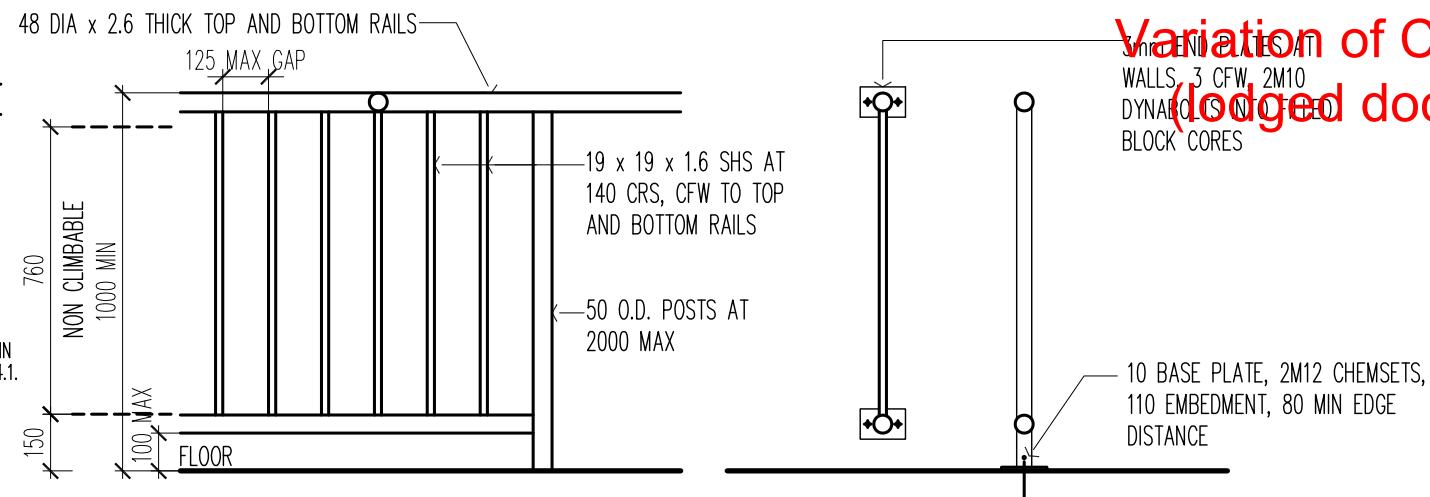
FIRST FLOOR STAIR PLAN

SCALE 1 : 50



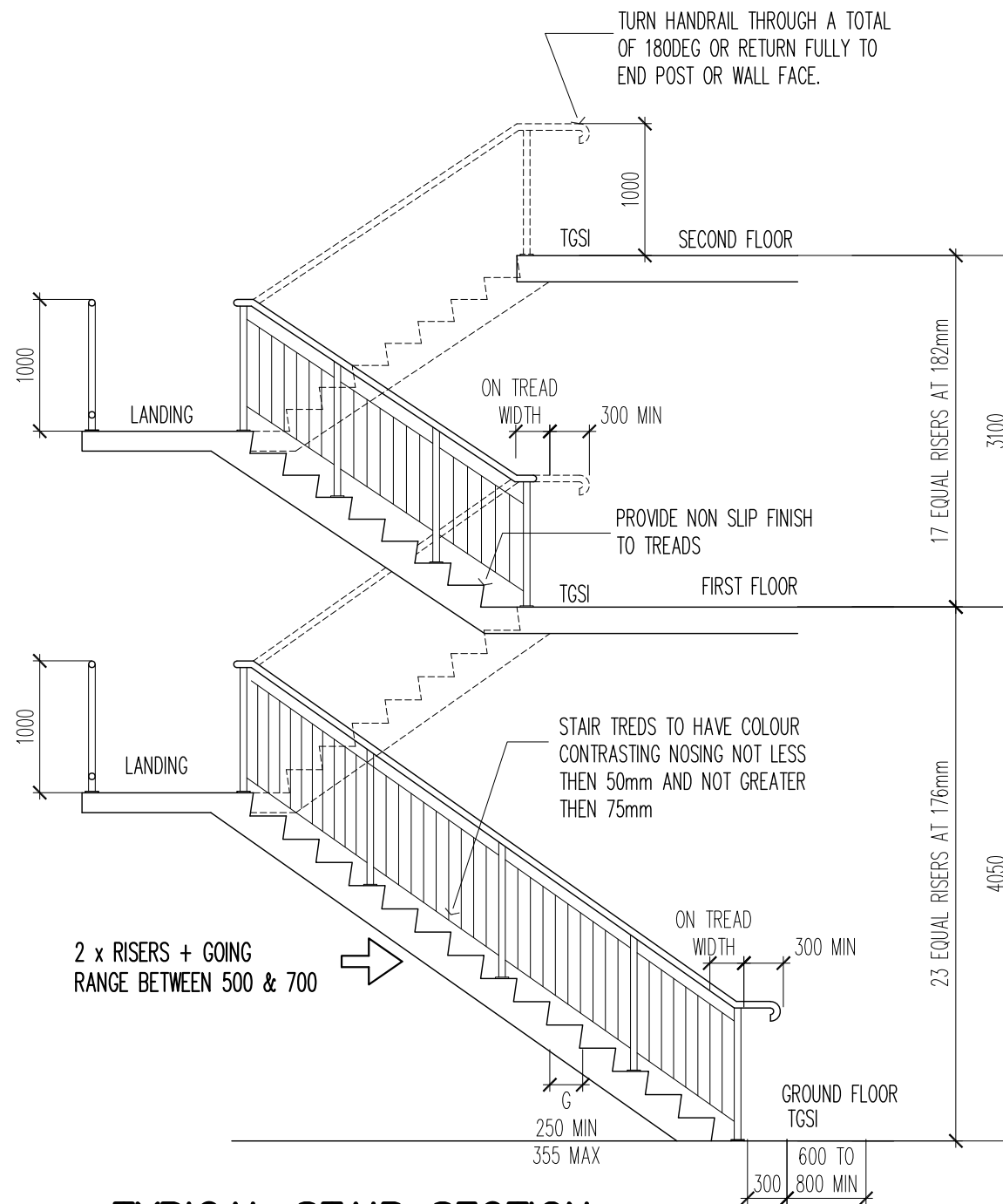
GROUND FLOOR STAIR PLAN

SCALE 1 : 50



POST & RAIL CONNECTIONS

SCALE 1 : 20



TYPICAL STAIR SECTION

SCALE 1 : 50

- HANDRAILS**
(AS PER AS148.1-2009)
- THE DESIGN AND CONSTRUCTION OF HANDRAILS SHALL COMPLY WITH THE FOLLOWING:
- HANDRAILS AND BALUSTRADES SHALL NOT ENROACH INTO REQUIRED CIRCULATION SPACES.
 - THE CROSS-SECTION OF HANDRAILS SHALL BE CIRCULAR OR ELLIPTICAL, NOT LESS THAN 30mm GREATER THAN 50mm IN HEIGHT OR WIDTH FOR NOT LESS THAN 270DEG AROUND THE UPPERMOST SURFACE.
 - EXPOSED EDGES AT ENDS AND CORNERS OF HANDRAILS SHALL HAVE A RADIUS OF NOT LESS THEN 5mm.
 - THE TOP OF HANDRAILS SHALL BE NOT LESS THAN 865mm NOR MORE THAN 1000mm ABOVE THE NOSING OF STAIRWAY TREAD OR THE PLANE OF THE FINISHED FLOOR OF THE WALKWAY, RAMP OR LANDING.
 - THE HEIGHT OF THE TOP OF THE HANDRAIL SHALL BE CONSISTENT THROUGH THE RAMP (OR STAIRS) AND ANY LANDINGS.
 - IF A BALUSTRADE IS REQUIRED AT A HEIGHT GREATER THAN THE HANDRAIL, BOTH SHALL BE PROVIDED.
 - HANDRAILS SHALL BE SECURELY FIXED AND RIGID, AND THEIR ENDS SHALL BE TURNED THROUGH A TOTAL OF 180deg OR TO THE GROUND, OR RETURNED FULLY TO END POST OR WALL FACE.
 - THE CLEARANCES BETWEEN A HANDRAIL AND AN ADJACENT WALL SURFACE OR OTHER OBSTUCTION SHALL BE NOT LESS THAN 50mm THIS CLEARANCE SHALL EXTEND ABOVE THE TOP OF THE HANDRAIL BY NOT LESS THAN 600mm
 - HANDRAILS SHALL HAVE NO OBSTUCTION TO THE PASSAGE OF A HAND ALONG THE RAIL.
 - THE INSIDE HANDRAIL AT LANDINGS SHALL ALWAYS BE CONTINUOUS.

REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW 01.05.24



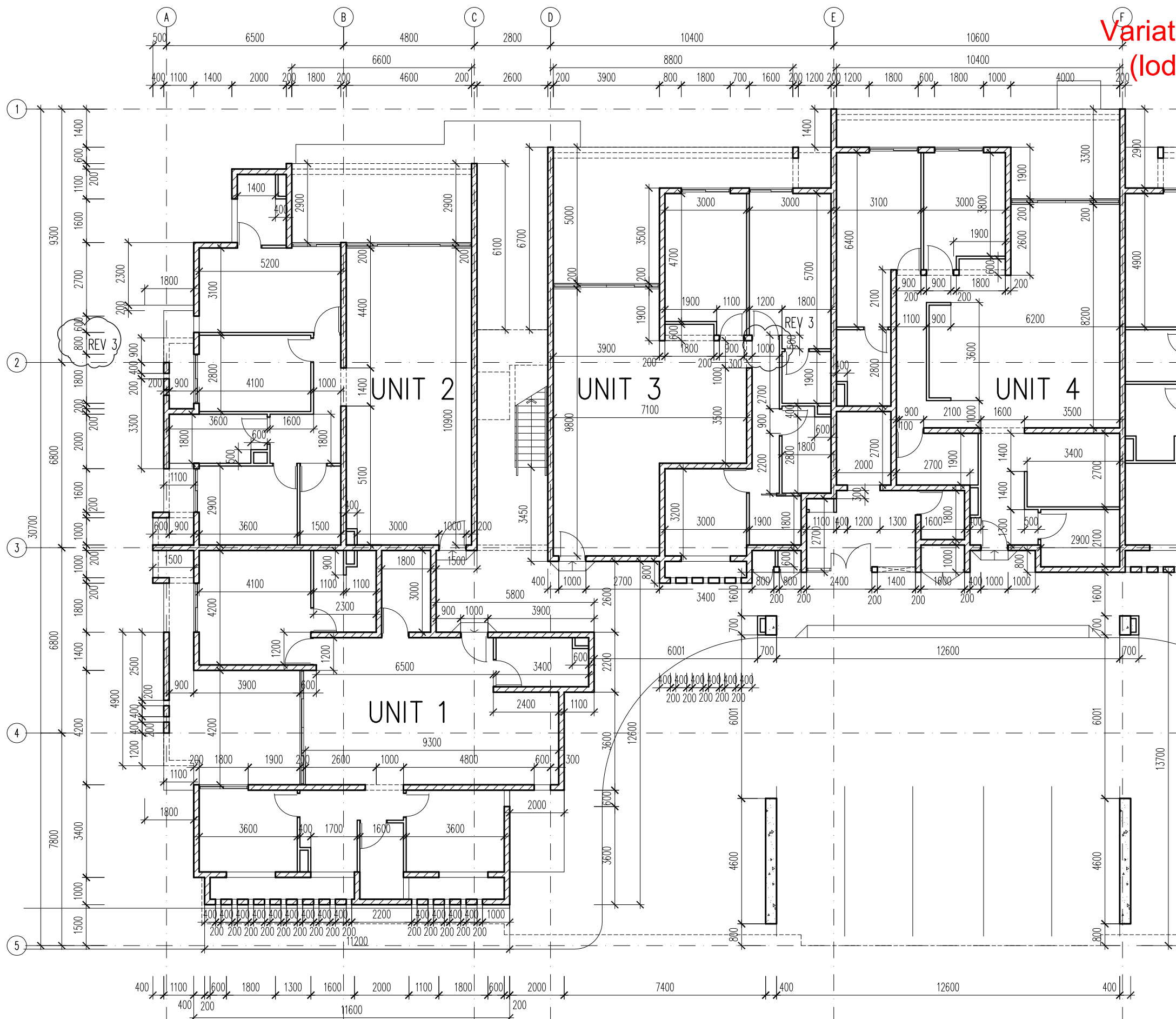
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APPROVAL 23.07.24
REV 2 ISSUED FOR 100% BUILDING
APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW
01.05.24



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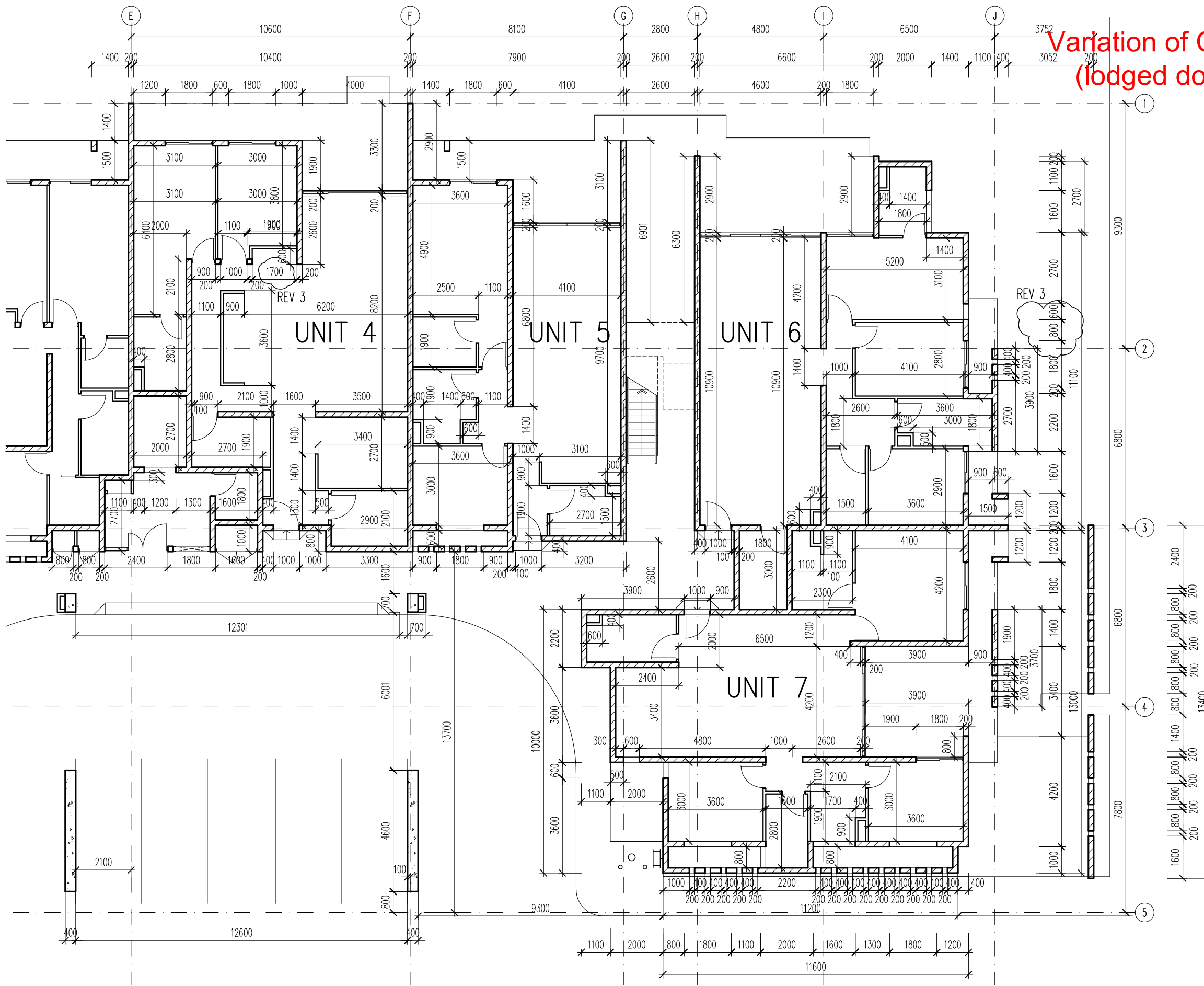
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BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

building 2-part dimension plan 1-grd level
SCALE 1 : 150



REV 3 ISSUED FOR CONSTRUCTION
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REV 2 ISSUED FOR 100% BUILDING
APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW
01.05.24



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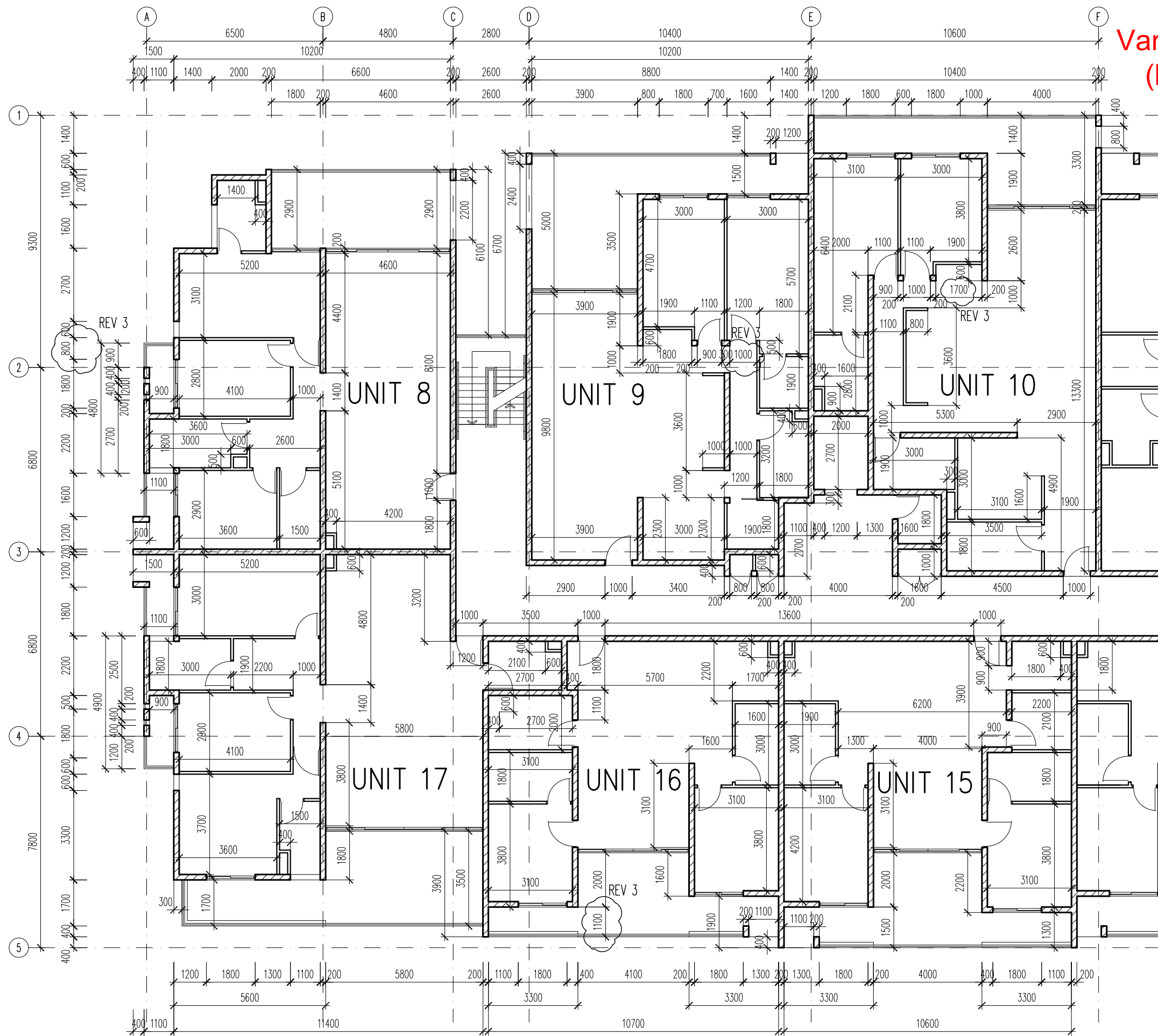
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Scale AS SHOWN

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

building 2 - part dimension plan 2 - grd level

SCALE 1 : 150



building 2 - part dimension plan 1 - 1st floor

SCALE 1 : 150

REV 3 ISSUED FOR CONSTRUCTION
APPROVAL 23.07.24
REV 2 ISSUED FOR 100% BUILDING
APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW
01.05.24

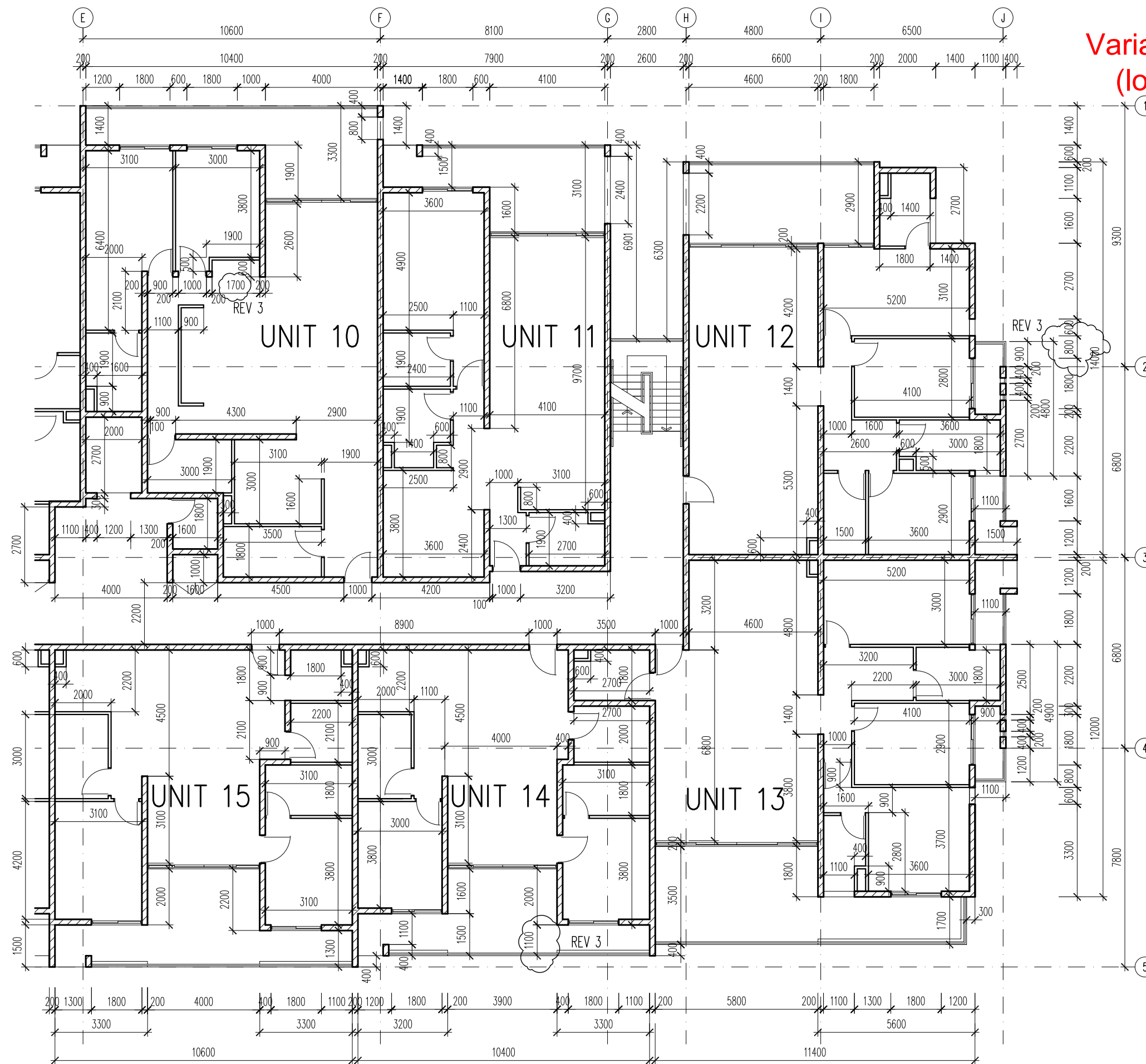


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Scale	AS SHOWN				
BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION					



REV 3 ISSUED FOR CONSTRUCTION
APPROVAL 23.07.24
REV 2 ISSUED FOR 100% BUILDING
APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW
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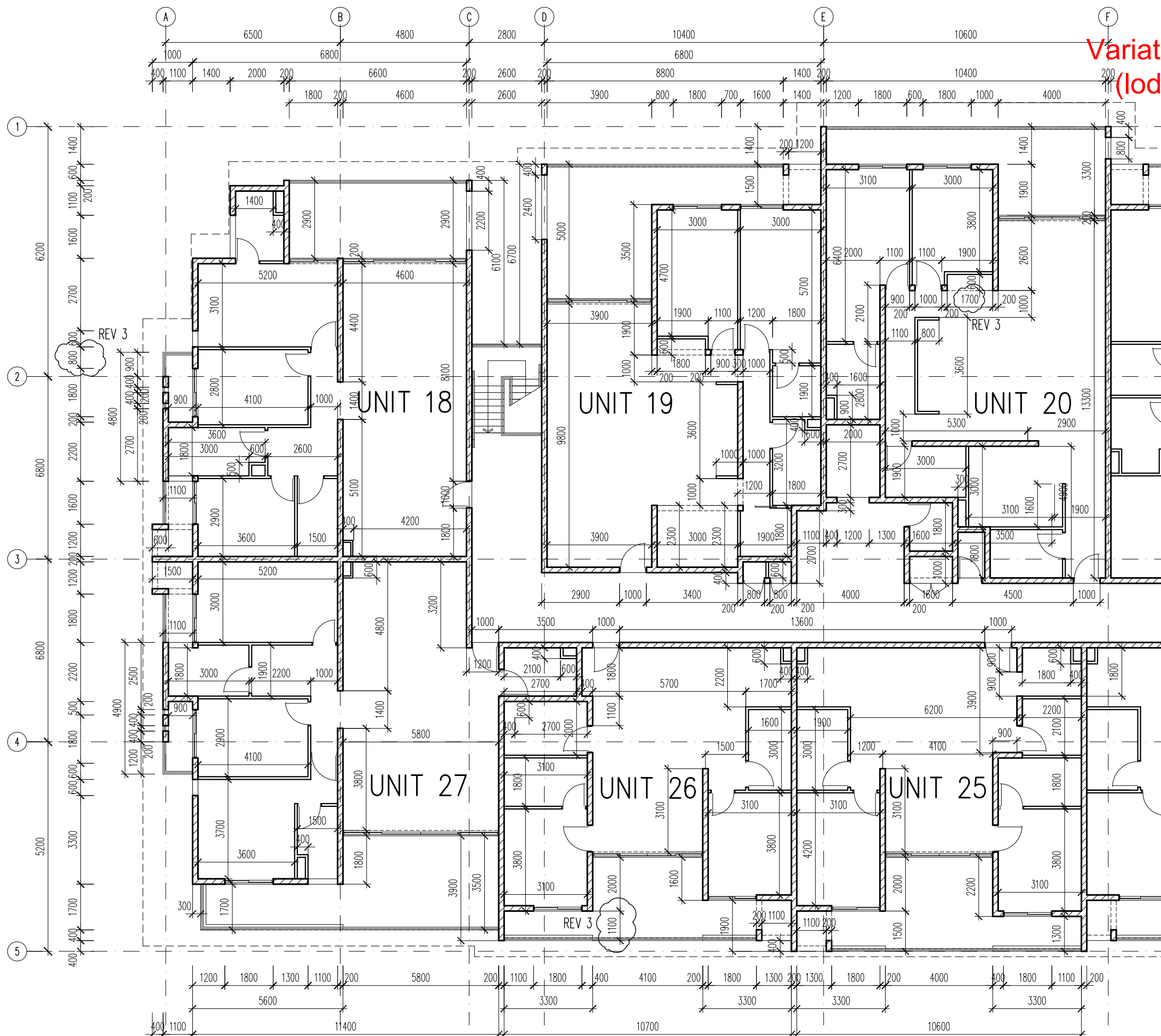
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Scale AS SHOWN

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

building 2 - part dimension plan 2 - 1st floor

SCALE 1 : 150



building 2 - part dimension plan 1 - 2nd floor

SCALE 1 : 150

REV 3 ISSUED FOR CONSTRUCTION
APPROVAL 23.07.24
REV 2 ISSUED FOR 100% BUILDING
APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW
01.05.24



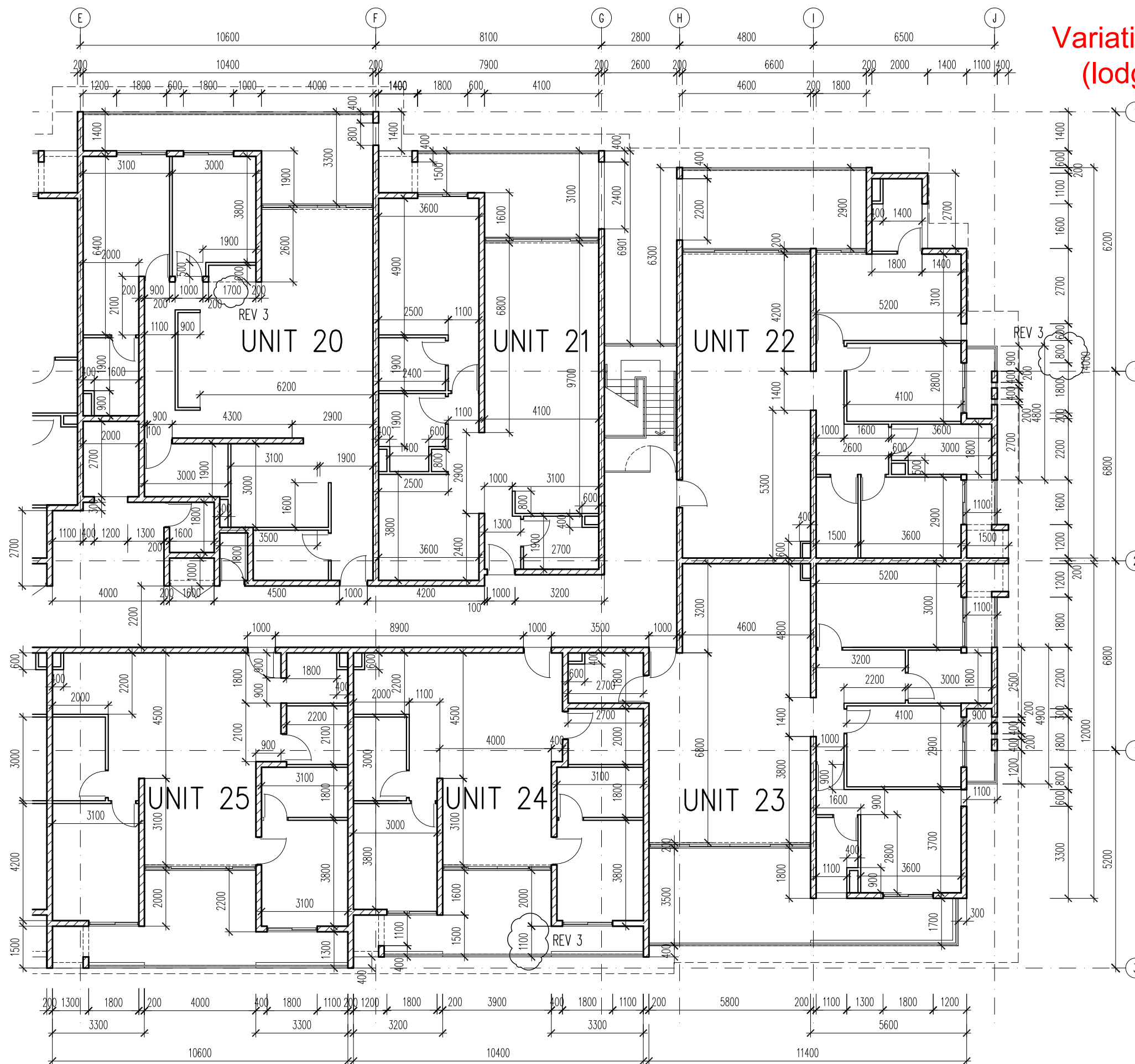
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Date FEBRUARY 2024 JOB No. 24008-B2-28 Amend. 3
Scale AS SHOWN

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



REV 3 ISSUED FOR CONSTRUCTION
APPROVAL 23.07.24
REV 2 ISSUED FOR 100% BUILDING
APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW
01.05.24



LOT I3888 TARAKAN COURT
JOHNSTON
NORBUILT PTY LTD



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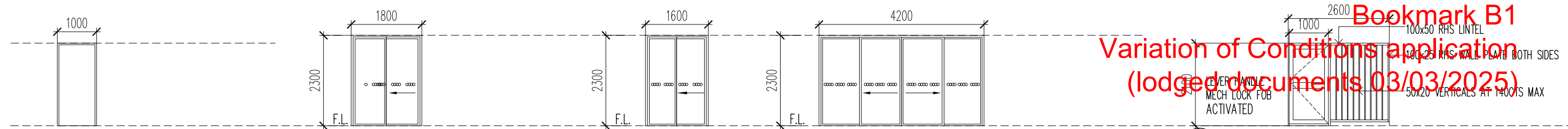
Date FEBRUARY 2024 JOB No. 24008-B2-29 Amend. 3
Scale AS SHOWN

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

building 2-part dimension plan 2-2nd floor

SCALE 1 : 150

Variation of Conditions application
(lodged documents 03/03/2025)



1D1, 2D1, 3D1, 4D1, 5D1, 6D1, 7D1
8D1, 9D1, 10D1, 11D1, 12D1, 13D1, 14D1, 15D1, 16D1, 17D1
18D1, 19D1, 20-D1, 21D1, 22D1, 23D1, 24D1, 25D1, 26D1, 27D1

PM. DOOR FRAMES
SOLID CORE FLUSH EXTERNAL DOOR
920 X 2040 X 42 THK
CRIMS SAFE SECURITY SCREENS OR EQUAL
SELF CLOSING DOOR
FR -/60/30
ACOUSTIC RATING RW45 TO FRONT DOORS ALSO

1D2, 1D4, 2D2, 2D3, 3D3, 4D2, 4D3, 5D2, 6D3, 6D4, 7D2, 7D4,
8D3, 8D4, 9D3, 10D3, 10D4, 11D2, 12D3, 12D4, 13D3 13D4,
14D2, 14D4, 14D2, 15D4, 16D2, 16D4, 17D3, 17D4,
18D3, 18D4, 19D3, 20D3, 20D4, 21D2, 22D3, 22D4, 23D3 23D4,
24D2, 24D4, 24D2, 25D4, 26D2, 26D4, 27D3, 27D4,

PCA. SLIDING DOOR ASSEMBLY
CLEAR GLASS.
CRIMS SAFE SECURITY SCREENS OR EQUAL
LATCHES AT 1600 AFL

2D1, 3D4, 6D5,
8D2, 9D4, 12D5, 13D2, 17D5
18D2, 19D4, 22D5, 23D2

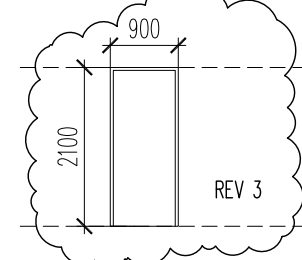
PCA. SLIDING DOOR ASSEMBLY
CLEAR GLASS.
CRIMS SAFE SECURITY SCREENS
OR EQUAL
LATCHES AT 1600 AFL

3900 WIDE - 3D2, 9D2, 14D3, 19D2, 24D3
4000 WIDE - 4D4, 10D4, 15D3, 20D4, 25D3
4100 WIDE - 5D3, 11D3, 16D3, 21D3, 26D3
4200 WIDE - 1D3, 7D3
4600 WIDE - 2D4, 6D2, 8D5, 12D2, 18D5, 22D2
5800 WIDE - 13D5, 17D2, 23D5, 27D2

PCA. SLIDING DOOR ASSEMBLY
CLEAR GLASS.
CRIMS SAFE SECURITY SCREENS OR EQUAL
LATCHES AT 1600 AFL

SLIDING DOORS TO UNITS 1, 7, 13, 14, 15,
16, 17, 23, 24, 25, 26, 27 TO BE FITTED
WITH FULLY SEALED 6.38mm VLAM (VERIDIAN)
LAMINATED GLASS
REV 3

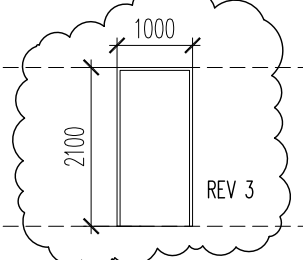
50x50 SHS POST
FG1, FG2
SG1, SG2
PCA FRAME AND POST
PCA TOUGHENED GLAZED DOOR
1.5 PAIR PCA HINGES 180deg OPENING



1D6, 1D8, 1D10, 2D6, 2D7, 2D8, 2D10
3D5, 3D7, 3D10, 4D6, 4D7,
5D4, 5D7, 6D7, 6D8, 6D10,
7D8, 7D9,
8D7, 8D9, 8D11, 9D5, 9D7,
10D7, 10D8, 11D6
12D7, 12D8, 12D10, 13D5, 13D9,
15D7, 15D8,
16D6, 16D8, 17D6, 17D7, 17D10,
18D7, 18D9, 18D11, 19D5, 19D7,
20D7, 20D8, 21D6
22D7, 22D8, 22D10, 23D5, 23D9,
24D7, 25D7, 25D8,
26D6, 26D8, 27D7, 27D8, 27D11

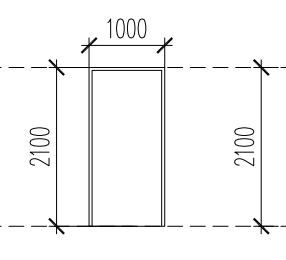
PM. DOOR FRAMES
SOLID CORE INTERNAL DOOR
820 X 2040

DOORS 3D7, 9D7 & 19D7
TO HAVE LIFT OFF HINGES
REV 3

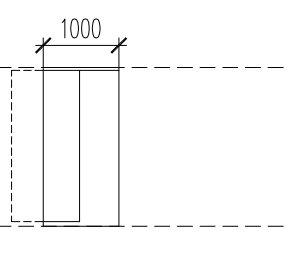


1D5, 1D7, 1D9, 2D5, 2D7, 2D9,
3D6, 3D8, 4D5, 4D8, 4D9,
5D5, 5D6, 5D8, 6D6, 6D9, 6D11
7D5, 7D6, 7D10,
8D6, 8D8, 8D10, 9D6, 9D8
10D5, 10D6, 10D9, 11D4, 11D5, 11D7
12D6, 12D9, 12D11, 13D6, 13D7, 13D8, 13D10
14D5, 14D6, 14D7, 14D8, 14D9, 15D5, 15D6, 15D9
16D5, 16D7, 16D9, 17D6, 17D7, 17D10,
18D6, 18D8, 18D10, 18D11, 19D6, 19D8,
20D5, 20D6, 20D9, 21D4, 21D5, 21D7
22D6, 22D9, 22D11, 23D6, 23D7, 23D8, 23D10
24D5, 24D6, 24D8, 24D9, 25D5, 25D6, 25D9
26D5, 26D7, 26D9, 27D6, 27D9, 27D10,

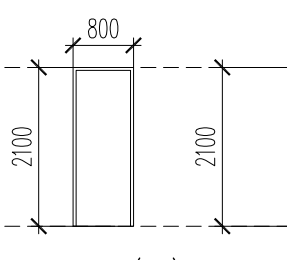
PM. DOOR FRAMES
SOLID CORE INTERNAL DOOR
920 X 2040



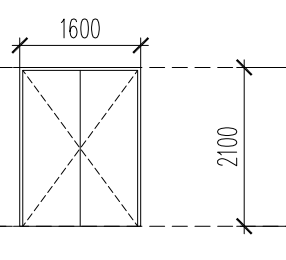
1D11, 6D12
"HUMES DURACOTE" SC
FLUSH EXTERNAL DOOR
PM. DOOR FRAMES
920 X 2040



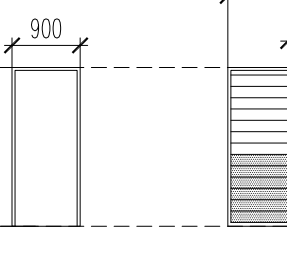
3D9
9D9
19D9
CAVITY SLIDING DOOR FRAME
"BRADNAM" CELL CORE DOOR
920 X 2040



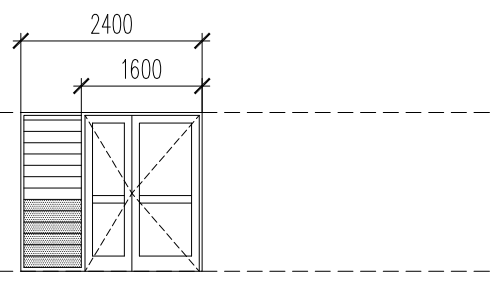
GD1, GD2(OPP)
FD1, FD2(OPP)
SD1, SD2(OPP)
PM. DOOR FRAME
METAL CLAD SOLID DOOR
720 X 2040
FR -/60/30



G4
F3
S3
PM. DOOR FRAME
METAL CLAD SOLID CORE DOOR
2 X 760 X 2040
FR -/60/30



GD5,
FD4
SD4, SD5
PM. DOOR FRAME
METAL CLAD SOLID DOOR
820 X 2040



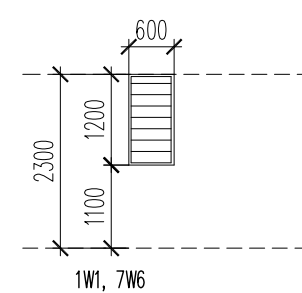
GD3,
PCA. DOOR FRAMES
GLAZED DOOR, LOUVRED SIDELIGHT - PCA BLADES TO 1.0M
TOUGHENED GLASS BLADES OVER
DOOR HARDWARE TO STAIR + PUBLIC FOYER
DOORS TO BCA D2.21-FREE HANDLE EGRESS
SELF CLOSING DOORS
LEVER HANDLE, MECHANICAL LOCK
FOB OPERATED
DOOR LEAF TO BE DISABLED COMPLIANT
INCLUDING DOOR

WINDOWS / DOORS

1. ALL ALUM FRAMED WINDOWS AND DOORS, INCLUDING FRAMES & FIXINGS TO BE CERTIFIED BY A STRUCT ENGINEER & SHALL BE IN ACCORD WITH AS1288, AS2047, AS2048
2. WATER PENETRATION RESISTANCE TEST PRESSURE 200 Pa
3. ULTIMATE DESIGN WIND PRESSURE FOR GLAZING (kPa) TO DTC M/412/1 & 2
4. WINDOWS TO BEDROOMS GREATER THAN 2.0M ABOVE EXISTING GROUND LEVEL OR OVER VOIDS TO HAVE A RESTRICTED OPENING OF 125mm (LEVELS 1-3).
5. WARNING SIGNAGE AGAINST THE USE OF LIFTS IN FIRE IS REQUIRED

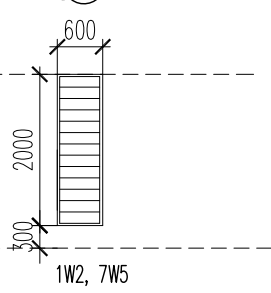
6. THE LIFT AND EXTERNAL FEATURES WILL NEED TO COMPLY WITH AS1735.12 - I.E HANDRAILS, CALL BUTTONS ETC.
 7. THE LIFT DOORS NEED TO BE FIRE RATED TO -/60/-
 8. LININGS NEED TO COMPLY WITH BCA PART C1.10
- PCA: POWDER COATED ALUMINIUM
PM: PRESSED METAL
GLAZING DECALS HEIGHTS TO AS1428.1
- SOUND INSULATION TO ALL CORRIDOR DOORS AND WINDOWS REQUIRED TO ACHIEVE RW45

ALL EXTERNAL, INTERNAL & SLIDING DOORS TO BE "HUMES DURACOTE" EXTERNAL / INTERNAL FLUSH DOORS



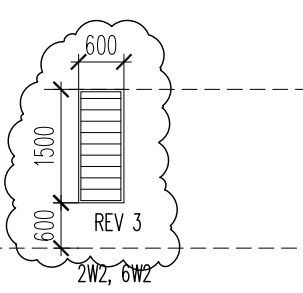
1W1, 7W6

PCA. LOUVRED WINDOW
CLEAR GLASS
CRIMS SAFE OR EQUAL SCREENS
AT GL, FLYSCREENS ABOVE



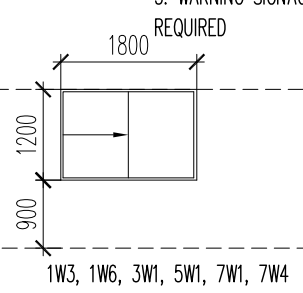
1W2, 7W5

PCA. LOUVRED WINDOW
CLEAR GLASS
CRIMS SAFE OR EQUAL SCREENS
AT GL, FLYSCREENS ABOVE



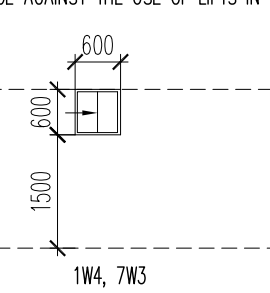
2W2, 6W2
8W2, 12W2, 13W2, 17W2
18W2, 22W2, 23W2, 27W2

PCA. LOUVRED WINDOW
CLEAR GLASS
CRIMS SAFE OR EQUAL SCREENS
AT GL, FLYSCREENS ABOVE



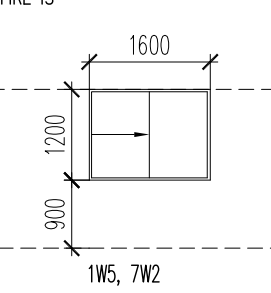
1W3, 1W6, 3W1, 5W1, 7W1, 7W4

PCA. SLIDING WINDOW
CLEAR GLASS
CRIMS SAFE OR EQUAL SCREENS
AT GL, FLYSCREENS ABOVE



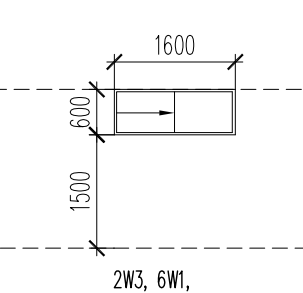
1W4, 7W3

PCA. SLIDING WINDOW
CLEAR GLASS
CRIMS SAFE OR EQUAL SCREENS
AT GL, FLYSCREENS ABOVE



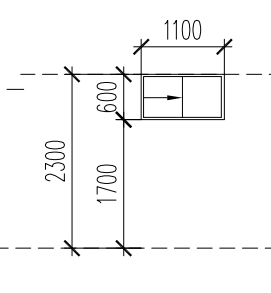
1W5, 7W2

PCA. SLIDING WINDOW
CLEAR GLASS
CRIMS SAFE OR EQUAL SCREENS
AT GL, FLYSCREENS ABOVE



2W3, 6W1,
8W3, 12W1,
18W3, 22W1,

PCA. SLIDING WINDOW
CLEAR GLASS
CRIMS SAFE OR EQUAL SCREENS
AT GL, FLYSCREENS ABOVE



13W3, 17W1
23W3, 26W1,

PCA. SLIDING WINDOW
CLEAR GLASS
CRIMS SAFE OR EQUAL SCREENS
AT GL, FLYSCREENS ABOVE

FIRE RATED WINDOWS TO BREEZEWAY TO - /60/-

door & window schedule

SCALE 1 : 100

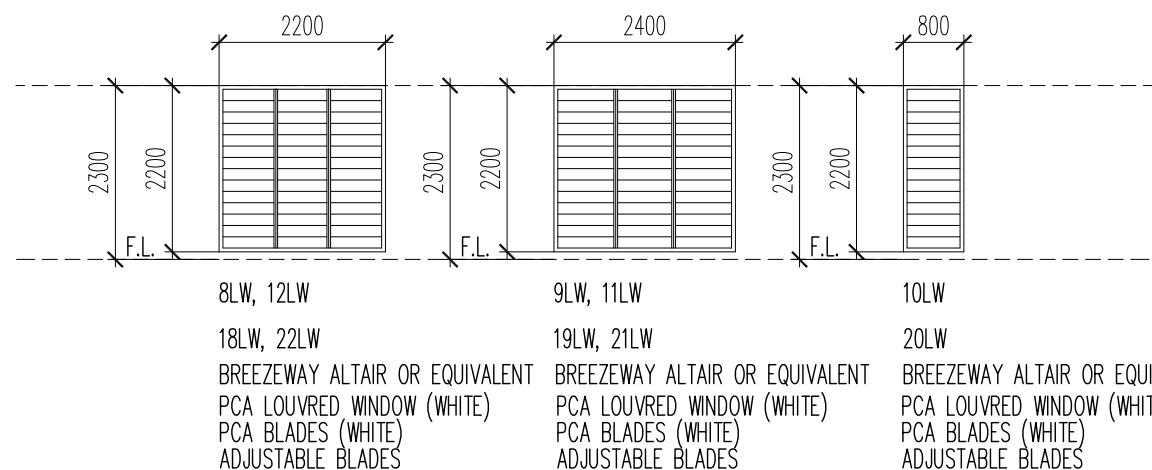
REV 3 ISSUED FOR CONSTRUCTION APPROVAL 23.07.24
REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW 01.05.24



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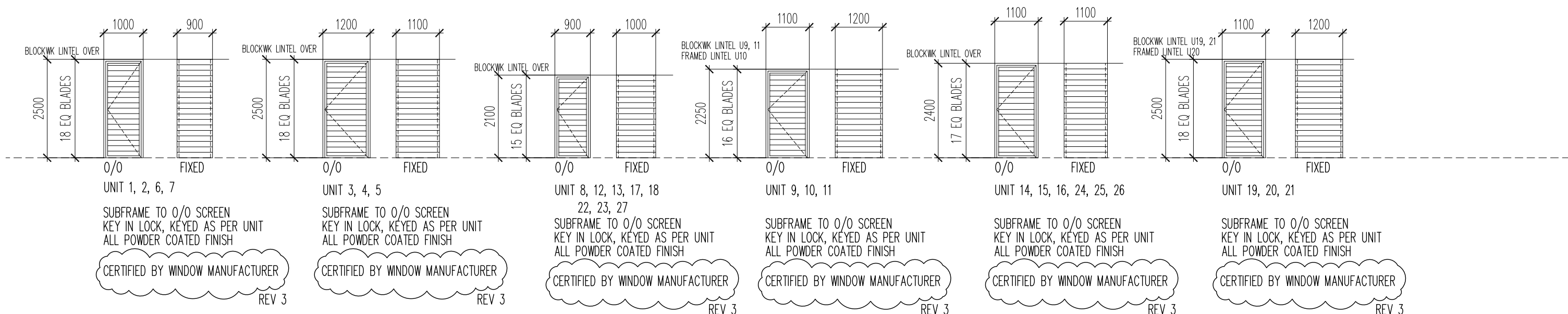


Date	FEBRUARY 2024	JOB No.	24008-B2-30	Amend.	3
Scale	AS SHOWN	BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION			



SCREEN FENCING

1800 HIGH PCA SVSCREEN FENCING TO MATCH STAGE 1



screen schedule

SCALE 1 : 100

DOOR HARDWARE / IRONMONERY SCHEDULE

ENTRY FLUSH DOORS
EXTERNAL SOLID CORE DOORS, EDGE TRIMMED
FIRE RATED DOOR CLOSERS
PEEP HOLE
RAVEN RP 120 SMOKE SEAL TO PERIMETER - BLACK
RAVEN RP 8Si AUTOMATIC SMOKE SEAL TO BASE - BLACK
1.5 PAIR FIXED PIN HINGES
DOOR STOP
GAINSBOROUGH G3 SERIES GOVENOR COMBINATION ENTRY LOCK SYSTEM /
SS FINISH / KEYED ALIKE
UNIT ENTRY DOOR SIGNAGE

SECURITY SCREENS
O/O FROM ENTRY DOORS / KEYED ALIKE WITH INTERNAL SNIB
WHITCO DOUBLE CYLINDER OR EQUAL
GUARDS / BUG STRIPS / 7mm MIN GRILLE - CRIMSAFE OR EQUAL

INTERNAL FLUSH DOORS
SEMI SOLID CORE DOORS, EDGE TRIMMED
BATHROOM / ENSUITE / BEDROOMS 1, 2, & 3
DOOR CLOSERS
1.5 PAIR LOOSE PIN HINGES
DOOR STOP
GAINSBOROUGH G3 SERIES RIVERIA LEVERS - MATT BLACK
PRIVACY LATCH
ROBE HOOK TO BATHROOM / ENSUITE DOORS - COROMA 11 #9962 1B MATT BLACK

LIFT / LIFT LOBBY / STAIRCASE DOORS
DOOR CLOSER
1.5 PAIR FIXED PIN HINGES
GAINSBOROUGH G3 SERIES RIVIERA LEVER - SSS FINISH
SWIPE CARD / FOBS (2 COPIES PER UNIT)
SWIPE CARD / FOBS - ACTIVATED FROM STAIR SIDE, FREE FROM INSIDE
DOOR SIGNAGE

INTERNAL FLUSH DOORS
SEMI SOLID CORE DOORS, EDGE TRIMMED
LAUNDRY / STORE
1.5 PAIR LOOSE PIN HINGES
DOOR STOP
GAINSBOROUGH G3 SERIES RIVERIA LEVERS - MATT BLACK
PRIVACY LATCH

INTERNAL CAVITY DOOR
SEMI SOLID CORE DOORS, EDGE TRIMMED
'BRADMAN' OR EQUIVALENT
TOP HUNG CAVITY SLIDING TRACK
LOCKWOOD 7400 PRIVACY SET

CLEANER ROOM / ROOF ACCESS
SEMI SOLID CORE DOORS, EDGE TRIMMED
1.5 PAIR FIXED PIN HINGES
DOOR STOP
LEGGE TRADE PRO ROUND BELA CYLINDER ENTRANCE KEY IN LEVER SET
INSIDE SNIB - SCP FINISH
DOOR SIGNAGE

SINGLE / DOUBLE A/C DUCT DOORS
POWDER COATED ALUMINIUM FINISH
1.5 / 3 PAIR FIXED PIN HINGES
SINGLE CYLINDER DEADBOLT
100mm VERTICAL 'D' HANDLES - SSS FINISH
REBATED STILES WHERE REQUIRED
DOOR SIGNAGE

EXTERNAL VERANDAH / BALCONY DOORS
POWDER COATED ALUMINIUM FINISH
LOCKWOOD ONYX SLIDING DOOR LOCK
SLIDING PCA FRAMED SECURITY SCREEN DOORS
LOCKWOOD SLIDING SECURITY SCREEN DOOR LOCK - 1600mm FFL

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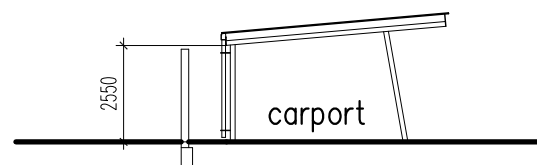
Date FEBRUARY 2024 JOB No. 24008-B2-31 Amend. 3
Scale AS SHOWN

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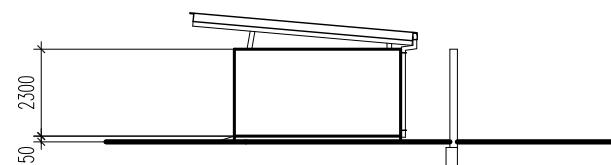
north elevation

SCALE 1 : 200



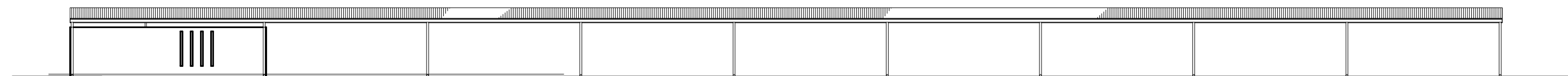
east elevation

SCALE 1 : 200



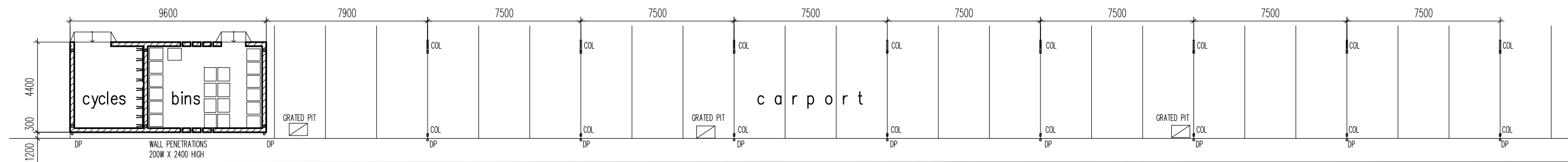
west elevation

SCALE 1 : 200



south elevation

SCALE 1 : 200



carport / bin / cycle enclosure layout

SCALE 1 : 200

REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
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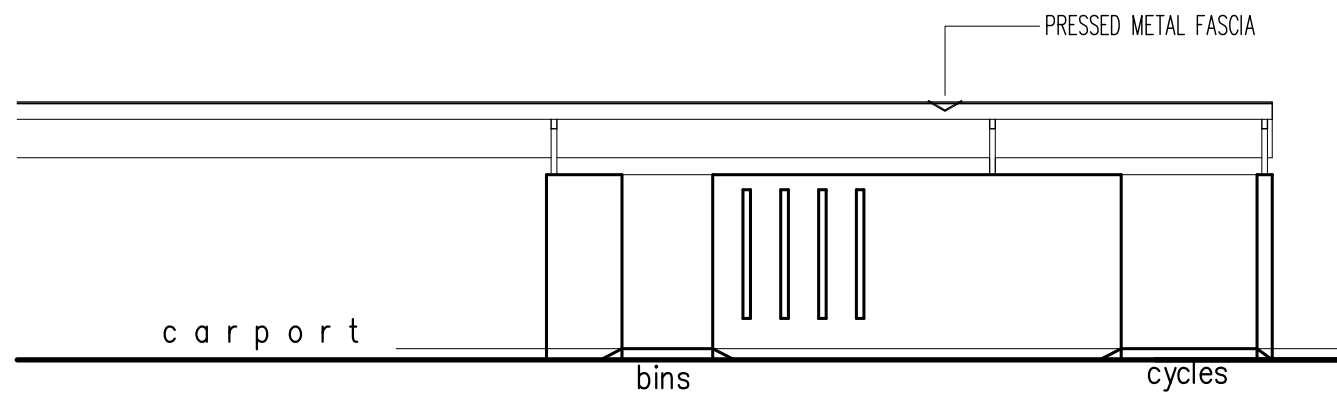


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Date FEBRUARY 2024 JOB No. 24008-B2-32 Amend. 2
Scale AS SHOWN

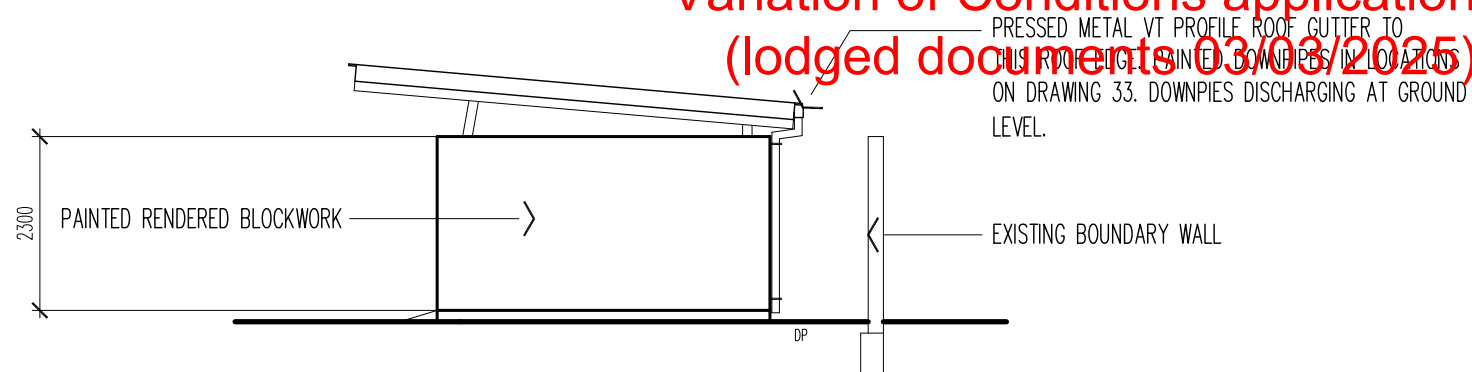
BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

Variation of Conditions application
(lodged documents 03/03/2025)



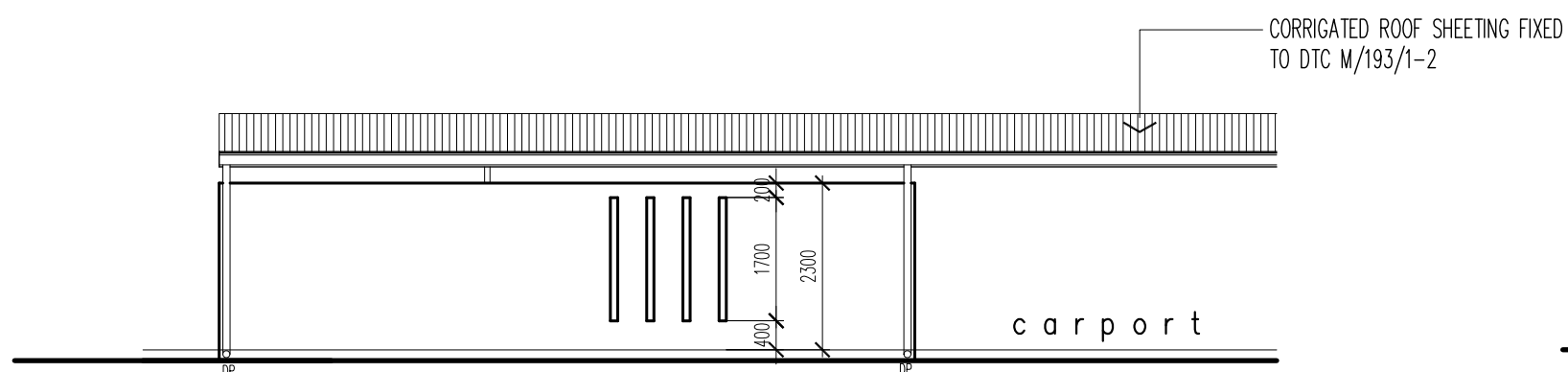
north elevation

SCALE 1 : 100



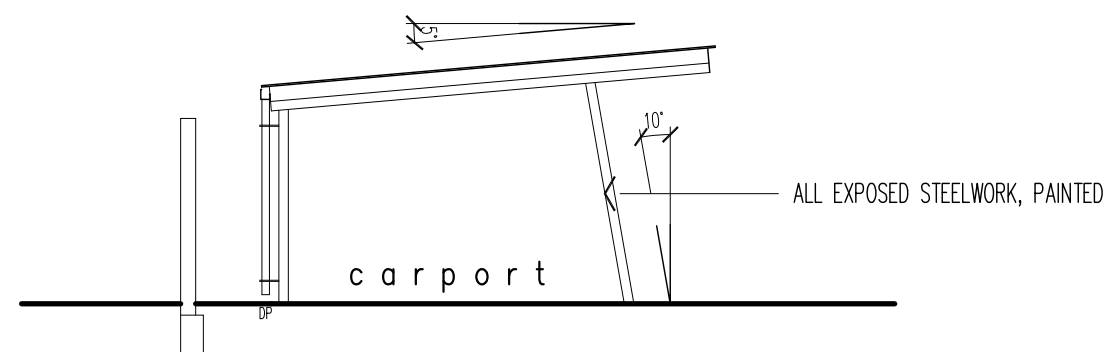
east elevation

SCALE 1 : 100



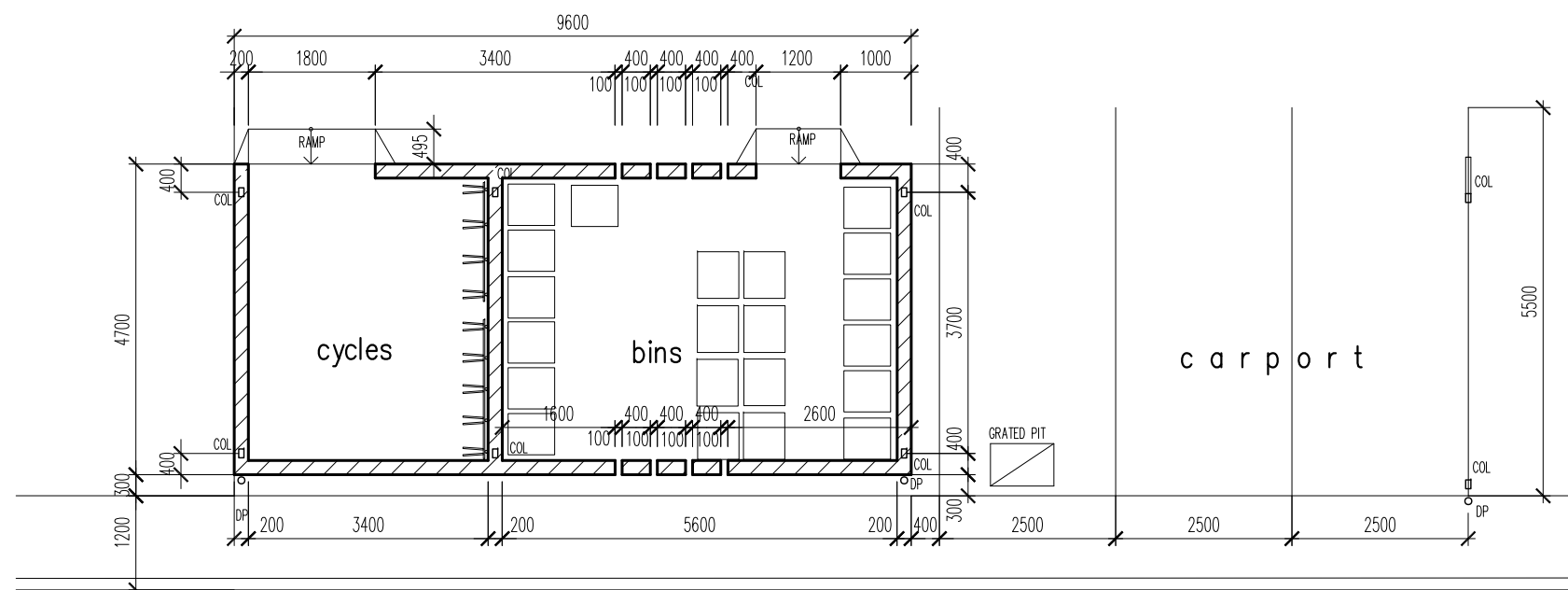
south elevation

SCALE 1 : 100



west elevation

SCALE 1 : 100



bin / cycle enclosure layout

SCALE 1 : 100

REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24
REV 1 ISSUED FOR 90% REVIEW 01.05.24

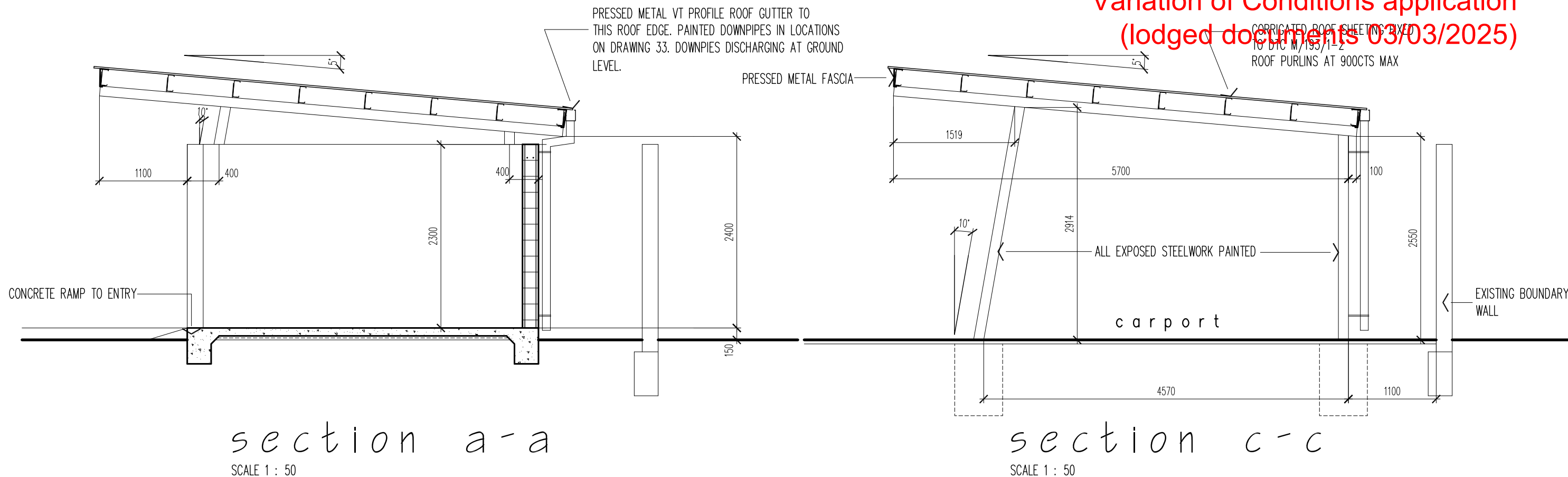


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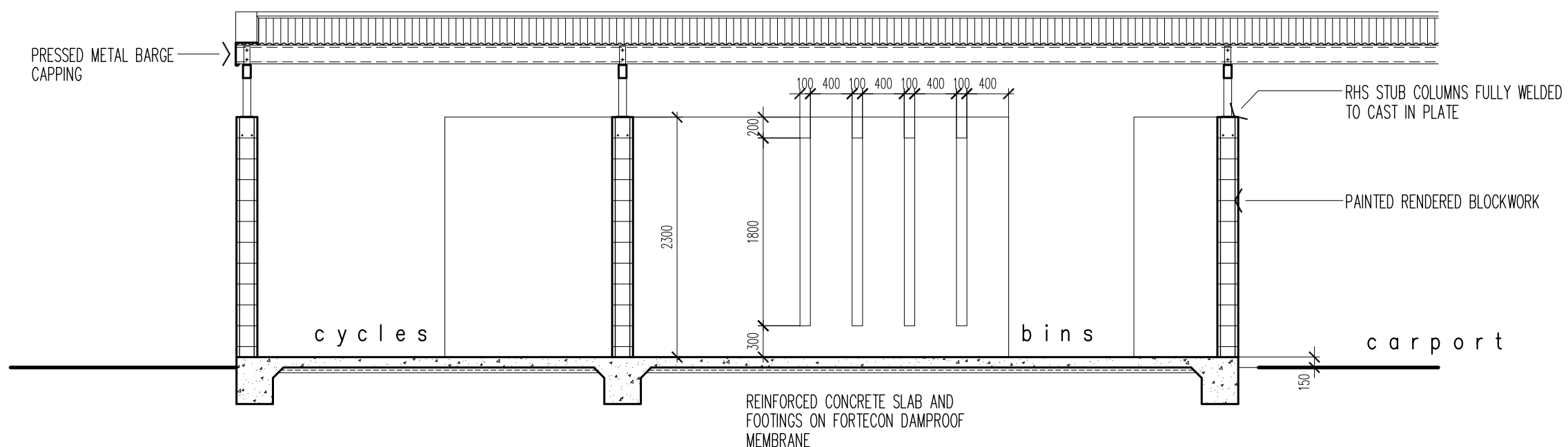


section a-a

SCALE 1 : 50

section c-c

SCALE 1 : 50



section b-b

SCALE 1 : 50

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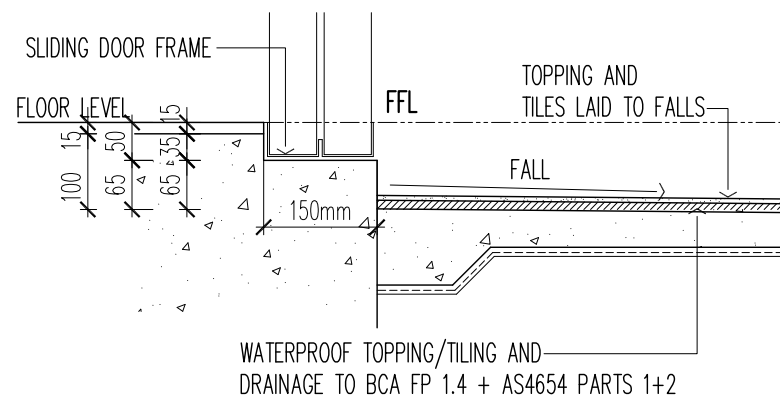


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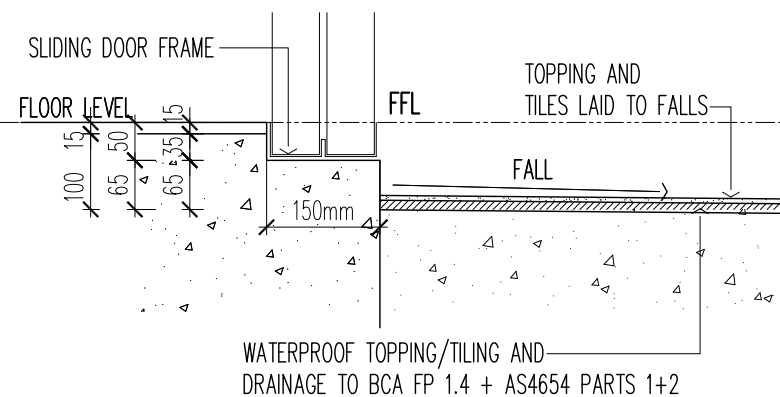
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Date FEBRUARY 2024 JOB No. 24008-B2-34 Amend. 2
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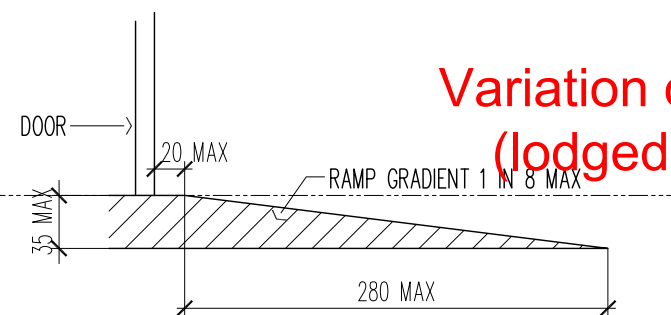
BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



DETAIL 1
SCALE 1 : 20



DETAIL 2
SCALE 1 : 20



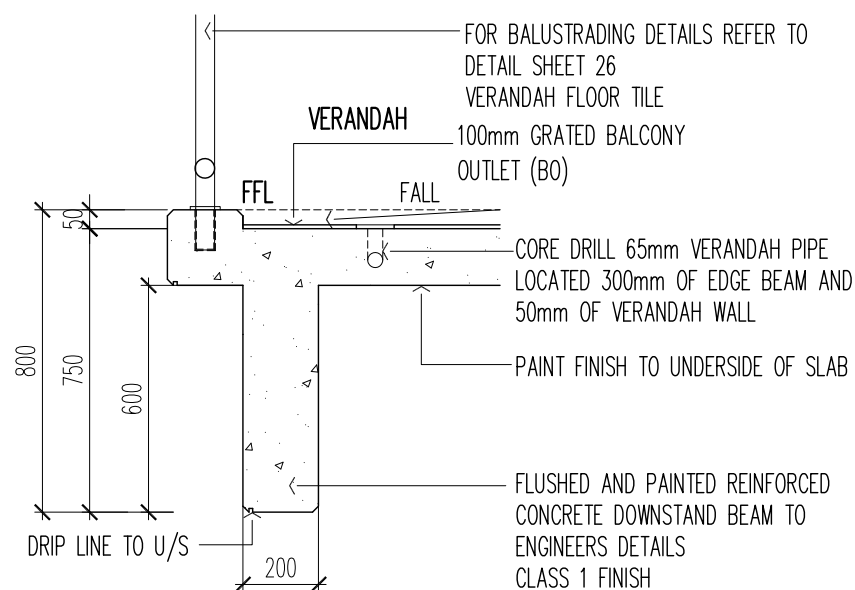
THRESHOLD RAMPS

THRESHOLD RAMPS AT DOORWAYS ON A CONTINUOUS PATH OF TRAVEL SHALL HAVE: (AS PER AS1428.1-2009)

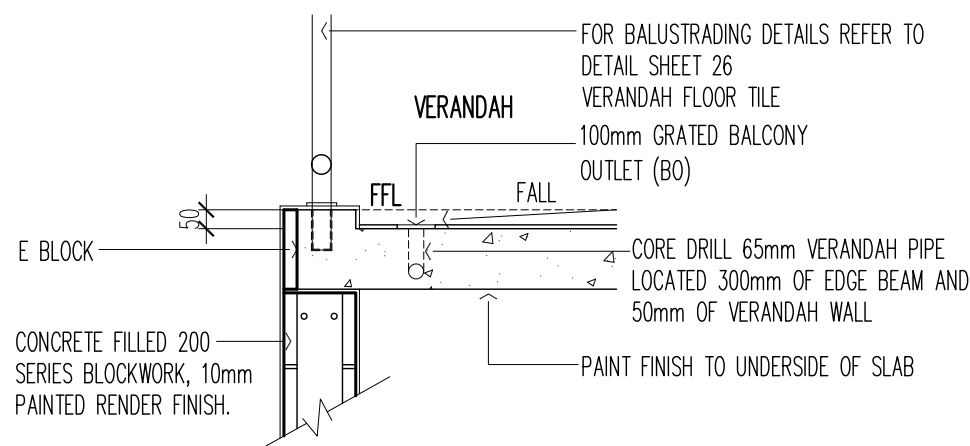
- (a) A MAXIMUM RISE OF 35mm
 - (b) A MAXIMUM LENGTH OF 280mm
 - (c) A MAXIMUM GRADIENT OF 1:8, AND
 - (d) BE LOCATED WITHIN 20mm OF THE DOOR LEAF WHICH IT SERVES,
- THE EDGES OF THE THRESHOLD RAMP SHALL BE TAPERED OR SPLAYED AT A MINIMUM OF 45DEG WHERE THE RAMP DOES NOT ABUT A WALL.

NOTE: FOR DOOR CONTROLS, REFER TO AS1428.1-2009

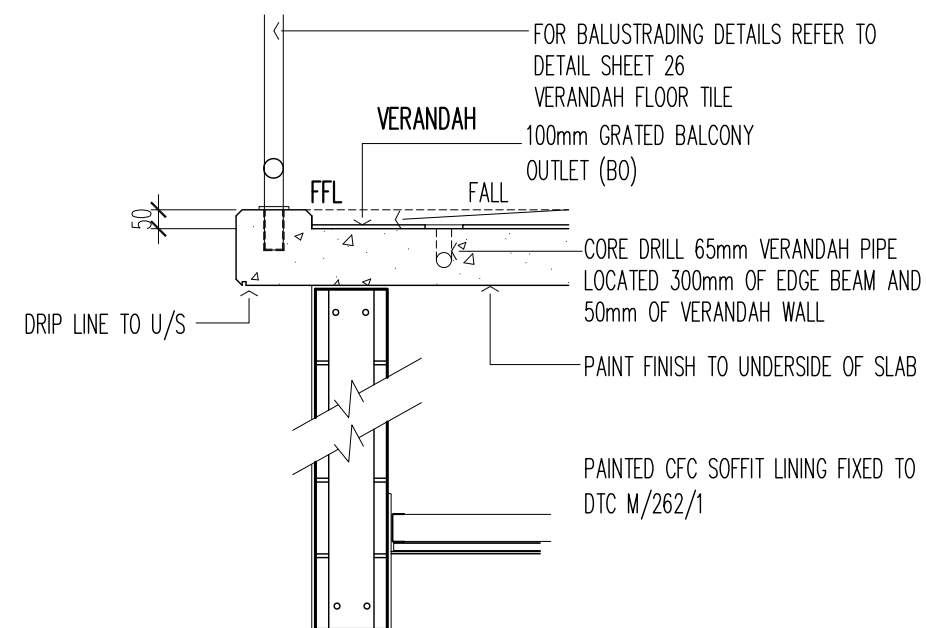
DETAIL 3
SCALE 1 : 20



DETAIL 3
SCALE 1 : 20



DETAIL 4
SCALE 1 : 20



DETAIL 5
SCALE 1 : 20

REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24



LOT 13888 TARAKAN COURT
JOHNSTON
NORBUILT PTY LTD

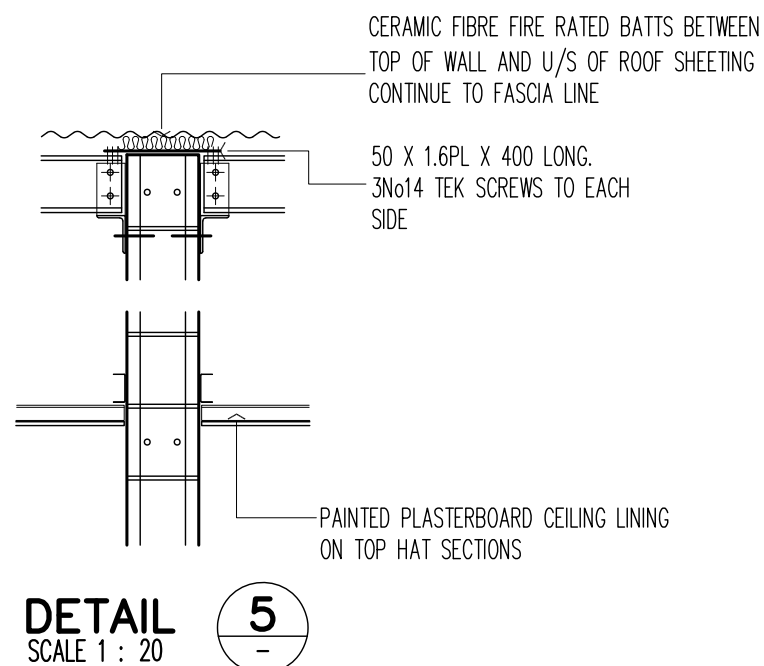
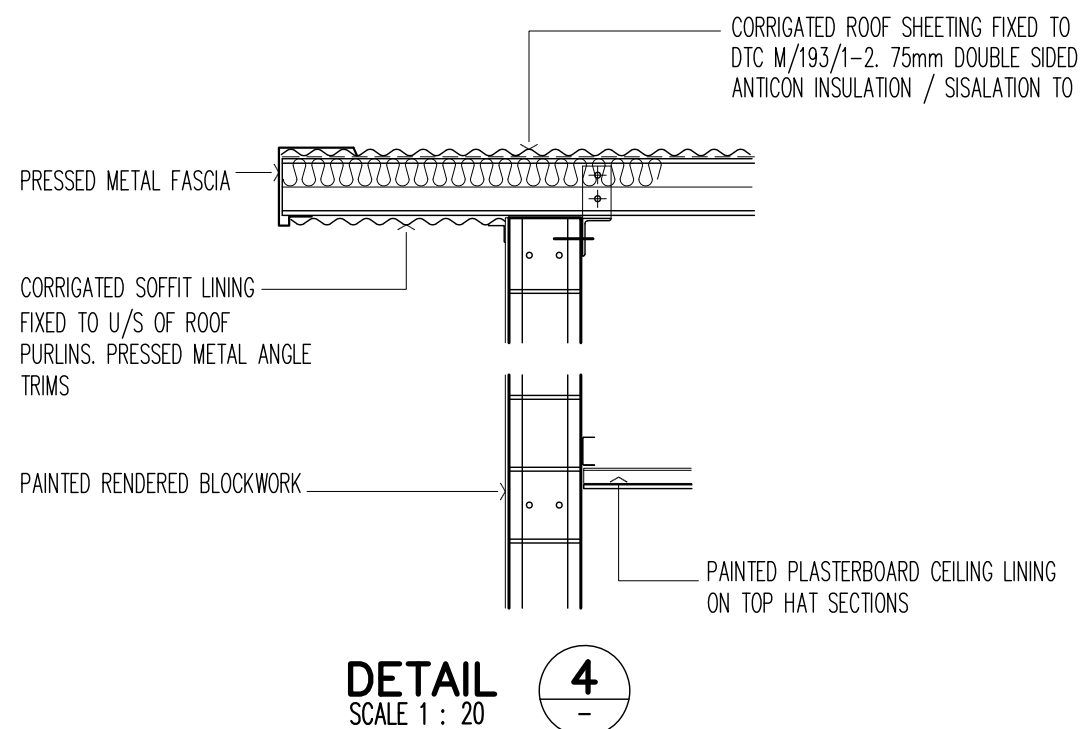
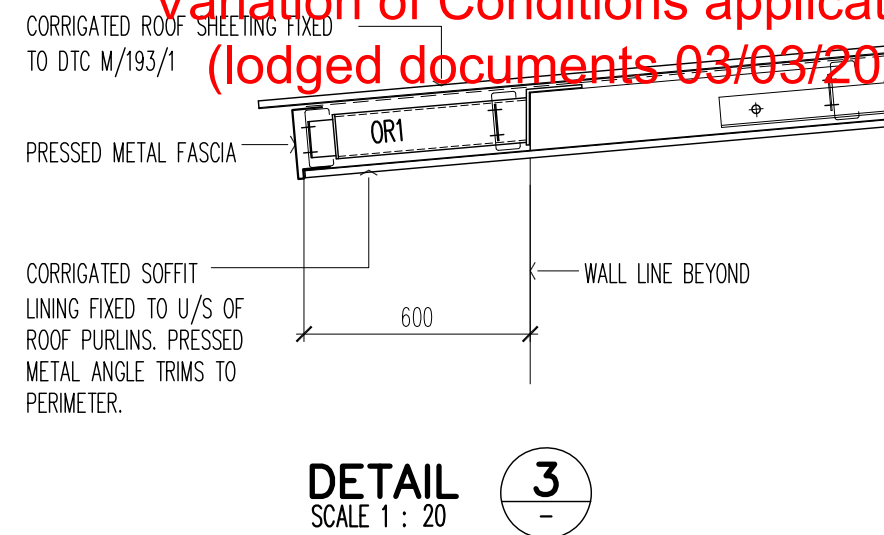
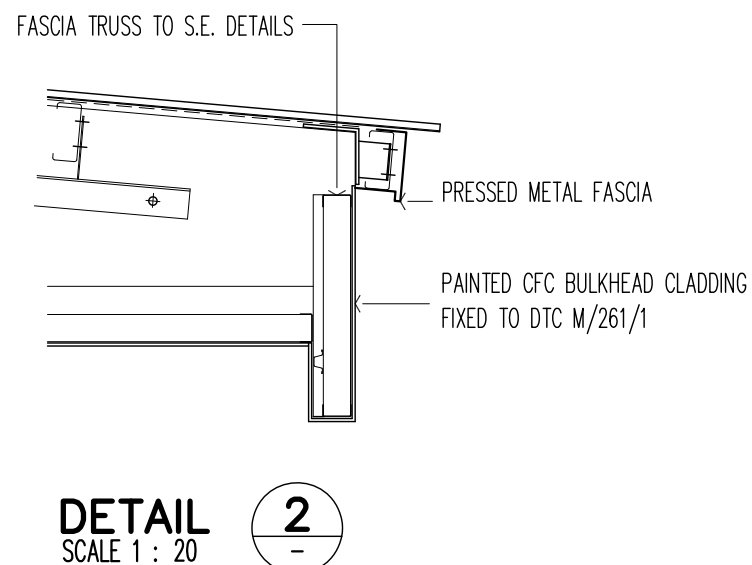
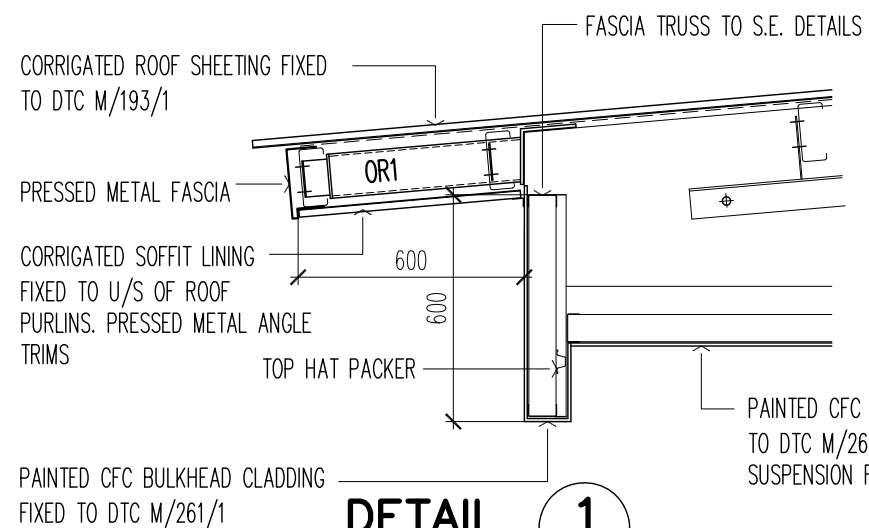
rw DESIGNS
ABN 23 485 137 214

0419 827 021 / 08 8948 0771
rob@robwattdesigns.com
www.robwattdesigns.com
GPO Box 3935, Darwin 0801, NT, Australia

Date FEBRUARY 2024 JOB No. 24008-B2-35 Amend. 2
Scale AS SHOWN

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

Variation of Conditions application
(lodged documents 03/03/2025)



REV 2 ISSUED FOR 100% BUILDING APPROVAL 03.06.24



LOT 13888 TARAKAN COURT
JOHNSTON
NORBUILT PTY LTD



0419 827 021 / 08 8948 0771
rob@robwattdesigns.com
www.robwattdesigns.com
GPO Box 3935, Darwin 0801, NT, Australia

Date FEBRUARY 2024 JOB No. 24008-B2-36 Amend. 2
Scale AS SHOWN

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

Bookmark B1
Variation of Conditions application
(lodged documents 03/03/2025)

5 November 2023

The Manager,
Palmerston and East Arm Planning,
Development Assessment Services,
Department of Infrastructure and planning,
Level 1, 18-29 Cavenagh Street,
Darwin NT 0800

Attention: Ms Adelle Godfrey

Re; Tarakan Court PA 2023/0324

Dear Ms Godfrey

Thank you for your initial technical assessment of 1 November 2023.

Below is my response on behalf of the Owners Gregory Thompson and Marie Mitchell.

Beneficiaries

As confirmed earlier to the DAS (Fletcher Willis 6. October 2023) Gregory Thompson and Marie Mitchell are the sole owners and beneficiaries of this development (copy of Authority attached). There are no agreements or understandings with any other parties other the authority of the Body Corporate Managers of Lot 13887 to undertake works on common property (Lot 13892)

Cycle Storage

There is no cycle storage facility or structure currently on Lot 13889. As a part of the current Development Application we propose a new semi enclosed Cycle Storage facility on Lot 13892 (Ref Drawing TK2R 11A)

Car Parking Spaces (NTPS 5.2.4.1)

I do not quite follow your analysis on Page 6 of your letter. There are 68 car bays on Lot 13887 and 56 developed on 13892 in Stage/Unit 1 a total of 124 bays currently developed on site. 96 only of these bays are required for Unit 1 leaving an available surplus of 28 bays on common property. We are claiming 16 of these surplus bays to add to the 38 new bays developed as part of the current proposal thus achieving the required total of 54 bays for the additional 27 dwellings.

Bookmark B1

Variation of Conditions application (lodged documents 03/03/2025)

Car Parking Layout (5.2.4.4)

PWD bays 53 and 54 (Ref Drawing TK2R 01A): We have amended the width of these bays from 2.4 to 2.5M as requested.

3Metre Landscaping: We are unable to provide the requisite 3M wide landscape strip along the Lambrick Terrace road reserve boundary. The existing 2.5M high solid wall along this boundary will achieve the objective of this Clause which is to screen cars from the public view. We have provided a 1.2M wide landscaped strip between the wall and the car bays to soften the view from within the site. We note that the wall currently screens 16 car bays approved and developed in Stage 1.

Landscaping in Zones other than Zone CBD (5.2.6.1)

Refer Drawing TK2R 15 :Landscape calculation Plan lot 13888)

This new drawing shows a total of 772.28M² of landscaping on lot 13888 representing 91.5% of the 844M² that you maintain is required.

Common Open Space (5.4.7)

The owners of Lot 13887, affordable housing sponsors Venture housing, have been consulted and have expressed a reluctance to have childrens' play equipment in the common area citing public liability concerns.

We have however provided for now what we believe to be a suitable family friendly and safe environment i.e.,

Irrigated and maintained lawn grass; suitable for active play such as ball games and physical exercise

Path network; promoting exercise and social connections within the site

Shaded landscape and seating; suitable for parental supervision and other passive activities

We note that a popular and well utilized shaded Barbeque facility is already on the site

Bookmark B1

Variation of Conditions application

Building setbacks (5.4.3) (lodged documents 03/03/2025)

Refer Drawing TK 2R 11A : Carports

We have amended the drawings to clearly show the Carport roofs 900mm from the site boundary and the Carport columns 1.2M back

Residential Building Design (5.4.8)

We note your comments on the configuration of the Verandahs and have modified the design accordingly. This has resulted in a slight “bulge” in the north façade but has created the opportunity to conform with the Guidelines. It has also achieved the benefit of an expanded Lift lobby on each floor which will improve internal circulation and occupant comfort

Our analysis of the revised verandahs is set out below-

Units 8 and 18	External opening	100%
	Side	51%
Units 9 and 19	External opening	100%
	Side	53%
Units 10 and 20	External opening	100%
	Side	50%
Units 11 and 21	External opening	100%
	Side	53%
Units 12 and 22	External opening	100%
	Side	57%
Units 13 and 23	External opening	100%
	Side	45%
Units 14 and 24	External opening	100%
	Side	52%
Units 15 and 25	External opening	100%
	Side	52%
Units 16 and 20	External opening	100%
	Side	52%
Units 17 and 27	External opening	100%
	Side	45%

It should be noted that almost all verandahs have smaller width Balconies directly attached to them as an extension of the

Bookmark B1

Variation of Conditions application

(lodged documents 03/03/2025)

Private open space creating more space and enhancing natural ventilation.

We have designed the oversized Verandahs as outdoor rooms and extensions of the main internal living and dining areas. We have sought to achieve a balance between natural ventilation and privacy. The small balconies attached to the bedrooms on the gable ends of the building serves two purposes i.e., a relief from internal air conditioning and as a privacy buffer zone.

Fencing (5.4.18)

We have accepted your suggestion and converted the fencing to the northern side of the development facing the Common Open space from screen to semi-open

Air Conditioning Screens

Refer Drawing TK2R 08A : Elevations

We have noted the visual permeability of the screens as 15%

Thank you for your review and your suggestions.

Yours faithfully,

Bruce Baldey

0413 833863

Bookmark B2
updated drawings (received 10/03/2025)

9 March 2025

The Manager,
Palmerston and East Arm Planning,
Development Assessment Services,
Department of Infrastructure and planning,
Level 1, 18-29 Cavenagh Street,
Darwin NT 0800

Attention: Mr. Benjamin Taylor

**Re: Changes to Condition 5 of PD23/0304 (endorsed
10.9.24)
Unit 13888 (Apartment 2, 11 Tarakan Court Johnston)
and Unit 13892 Common Property 11 Tarakan Court**

Dear Mr. Taylor

I refer to your request for further information in support of our Application for a Variation to DP23/0304 to be heard this Friday 14 March at a Meeting of the Palmerston Division of the DCA. In the online Application I referred to my response to the Technical Assessment dated 1 November 2023 which I sent as a letter to the DCA on 5 November 2023. The letter addressed a number of issues raised by the Technical Assessment.

Most relevant are the amendments made to the Floor plans i.e., a slight 'bulge' in the footprint and typical upper floors to Units 4(GF), 11 (1st F) and 20 (2nd F) in order to create a workable Lift Lobby and to comply with NTPS Clause 5.4.17: Building Articulation which limits the length of a single run of wall to 15M.

I note that on the endorsed set of drawings this revised footprint is included on Drawing TK2R 00G-Site Development Plan and also TK2R 18A-Traffic Noise Assessment.

Other revised drawing illustrating these changes were submitted on 5 November 2023.

Further to our telephone conversation on 7 March 2025 (Taylor/Baldey) we are resubmitting TK2R 00H now showing the completion of the internal roadway loop around all stages, of the development of the site. This roadway will be constructed as part of Stage 3: ref DP24/0181 endorsed 23 August 2024.

Bookmark B2

updated drawings (received 10/03/2025)

During the telephone conversation of 7 March you referred specifically to compliance with the following:

- ...Private Open Space Clause 5.4.6
- ... Landscaping 5.2.6
- ...Communal Open Space 5.4.7

Please note that the revised footprint of the building and typical upper floors have not had a significant effect on all of the above

Private Open Space Lot 13888

I submit the following drawings demonstrating compliance with NTPS Clause 5.4.6 and table to Clause 5.4.6.2: Dwellings Multiple:

- TC2R 19: Ground Floor: Private Open Space Calc.
- TC2R 20: First Floor: Private Open Space Calc.
- TC2R 21: Second Floor: Private Open Space Calc.

Landscaping Lot 13888

I submit the following drawing demonstrating compliance with NTPS Clause 5.2.6

- TK2R 15B: Landscape Calculation Plan lot 13888

Communal Open Space

Changes to the building footprint occur entirely within Private Open Space and therefore have no effect on the calculation area of Communal Open Space which has not changed.

Internal layout Changes

We make the following comments on amendments to the internal plan layouts, not all of which it should be noted, are 'Measureable changes'

.. Adoption by the NCC (National Construction Code) in November 2023 of the *Livable Housing Design Guidelines* Necessitated changes to the internal layouts of numerous bathrooms, end suites and Laundries allowing for accessible space in front of sanitary ware such as toilets and washing machines

.. Additional ducts for mechanical and electrical services e.g. NBN were prescribed by consulting engineers appointed after the approval of DP 23/0304

...Amendments to the external walls of Ground Floor Units 1 and 7 allow for external windows to Kitchens. We find from experience that a combination of natural and mechanical exhaust to Kitchens where possible achieves the best comfort

Changes to Condition 5 of DP23/0304

Bookmark B2

updated drawings (received 10/03/2025)

results reducing significantly lingering cooking smells within the Units

... Joinery: A specialist Interior Designer (Joe Libro & Associates) was appointed after the approval of DP 23/0304 and their designs are reflected in the final internal layouts

... Space for access to the roof has been added to the 2nd Floor. This was an omission in Stage 1 of the development and has made access to that roof difficult for maintenance workers.

External Appearance (Roof and Elevations)

Ref: TK2R 12B: External Views 1

Ref: TK2R 13B: External Views 2

Ref: TK2R 14B: External Views 3

We have simplified an already low profile roof making the roof drainage more efficient. We regard this and changes to the gable ends as improvements and consistent with the original character and appearance of the building

Yours faithfully,

Bruce Baldey

0413 833863

Attachments:

TK2R 00H Site Development Plan

TK2R 19 Ground Floor: Private Open Space calculation

TK2R 20 First Floor Plan: Private Open Space Calculation

TK2R 21 Second Floor Plan: Private Open Space

Calculation

TK2R 15B Landscape Calculation Plan: Lot 13888

TK2R 12B External Views 1

TK2R 13B External Views 2

TK2R 14B External Views 3

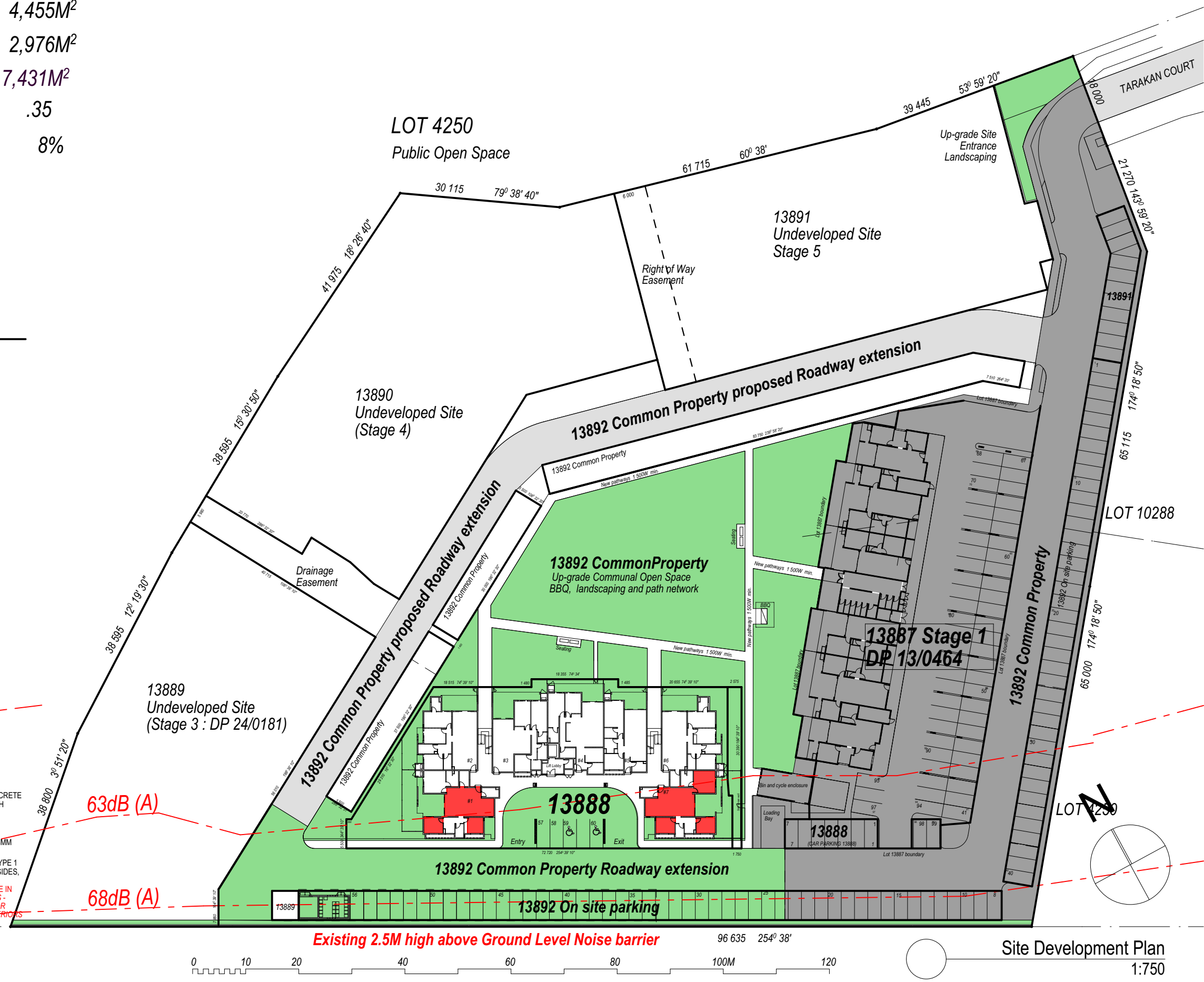
REV A 4.0.23 Boundary notes added
REV B 7.10.23 Boundary lines
REV C 2.6.1.23 P/S Response
REV D 21.11.23 Parking boundaries
REV E 4.2.24 Corrections site boundaries
REV F 15.8.24 Noise contour amendment & Spec.
REV G 2.9.24 Note 2 added
REV H 9.3.25 Internal roadway extension added, DP 23/8/24 noted

DEVELOPMENT SUMMARY

Total site area	24,900M ²
Stage 1 Floor Area	4,455M ²
Stage 2 Floor Area	2,976M ²
Total Floor Area	7,431M ²
Plot Ratio	.35
Site Coverage	8%

- Stage 1**
- ... 48 Dwellings
 - ... 99 Car parks
- Stage 2**
- ... 27 Dwellings
 - ... 60 Car parks

Unit Title Subdivision
25.05.2016



68/63dB (A)
"Johnston Subdivision Road Traffic Noise Assessment" refers
GHD Darwin 2010

CONSTRUCTION TYPE LEGEND

- WALLING:** SERIES 200 SINGLE SKIN REINFORCED CONCRETE BLOCKWORK, RENDERED WITH PAINT FINISH
- CEILING:** 200MM THICK REINFORCED CONCRETE
- WINDOWS:** ALUMINIUM FACTORY GLAZED SLIDING WINDOWS AND DOORS, FULLY SEALED, 6.38MM VLAM (VIRIDIAN) LAMINATED GLASS

- Notes:
1. ALL EXTERNAL DOORS 42MM THICK NT TYPE 1 SOLID CORE TYPE RAVEN SEALS TOP AND SIDES, DROP SEAL AT THE BASE
 2. BUILDING CONSTRUCTION TYPES SHALL BE IN COMPLIANCE WITH AS2107-2000 ACOUSTICS - RECOMMENDED DESIGN SOUND LEVELS FOR REVERBERATION TIMES FOR BUILDING INTERIORS

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Project Name
Lots 13888, 13892 (11) Tarakan Court, Johnston NT

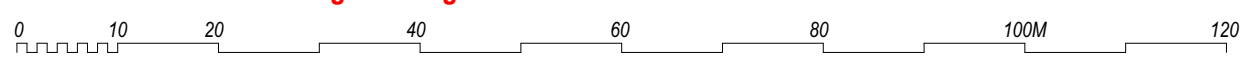
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- Site Development Plan

Scale: as noted Date:

Status: #Project Status Checked By:

Project No:
080601 Drawing No.:
TK2R 00H

Plot Date: 10/03/2025



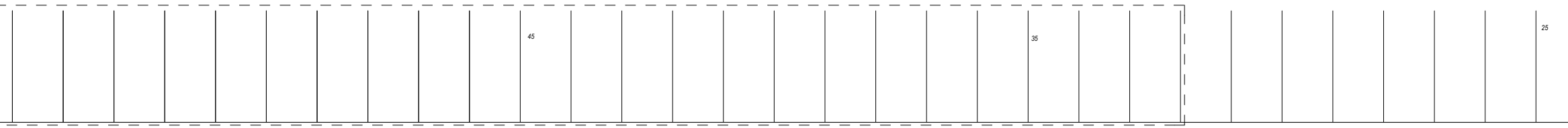
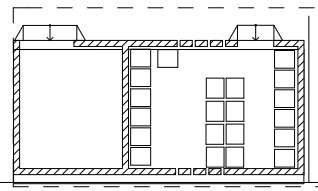
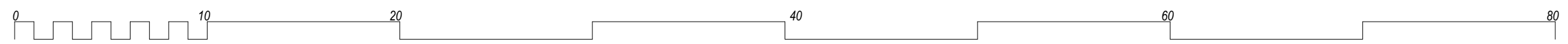
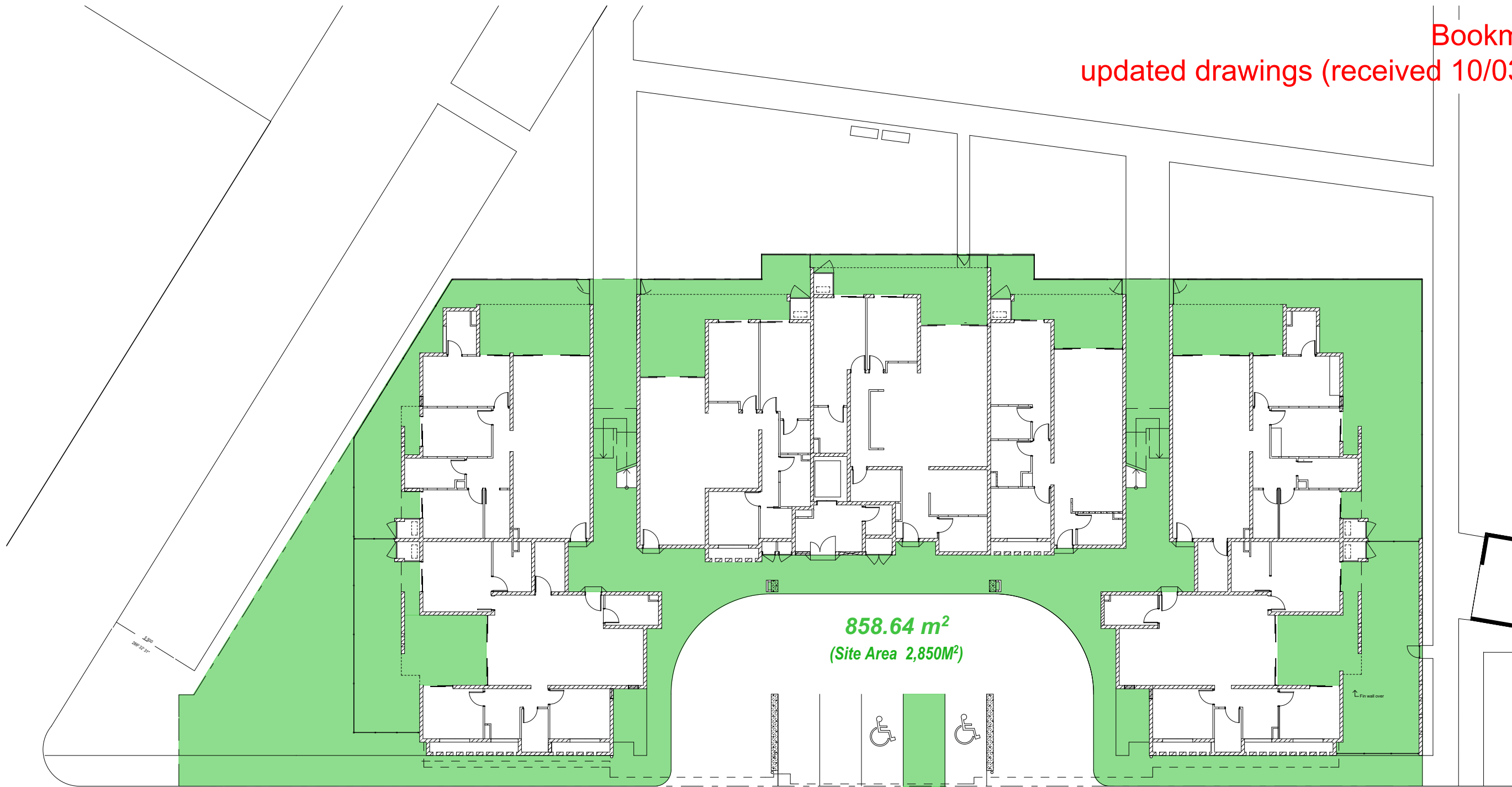
Existing 2.5M high above Ground Level Noise barrier

Site Development Plan
1:750

LAMBRICK TERRACE ROAD RESERVE

Bookmark B2
updated drawings (received 10/03/2025)

REV A 21.11.23: Recalc
REV B 9/03/2025 Recalc



The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Project Name
Lots 13888, 13892 (11) Tarakan Court, Johnston NT

Drawing Title:
- Landscape Calculation Plan Lot 13888

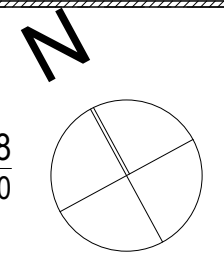
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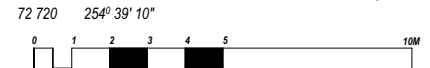
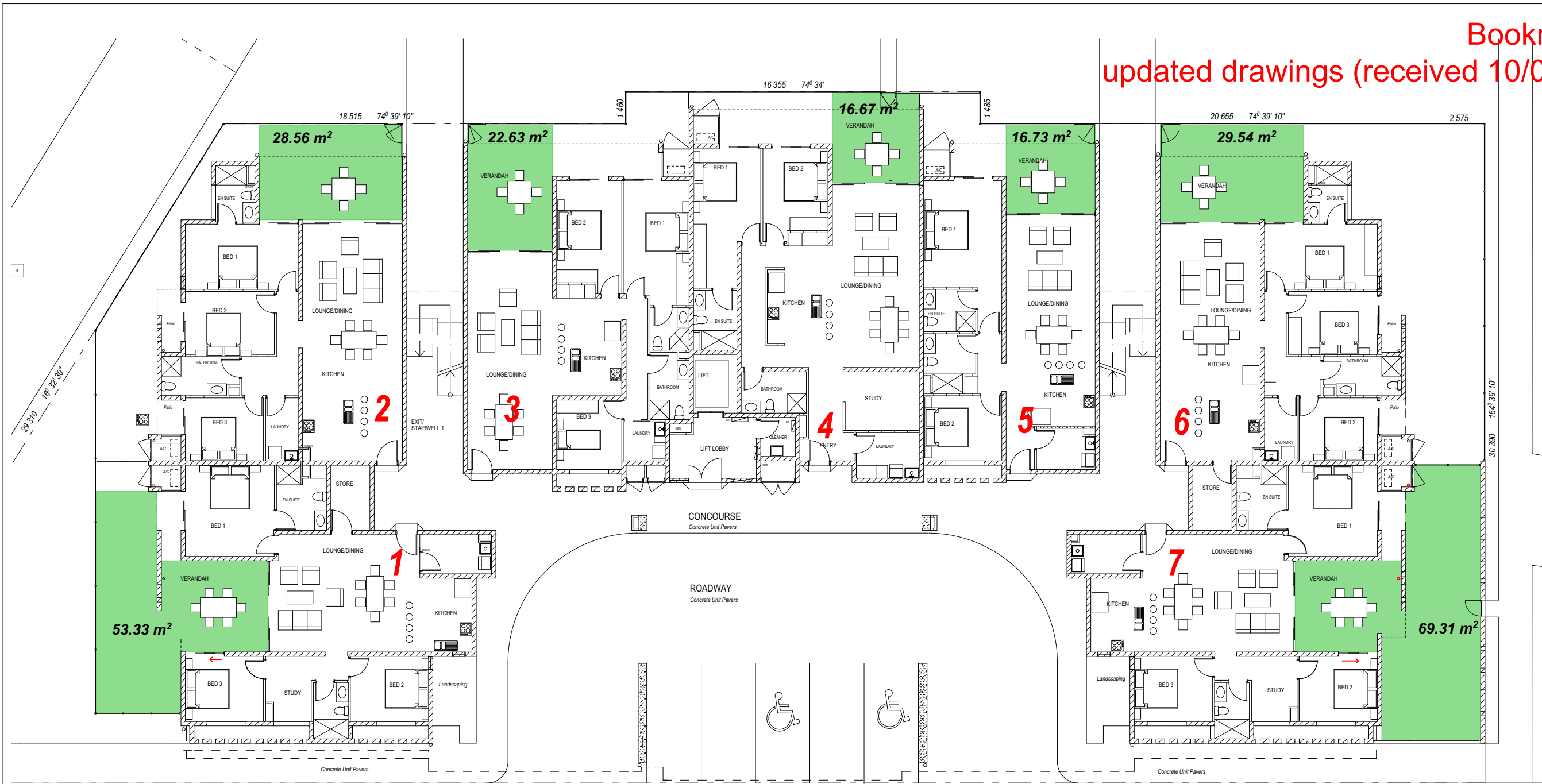
Status: #Project Status Checked By:

Project No.: **080601** Drawing No.: **TK2R 15B**

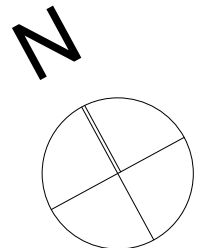
Plot Date: 10/03/2025

Landscape Calculation Plan Lot 13888
1:250





Grd Floor Plan: Private Open Space
1:200



The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Project Name
**Lot 13888 (11) Tarakan Court,
Johnston NT**

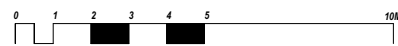
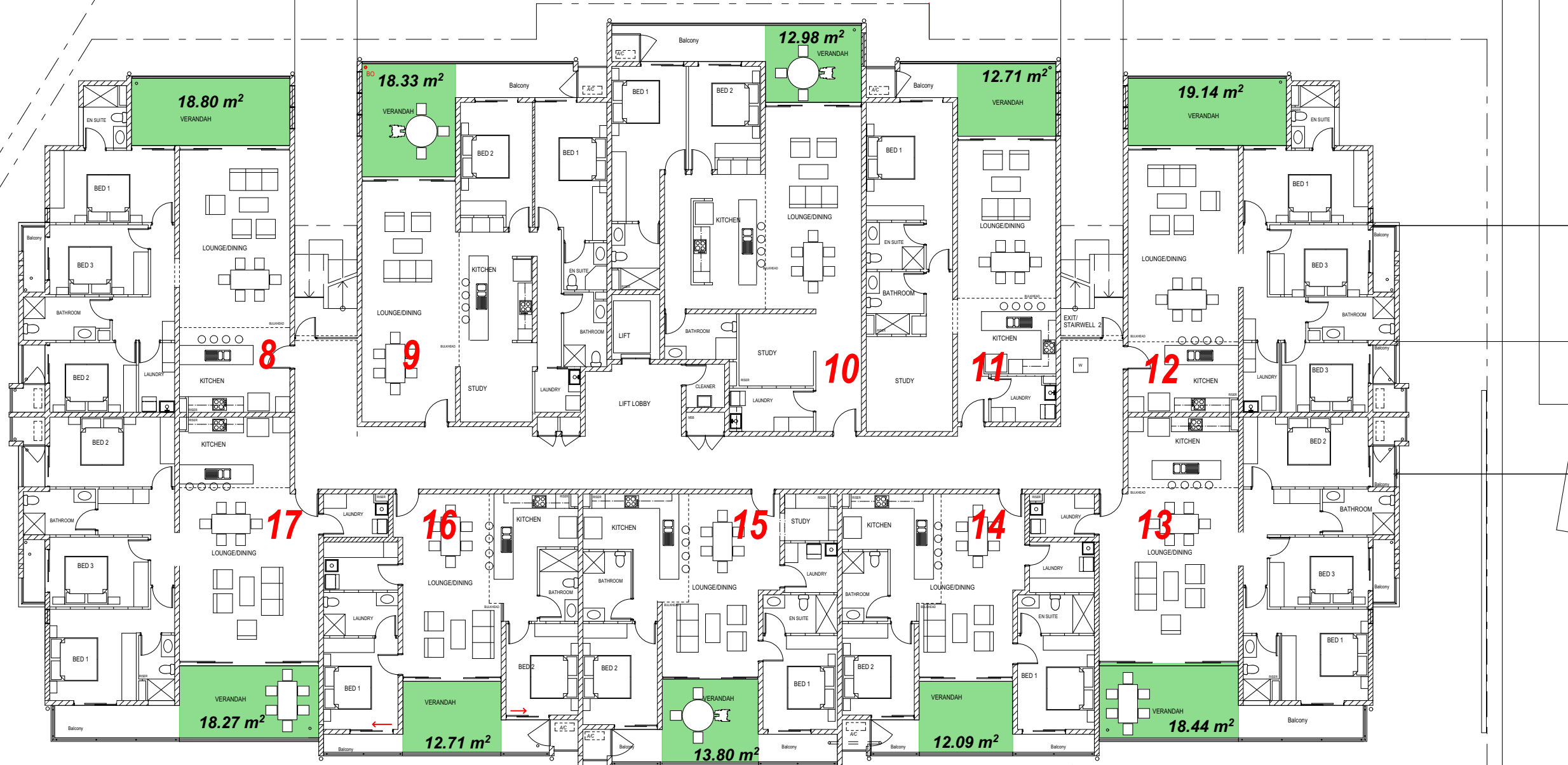
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- Grd Floor Plan: Private Open Space
Grd Floor Plan: Private Open Space

Scale: as noted Date:

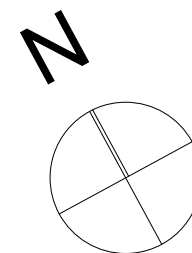
Status: #Project Status Checked By:

Project No:
080601 Drawing No.:
TC2R 19

Plot Date: 10/03/2025



1st Floor Plan: Private Open Space
1:200



The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Project Name
**Lot 13888 (11) Tarakan Court,
Johnston NT**

Drawing Title:
- 1st Floor Plan: Private Open Space
1st Floor Plan: Private Open Space

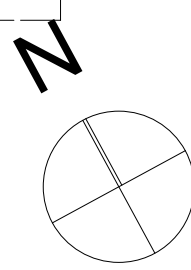
Scale: as noted Date:
Status: #Project Status Checked By:

Project No.:
080601 Drawing No.:
TC2R 20

Plot Date: 10/03/2025



2nd Floor Plan: Private Open Space
1:200



The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Project Name
**Lot 13888 (11) Tarakan Court,
Johnston NT**

Drawing Title:
- 2nd Floor Plan: Private Open Space
2nd Floor Plan: Private Open Space

Scale: as noted Date:
Status: #Project Status Checked By:

Project No.: **080601** Drawing No.: **TC2R 21**

Plot Date: 10/03/2025



Bookmark B2
updated drawings (received 10/03/2025)

REV A 5.11.23: DAS response
REV B 4.2.24 Design Dev.



View from SW

View from NE

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Project Name
**Lot 13888 (11) Tarakan Court,
Johnston NT**

Drawing Title:
- External Views 1

Scale: as noted Date:
Status: #Project Status Checked By:

Project No.: **080601** Drawing No.: **TK2R 12B**

Plot Date: 10/03/2025



Bookmark B2
updated drawings (received 10/03/2025)

REVA 5.11.23: DAS response
REVB 4.2.24 Design Dev.



View from SE



View from NW

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Project Name
**Lot 13888 (11) Tarakan Court,
Johnston NT**

Drawing Title:
- External Views 2

Scale: as noted Date:
Status: #Project Status Checked By:

Project No: **080601** Drawing No.: **TK2R 13B**

Plot Date: 10/03/2025



Bookmark B2
updated drawings (received 10/03/2025)

REVA 5.11.23: DAS response
REVB 4.2.24 Design Dev.

View from Stage 1



View from SE

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Project Name
**Lot 13888 (11) Tarakan Court,
Johnston NT**

Drawing Title:
- Exterior Views 3
w from SE

Scale: as noted Date:

Status: #Project Status Checked By:

Project No: **080601** Drawing No.: **TK2R 14B**

Plot Date: 10/03/2025

NORTHERN TERRITORY OF AUSTRALIA

Planning Act - section 65

CERTIFICATION OF COMPLIANCE WITH PERMIT

DESCRIPTION OF LAND THE SUBJECT OF THIS CERTIFICATE

Lot 10286
Town of Palmerston
11 TARAKAN CT, JOHNSTON

I, Deborah Curry hereby certify, in pursuance of section 65(3) of the *Planning Act*, that the conditions of DP13/0462, DP13/0464A and DP13/0464B have been complied with in **PART** (Stage 1).



Deborah Curry
2016.05.16
08:38:54
+09'30'

DEBORAH CURRY
Delegate
Development Consent Authority

NORTHERN TERRITORY OF AUSTRALIA

Planning Act - sections 54 and 55

DEVELOPMENT PERMIT

DP13/0464

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 10286
Town of Palmerston
11 TARAKAN CT, JOHNSTON

APPROVED PURPOSE

To use and develop the land for the purpose of 73 x 3 bedroom, 123 x 2 bedroom and 28 x 1 bedroom multiple dwellings in 5 x 4 storey buildings, in accordance with the attached schedule of conditions and the endorsed plans.

VARIATIONS GRANTED

Clause 7.3 (Building Setbacks of Residential Buildings) of the NT Planning Scheme

BASE PERIOD OF THE PERMIT

Subject to the provisions of sections 58, 59 and 59A of the Planning Act, this permit will lapse two years from the date of issue.



PETER McQUEEN
Delegate
Development Consent Authority

27 106 / 2013

DEVELOPMENT PERMIT

DP13/0464

SCHEDULE OF CONDITIONS

CONDITIONS PRECEDENT

1. Prior to endorsement of plans and the commencement of works (including site preparation), a full set of amended plans to the satisfaction of the consent authority must be submitted to and approved by the consent authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted with the application but modified to show:
 - An amended design of the entry lobbies and lift areas of each building; and
 - An amended design of the area containing storage units in lobbies in accordance with principles of Crime Prevention Through Environmental Design.
2. Prior to the commencement of works, a schematic plan demonstrating the on-site collection of stormwater and its discharge into the City of Palmerston's underground stormwater drainage system shall be submitted to and approved by the City of Palmerston, to the satisfaction of the consent authority. The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.

GENERAL CONDITIONS

3. Works carried out under this permit shall be in accordance with the drawings endorsed as forming part of this permit.
4. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority.
5. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply and sewerage and electricity facilities to the land shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time.
6. Storm water is to be collected and discharged into the drainage network to the technical standards of and at no cost to City of Palmerston and/or the Department of Transport whichever the case may be, to the satisfaction of the consent authority.
7. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of City of Palmerston, to the satisfaction of the consent authority.
8. The owner shall:
 - (a) remove disused vehicle and/ or pedestrian crossovers;
 - (b) provide footpaths/ cycleways; and
 - (c) undertake reinstatement works;

all to the technical requirements of and at no cost to City of Palmerston to the satisfaction of the consent authority.

9. Before the use or occupation of the development starts, the areas set aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
- (a) constructed;
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced with an all-weather-seal coat;
 - (d) drained; and
 - (e) line marked to indicate each car space and all access lanes;
- to the satisfaction of the consent authority.

Car spaces, access lanes and driveways must be kept available for these purposes at all times.

10. The car parking shown on the endorsed plans must be available at all times for the exclusive use of the occupants of the development and their visitors.

11. Before the use/occupation of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.

12. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.

13. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street.

14. Soil erosion control measures must be employed throughout the construction stage of the development to the satisfaction of the consent authority.

15. All air conditioning condensers are to be appropriately screened from public view, located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the consent authority.

16. All balconies are to be internally drained and discharge is to be disposed of at ground level and in a manner consistent with stormwater disposal arrangements for the site to the satisfaction of the consent authority.

17. Storage for waste disposal bins is to be provided to the requirements of City of Palmerston to the satisfaction of the consent authority.

NOTES

1. This permit will expire if one of the following circumstances applies
- (a) The development is not started within two years of the date of this permit; or
 - (b) The development is not completed within four years of the date of this permit.

The consent authority may extend the periods referred to if a request is made in writing before the permit expires.

2. The Power and Water Corporation advises that the Water and Sewer Services Development Section (landdevelopmentnorth@powerwater.com.au) and Power Network Engineering Section (powerconnections@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.
3. Environment Protection Agency of the Department of Lands, Planning and the Environment advises that construction work should be conducted in accordance with the Agency's Noise Guidelines for Development Sites. The guidelines specify that on-site construction activities are restricted to between 7am and 7pm Monday to Saturday and 9am to 6pm Sunday and Public Holidays. For construction activities outside these hours refer to the guidelines for further information.

NORTHERN TERRITORY OF AUSTRALIA

Planning Act - Section 57(3)

VARIATION OF CONDITIONS

DP13/0464A

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 10286
Town of Palmerston
11 TARAKAN CT, JOHNSTON

VARIATION

Consent is granted to vary Condition 3 of Development Permit DP13/0464 for the purpose of staging of the development (in 5 stages), reconfiguration of internal floor layouts, minor changes in building positions and minor changes to building façades, in accordance with drawing numbers 2013/0059/1A through to 2013/0059/44A, endorsed as forming part of this permit.

In all other respects Development Permit DP13/0464 remains unchanged.

BASE PERIOD OF THE PERMIT

This permit does not extend the base period of the original permit.



DENIS BURKE
Delegate
Development Consent Authority

18 / 9 / 2015

DEVELOPMENT PERMIT

DP13/0464A

SCHEDULE OF CONDITIONS

CONDITIONS PRECEDENT

1. Prior to endorsement of plans and the commencement of works (including site preparation), a full set of amended plans to the satisfaction of the consent authority must be submitted to and approved by the consent authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted with the application but modified to show:

- An amended design of the entry lobbies and lift areas of each building; and
- An amended design of the area containing storage units in lobbies in accordance with principles of Crime Prevention Through Environmental Design.

This condition has previously been cleared

2. Prior to the commencement of works, a schematic plan demonstrating the on-site collection of stormwater and its discharge into the City of Palmerston's underground stormwater drainage system shall be submitted to and approved by the City of Palmerston, to the satisfaction of the consent authority. The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.

This condition has previously been cleared

GENERAL CONDITIONS

3. Works carried out under this permit shall be in accordance with the drawings 2013/0059/1A through to 2013/0059/44A endorsed as forming part of this permit.
4. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority.
5. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply and sewerage and electricity facilities to the land shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time.
6. Storm water is to be collected and discharged into the drainage network to the technical standards of and at no cost to City of Palmerston and/or the Department of Transport whichever the case may be, to the satisfaction of the consent authority.
7. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of City of Palmerston, to the satisfaction of the consent authority.
8. The owner shall:
 - (a) remove disused vehicle and/ or pedestrian crossovers;

- (b) provide footpaths/ cycleways; and
- (c) undertake reinstatement works;

all to the technical requirements of and at no cost to City of Palmerston to the satisfaction of the consent authority.

9. Before the use or occupation of the development starts, the areas set aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
- (a) constructed;
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced with an all-weather-seal coat;
 - (d) drained; and
 - (e) line marked to indicate each car space and all access lanes;
- to the satisfaction of the consent authority.

Car spaces, access lanes and driveways must be kept available for these purposes at all times.

10. The car parking shown on the endorsed plans must be available at all times for the exclusive use of the occupants of the development and their visitors.
11. Before the use/occupation of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.
12. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.
13. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street.
14. Soil erosion control measures must be employed throughout the construction stage of the development to the satisfaction of the consent authority.
15. All air conditioning condensers are to be appropriately screened from public view, located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the consent authority.
16. All balconies are to be internally drained and discharge is to be disposed of at ground level and in a manner consistent with stormwater disposal arrangements for the site to the satisfaction of the consent authority.
17. Storage for waste disposal bins is to be provided to the requirements of City of Palmerston to the satisfaction of the consent authority.

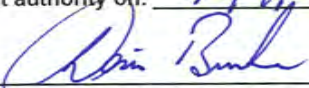
NOTES

1. This permit will expire if one of the following circumstances applies
- (a) The development is not started within two years of the date of this permit; or
 - (b) The development is not completed within four years of the date of this permit.

The consent authority may extend the periods referred to if a request is made in writing before the permit expires.

2. The Power and Water Corporation advises that the Water and Sewer Services Development Section (landdevelopmentnorth@powerwater.com.au) and Power Network Engineering Section (powerconnections@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.
3. Environment Protection Agency of the Department of Lands, Planning and the Environment advises that construction work should be conducted in accordance with the Agency's Noise Guidelines for Development Sites. The guidelines specify that on-site construction activities are restricted to between 7am and 7pm Monday to Saturday and 9am to 6pm Sunday and Public Holidays. For construction activities outside these hours refer to the guidelines for further information.

Bookmark C

Drawing No: 2013/0059/1A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/09/15

 Consent Authority / Delegate



- █ STAGE 1
- █ STAGE 2
- █ STAGE 3
- █ STAGE 4
- █ STAGE 5

- BUILDING 1**
 48 UNITS
 90 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 98 BAYS
- BUILDING 2**
 47 UNITS
 88 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 96 BAYS
- BUILDING 3**
 41 UNITS
 76 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 84 BAYS
- BUILDING 4**
 44 UNITS
 82 CAR PARKING BAYS
 3 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 91 BAYS
- BUILDING 5**
 44 UNITS
 82 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 90 BAYS
- TOTAL**
 456 PARKING BAYS

REV 3 STAGES BOUNDARY LINE AMENDED 01.09.15
 REV 2 TO STAGE 1 & 2 AMENDED 31.08.15
 REV 1 POOL BUILDING MOVED TO STAGE 3 28.08.15



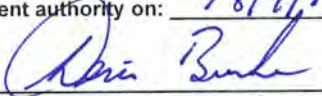
11 Woodward Avenue, Darwin, NT 08101
 Tel: (08) 8949 0071 • Fax: (08) 8949 0072 • Email: info@rawdesigns.com.au

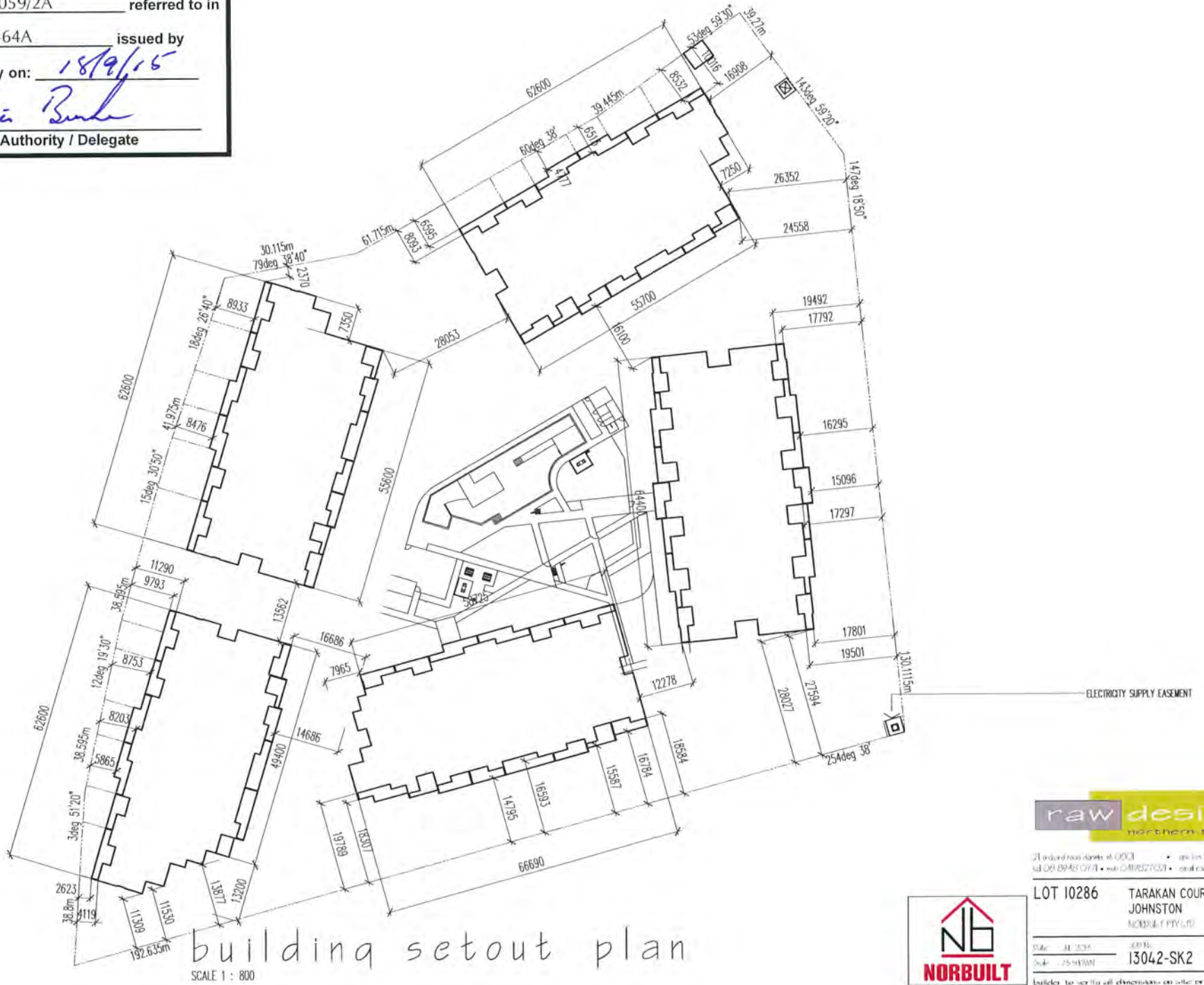
LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTH AUSTRALIA

Date: 18/09/15 13042-SKI 3



Subject to the validity of all other consents and approvals.

Drawing No: 2013/0059/2A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate



21 endow road darwin nt 0801 • phone 08 9492 0771 • fax 08 9492 0701 • email rawdesigns@rawdesigns.com.au

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORBULT PTY LTD

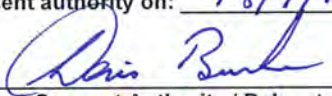
Date: 18/09/15
 Scale: 1:800

13042-SK2

Builder to verify all dimensions on site prior to construction.



Bookmark C

Drawing No: 2013/0059/3A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate



- BUILDING 1**
 48 UNITS
 90 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 98 BAYS
- BUILDING 2**
 47 UNITS
 88 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 96 BAYS
- BUILDING 3**
 41 UNITS
 76 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 84 BAYS
- BUILDING 4**
 44 UNITS
 82 CAR PARKING BAYS
 3 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 91 BAYS
- BUILDING 5**
 44 UNITS
 82 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 90 BAYS
- TOTAL**
 456 PARKING BAYS

- STAGE 1
Communal Open Space
- STAGE 2
Communal Open Space
- STAGE 3
Communal Open Space

REV 3 STAGES BOUNDARY LINE AMENDED 10.09.15
 REV 2 TO STAGE 1 & 2 AMENDED 31.08.15
 REV 1 POOL BUILDING MOVED TO STAGE 3 28.08.15



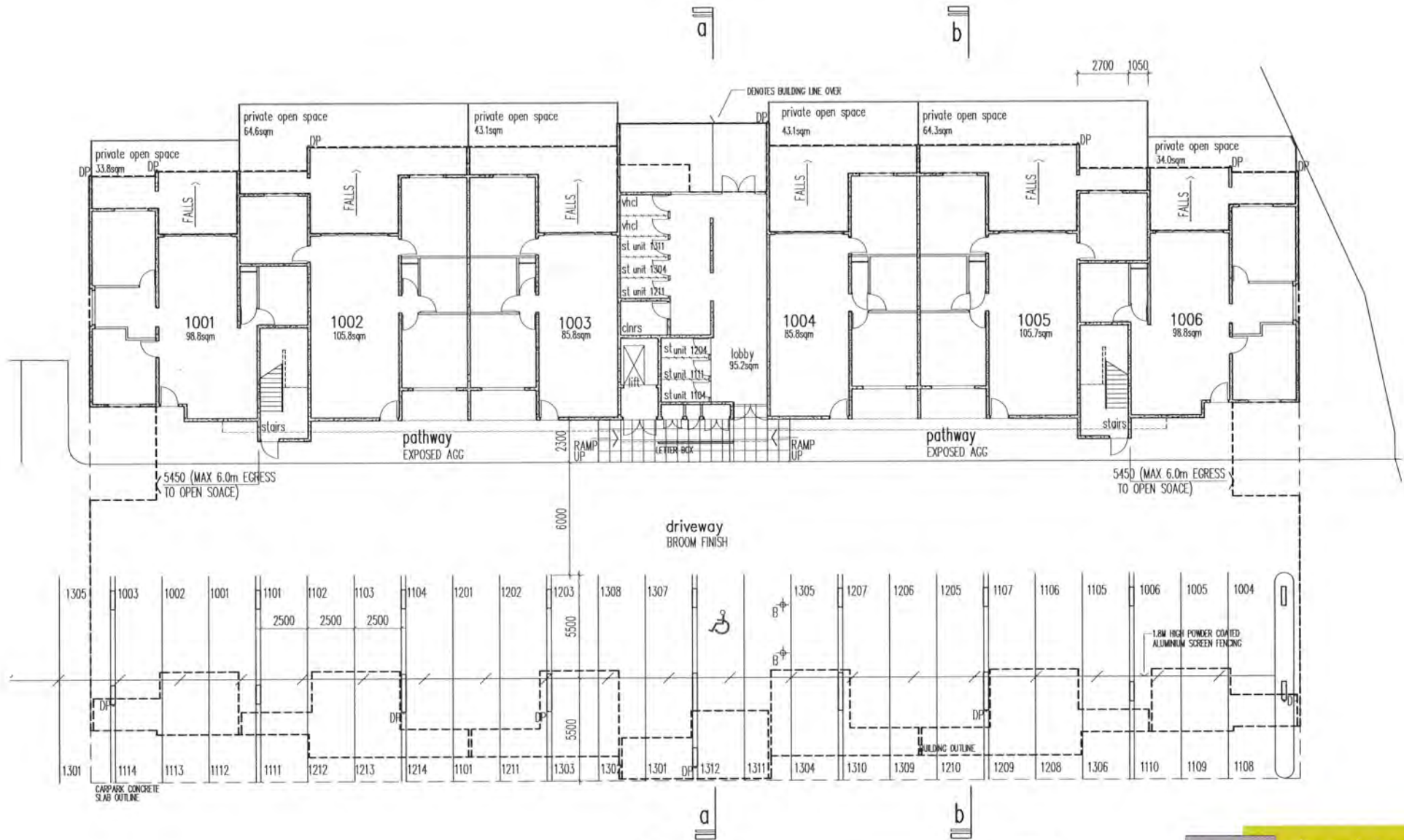
3rd Floor, 100-102, Victoria Street, Auckland
 09 300 9999 • 09 300 9999 • 09 300 9999

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTH CITY LTD

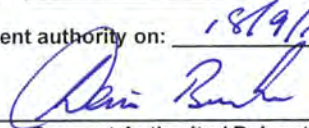
Date: 18/09/15
 Scale: 1:800
 13042-SKI 3



site plan
 SCALE 1 : 800



building 1 - floor plan
SCALE 1 : 200

Drawing No: 2013/0059/4A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate



Architect: raw designs northern territory
 1/105 BRIMS CRT • PH: 0892527023 • email: raw_designs@optusnet.com.au

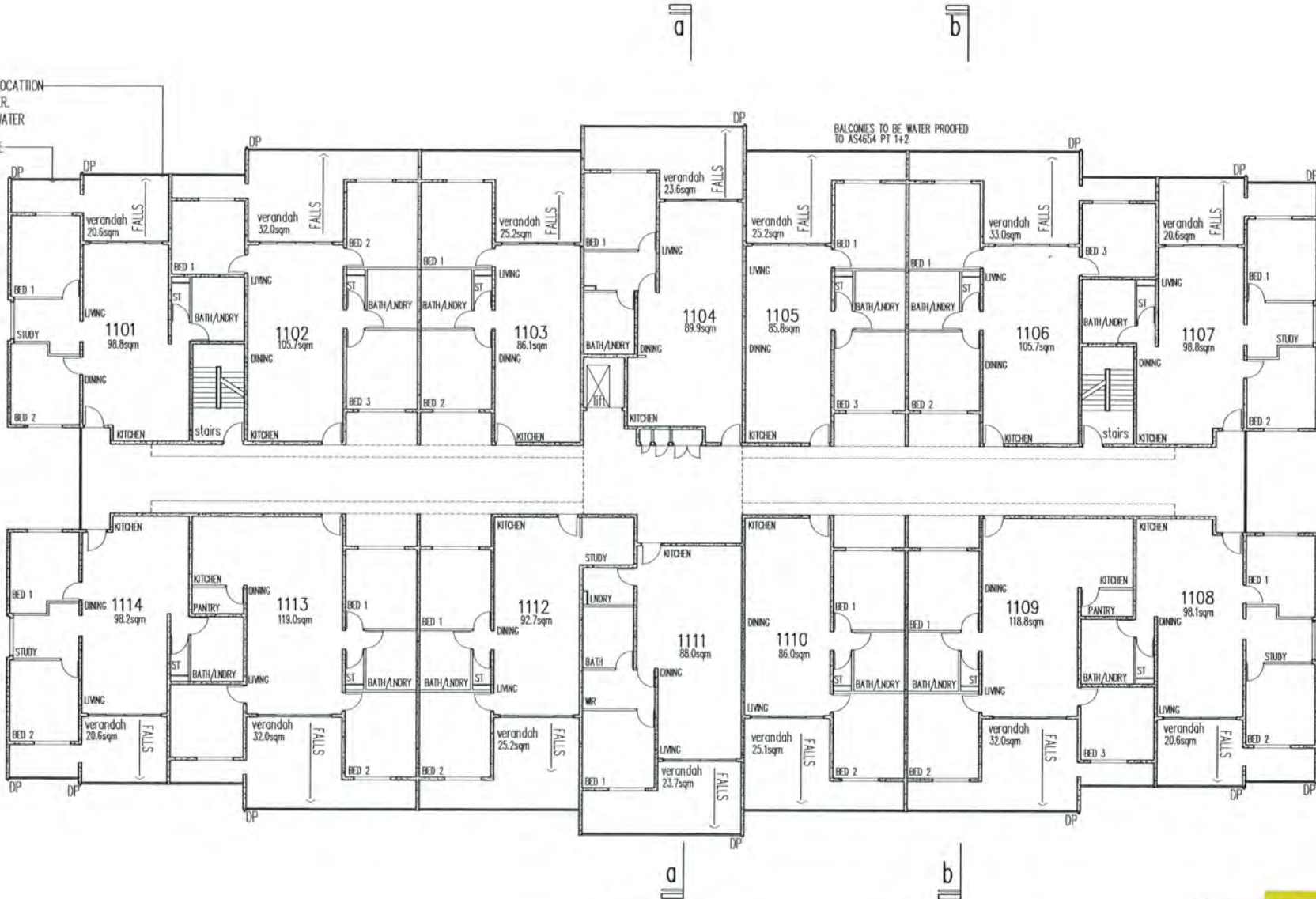
LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTH AUSTRALIA

Date: JUL 2015
 13042-SK101

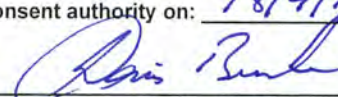
Builder to verify all dimensions on site prior to construction

FLOOR WASTE PIPE LOCATION
FOR VERANDAH WATER.
CONNECT TO STORMWATER

100mm CHANNEL TILE



building 1 - floor plan
SCALE 1 : 200

Drawing No: 2013/0059/5A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate

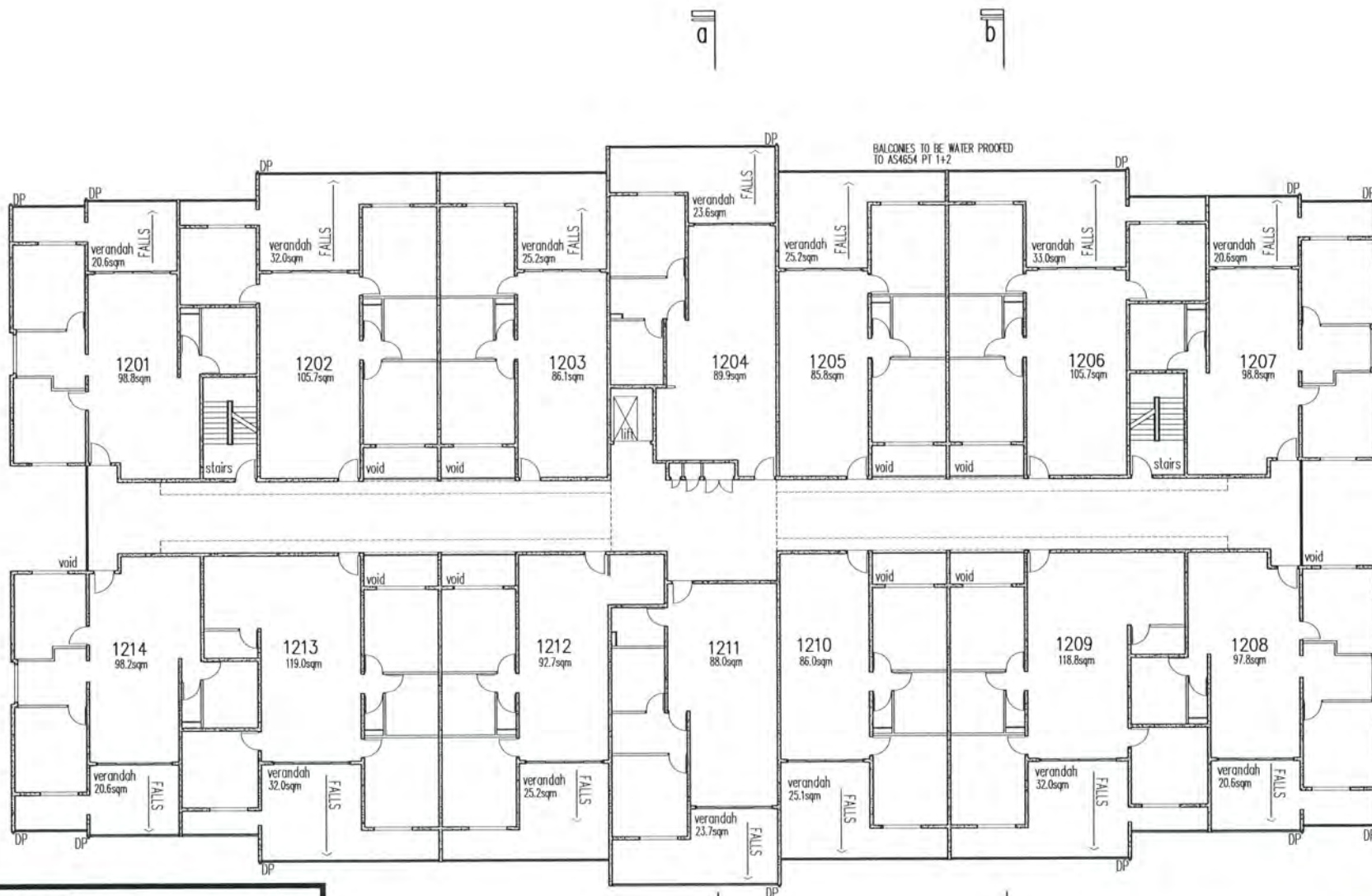


21 on level road corner of US901 • apt for 50591 abradex 0501
 lot 108 25448 07/1 • main 049527031 • email raw_designs@icloud.com

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORBULT PTY LTD

Date: 11/09/15 JPB/MS
 Scale: AS/NZS 1546:2011 13042-SK102

Builder: by sending all dimensions on site prior to construction



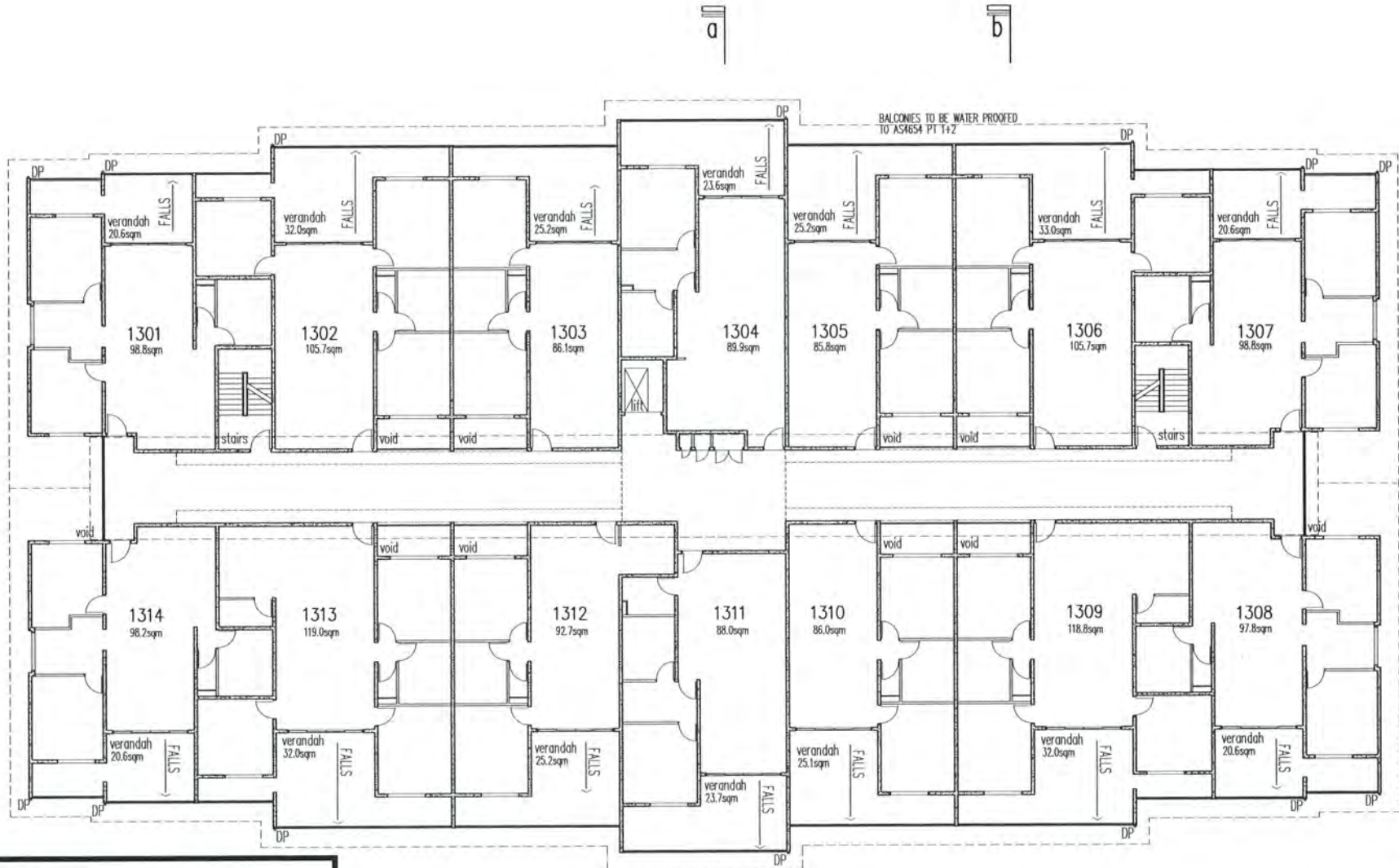
Drawing No: 2013/0059/6A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: *15/9/15*
[Signature]
 Consent Authority / Delegate

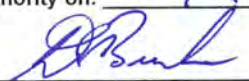
building 1 - floor plan level 2
 SCALE 1 : 200



21 Oxford Road Darwin, NT 0801 • phone 5271 • mobile 5271 • fax 5271 • email raw_designs@optusnet.com.au

LOT 10286 TARAKAN COURT JOHNSTON
 NORBULT PTY LTD
 Date: JUL 2014
 Scale: AS 1946M
 DP No: 13042-SK103
 Area:
 Builder to verify all dimensions on site prior to construction



Drawing No: 2013/0059/7A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate

building 1 - floor plan level 3
 SCALE 1 : 200



21 central road darwin, nt 0801 • phone 52059 darwin, nt 0801
 tel 08 8948 0771 • fax 08 89527003 • email raw_designs@nt.gov.au

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTHERN TERRITORY

Date: 18/09/15 13042-SK104
 Scale: 1:200

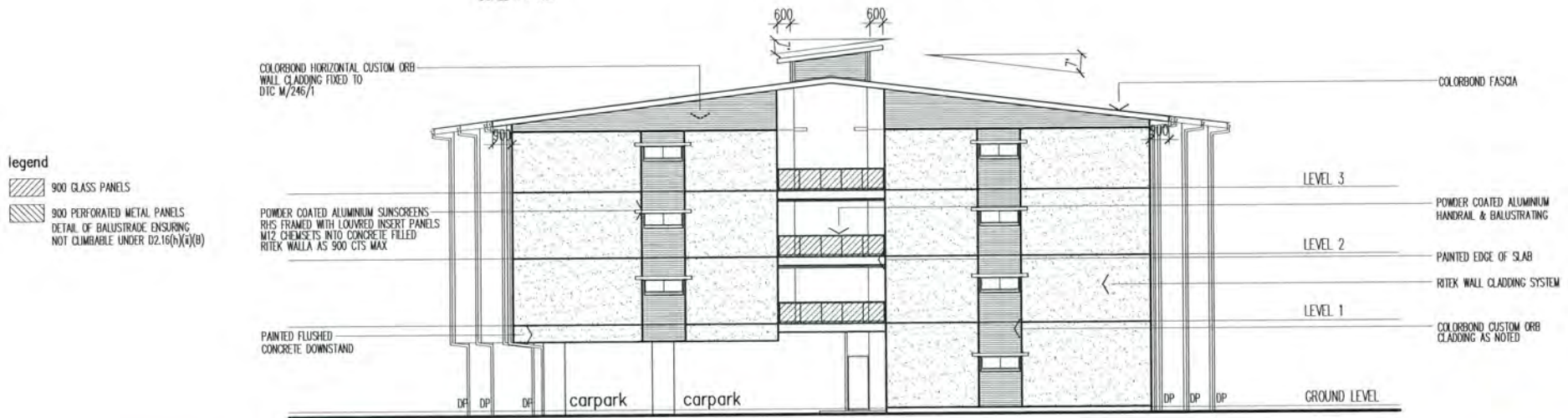
Builder to verify all dimensions on site prior to construction





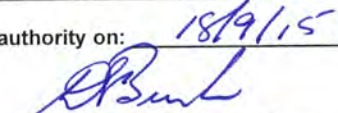
building 1 - elevation 1

SCALE 1 : 200



building 1 - elevation 2

SCALE 1 : 200

Drawing No: 2013/0059/8A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate



1 London road, Darwin, NT 0808 • phone 5979 • mobile 08 73
 tel 08 8948 0771 • fax 049827003 • email info@fawdesigns.com

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTH TERRITORY

Date: 04/2015 Job No: 13042-SK105
 Scale: AS SHOWN

Builder to verify all dimensions on site prior to construction

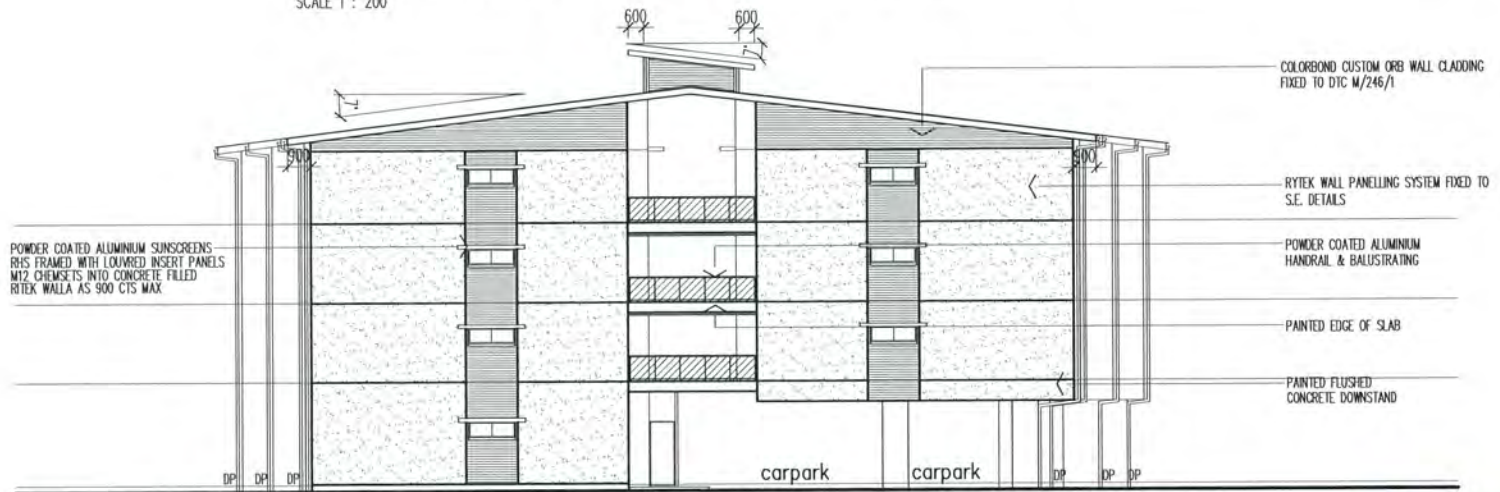




building 1 - elevation 3

SCALE 1 : 200

- legend**
- 900 GLASS PANELS
 - 900 PERFORATED METAL PANELS
DETAIL OF BALUSTRADE ENSURING NOT CLIMBABLE UNDER D2.16(h)(i)(B)



building 1 - elevation 4

SCALE 1 : 200

Drawing No: 2013/0059/9A referred to in

Permit No: DP13/0464A issued by

the consent authority on: 18/9/15

Consent Authority / Delegate



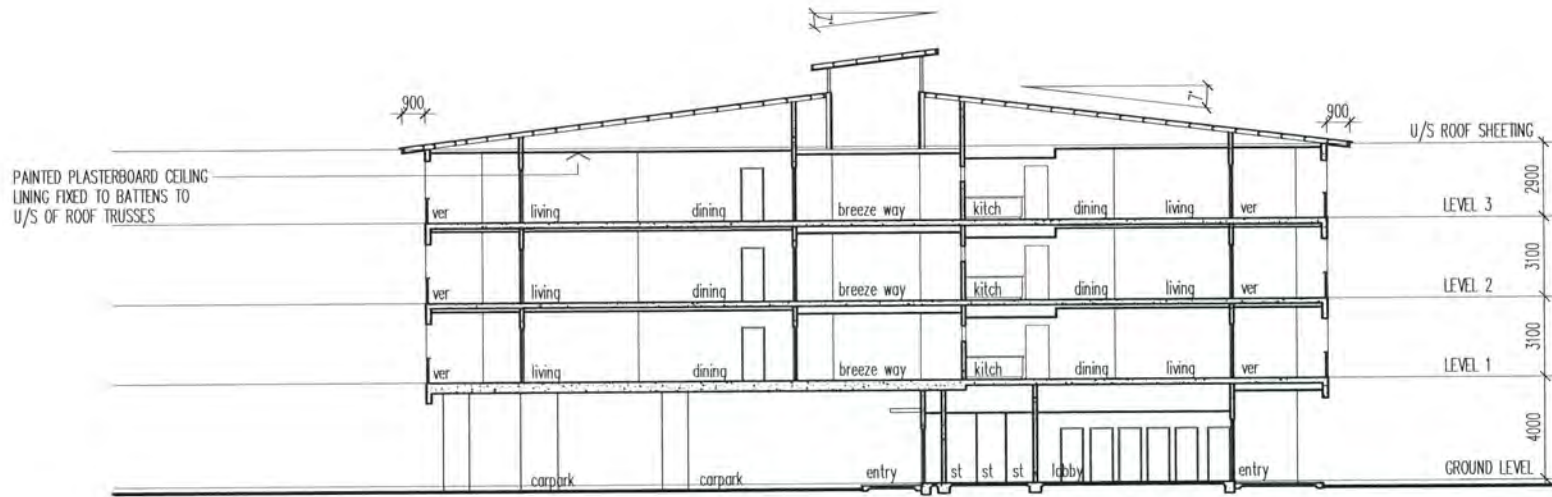
21 Lockwood Road, Darwin, NT 0801 • phone: (089) 426644 • mobile: (089) 426644
 111 Old Darwin Road, Darwin, NT 0801 • mobile: (089) 426644 • email: info@pawdesigns.com.au

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTHERN TERRITORY

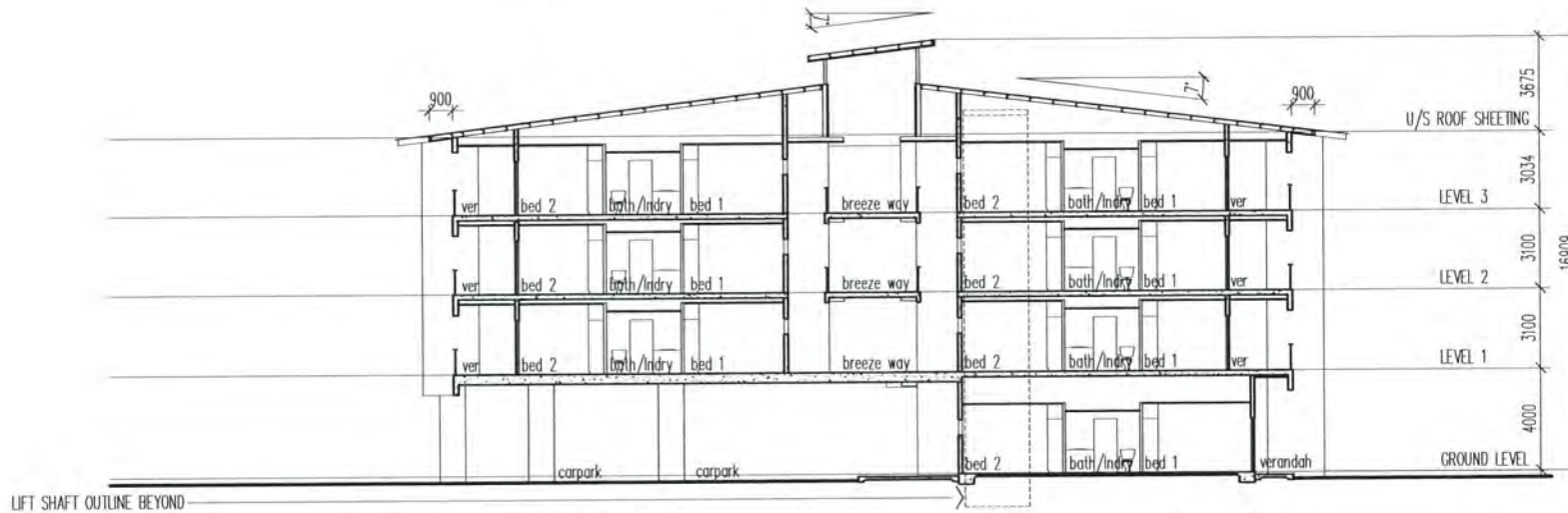
Site: 14/2/15 Date: 13/04/15
 Scale: AS SHOWN 13042-SK106

Builder to verify all dimensions on-site prior to construction

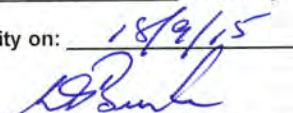




building 1 - section a-a
SCALE 1 : 200



building 1 - section b-b
SCALE 1 : 200

Drawing No: 2013/0059/10A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate



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LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTHERN TERRITORY

Date: Jul 2015 Job No: 13042-SK107 Area:
 Scale: AS PER PLAN



Builder to verify all dimensions on site prior to construction.

Bookmark C

Drawing No: 13042-SK201 referred to in

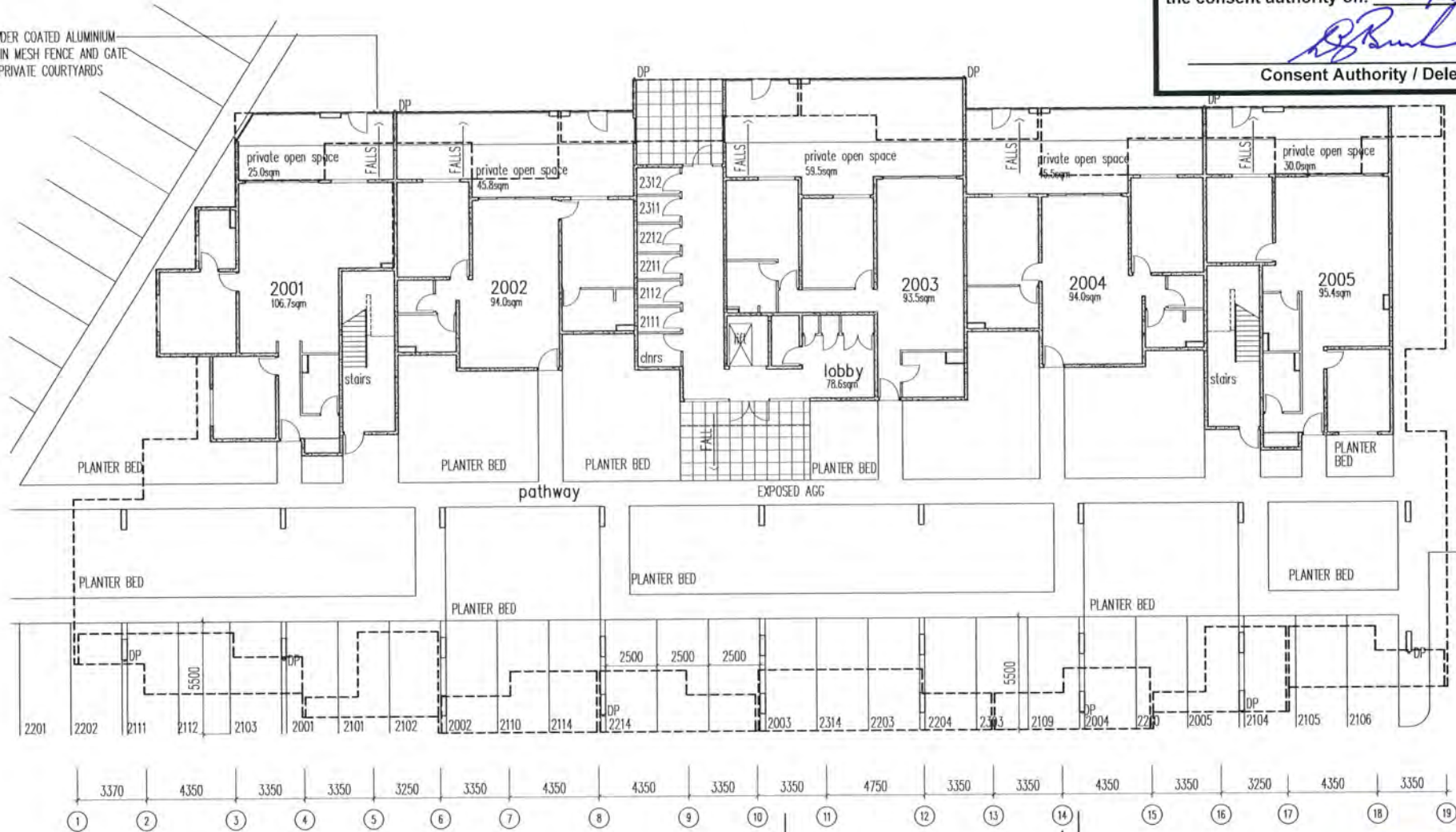
Permit No: DP13/0464A issued by

the consent authority on: 18/9/15

[Signature]

Consent Authority / Delegate

POWDER COATED ALUMINIUM
CHAIN MESH FENCE AND GATE
TO PRIVATE COURTYARDS



building 2 - floor plan ground level
SCALE 1 : 200



2104 and 2105 in OBC
2106 and 2107 in OBC
2108 and 2109 in OBC
2110 and 2111 in OBC

LOT 10286 TARAKAN COURT
JOHNSTON
NORBUILT PTY LTD

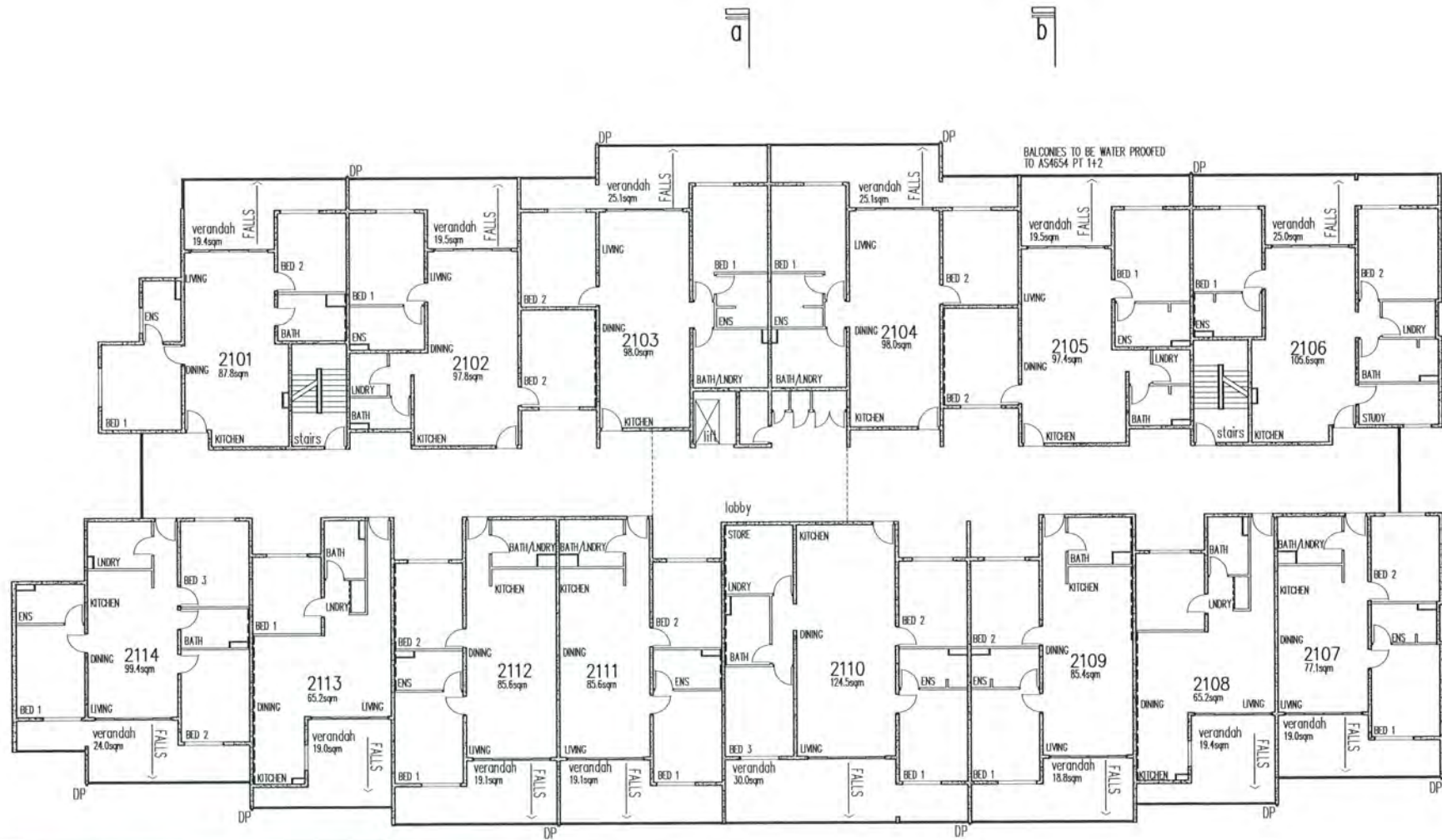
Title: 13042-SK201 DP No: 13042-SK201

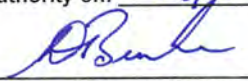
Scale: 1:200

Author: [Name]



Refer to verify all dimensions on site prior to construction.



Drawing No: 2013/0059/12A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate

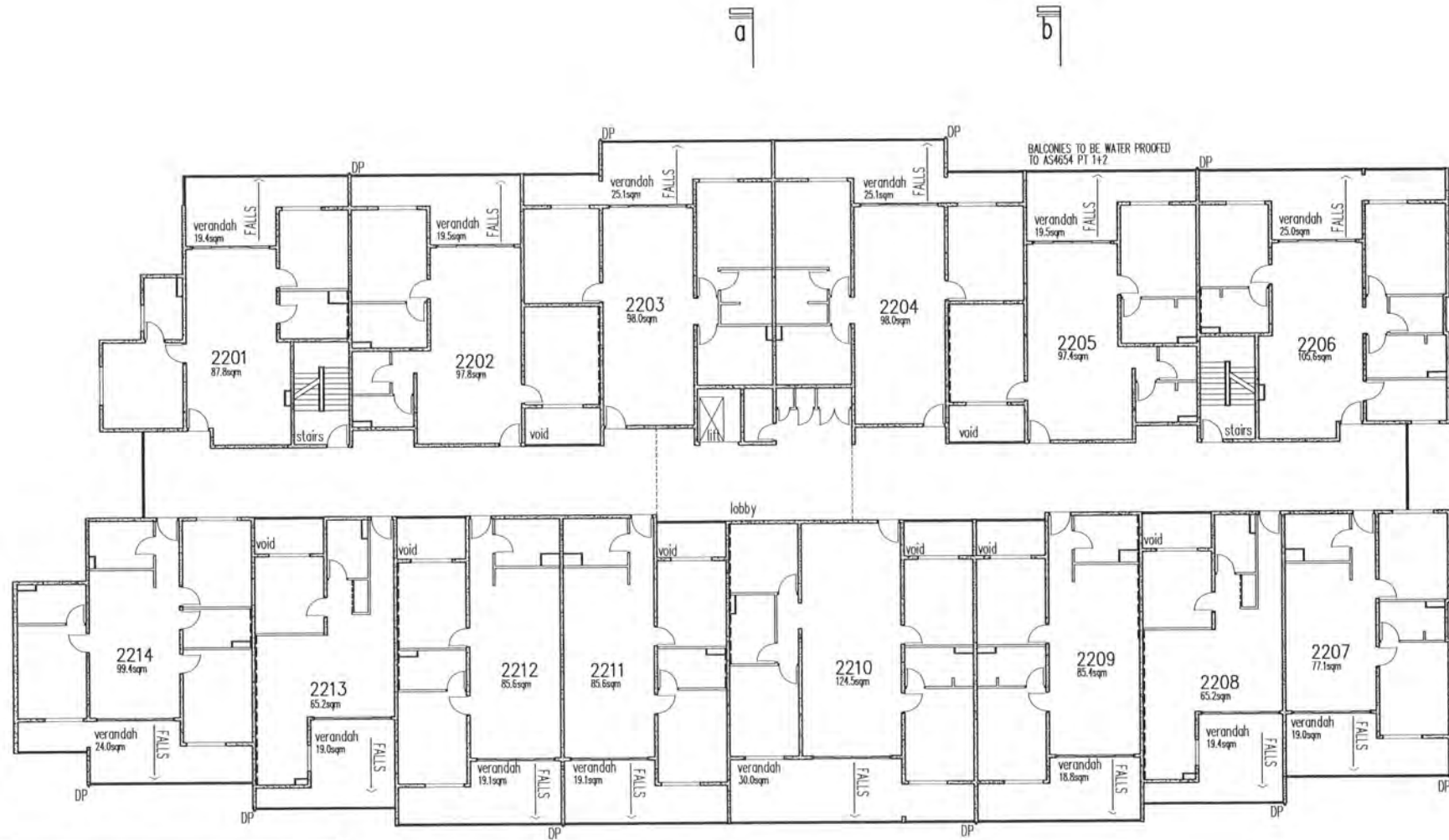
building 2 - floor plan level 1
 SCALE 1 : 200



2 London Road, Darwin, NT, 0801 • ph (61) 8979 4444 • fax (61) 8979 4444
 tel 08 8948 0771 • mob 0498271033 • email raw_designs@optusnet.com.au



LOT 10286 TARAKAN COURT JOHNSTON
 NORBUILT PTY LTD
 Date: 11/2010 Job No: 13042-SK202
 Scale: As Shown
 Builder to verify all dimensions on site prior to construction



Drawing No: 2013/0059/13A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate

building 2 - floor plan level 2
 SCALE 1 : 200

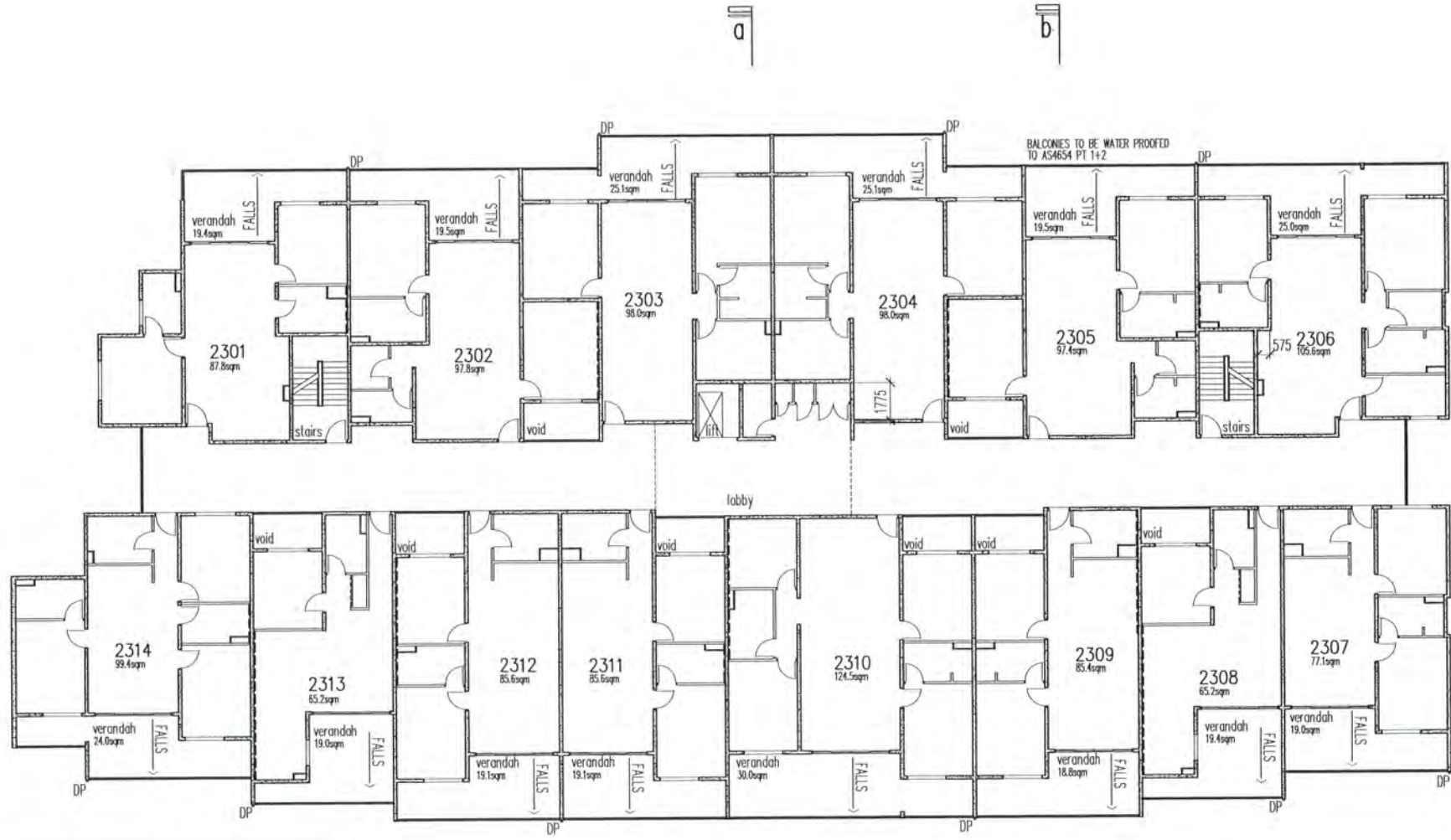


2nd floor plan level 2, DDC1 • 1st floor 2013/0059/13A, DDC1
 tel: 08 8948 0771 • fax: 08 89527023 • email: raw_designs@northern.nt.gov.au

LOT 10286 TARAKAN COURT JOHNSTON
 NORTH TERRITORIES
 Date: 18/09/2015 Job No: 13042-SK203
 Scale: 1:200
 Author: [Signature] Designer: [Signature]



Subject to verification of all dimensions on site prior to construction



Drawing No: 2013/0059/14A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/09/15

 Consent Authority / Delegate

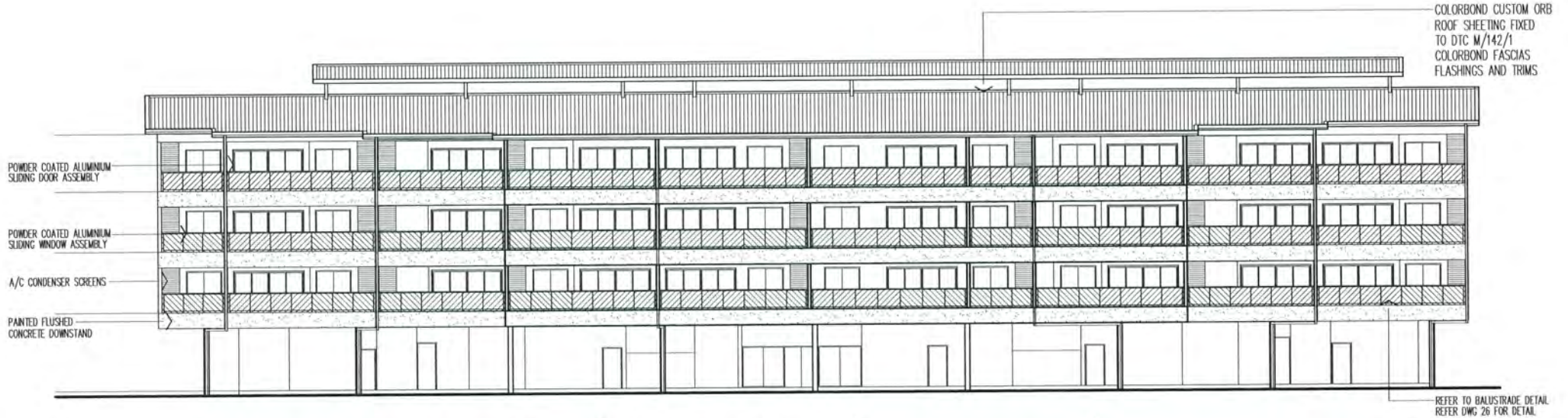
building 2 - floor plan level 3
 SCALE 1 : 200



21 Orchard Road, Suite 401, ORCA • phone (64) 5095 4444 • fax (64) 5095 4444
 14/08/2013 07:11 • email: raw_designs@rawdesigns.com

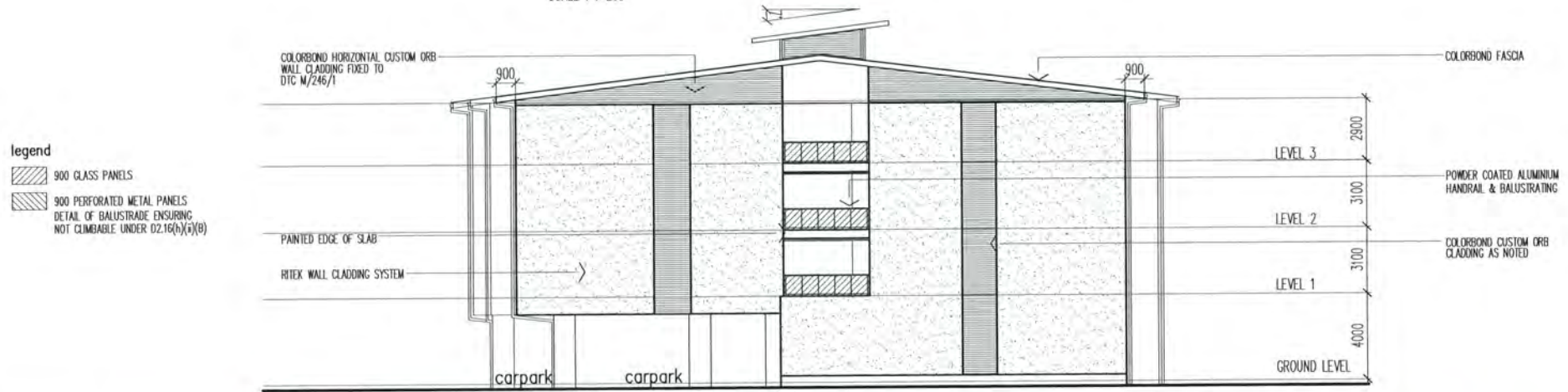


LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTHBERT PTY LTD
 Date: 18/09/15 Job No: 13042-SK204
 Scale: 1:200 Arch: _____
 (builder to verify all dimensions on site prior to construction)



building 2-elevation 1

SCALE 1 : 200



building 2-elevation 2

SCALE 1 : 200

Drawing No: 2013/0059/15A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate



24 Industrial Road, Darwin, NT 0801 • apt: 08 5090 4000 • fax: 08 5090 4001
 481 OS Bldg, 0/1 • mob: 089527021 • email: raw_designs@apn.com.au

LOT 10286 TARAKAN COURT JOHNSTON
 NORBUILT PTY LTD
 Date: JUL 2010 105-ha Area:
 Code: AS 91000 13042-SK205 Perml:

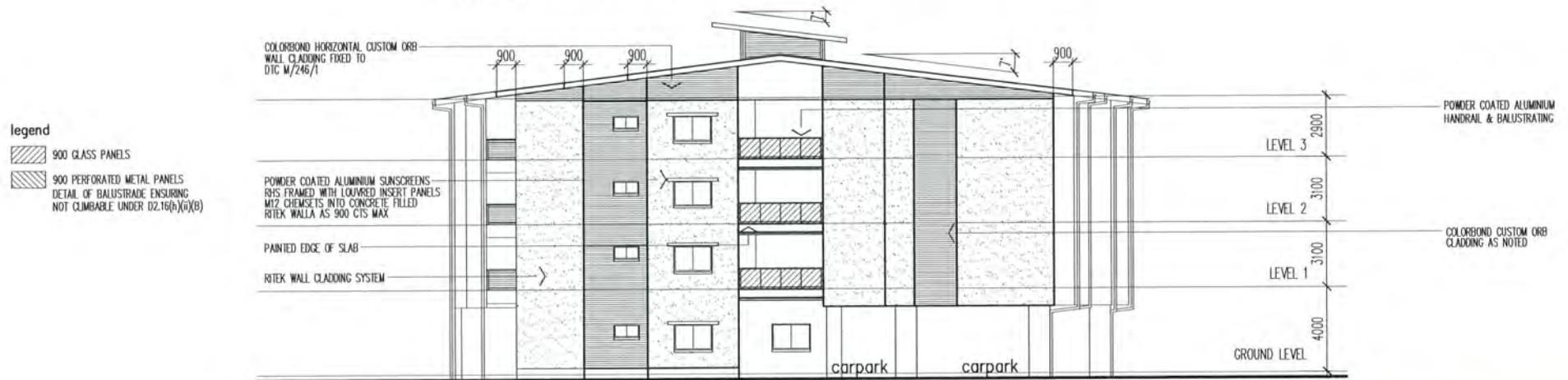


Builder to verify all dimensions on site prior to construction



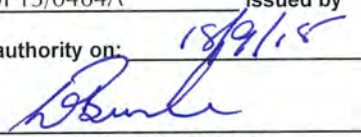
building 2-elevation 3

SCALE 1 : 200



building 2-elevation 4

SCALE 1 : 200

Drawing No: 2013/0059/16A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/09/15

 Consent Authority / Delegate



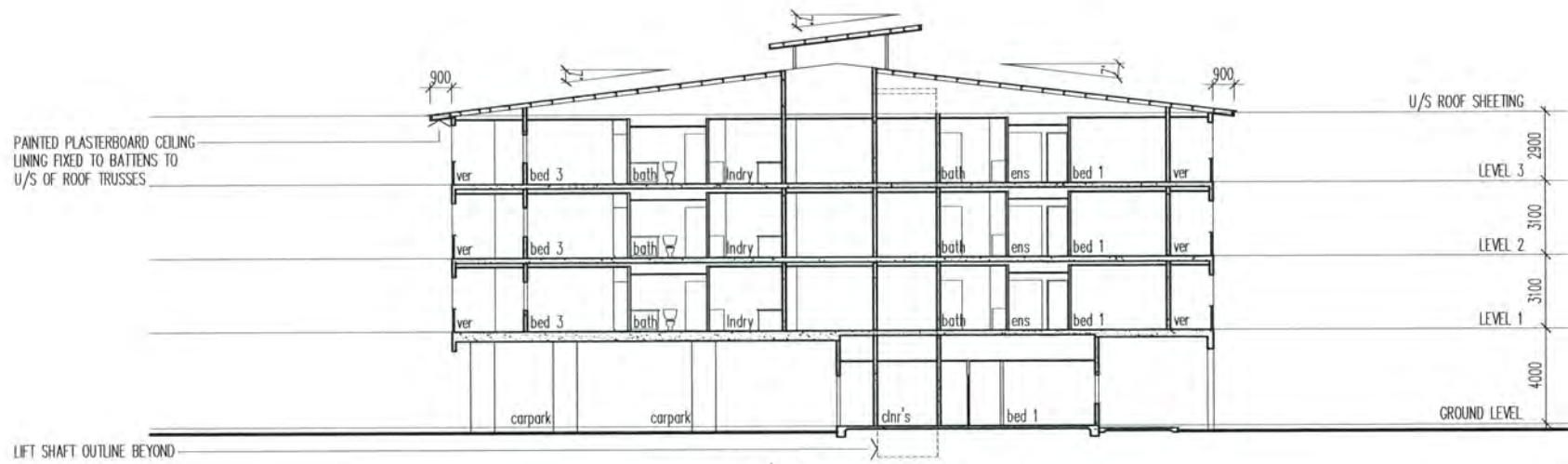
21 York Road, Darwin, NT 0801 • phone 08 9488 0771 • fax 08 9488 0772 • email raw_designs@nt.gov.au

LOT 10286 TARAKAN COURT JOHNSTON NORTH TERRITORY

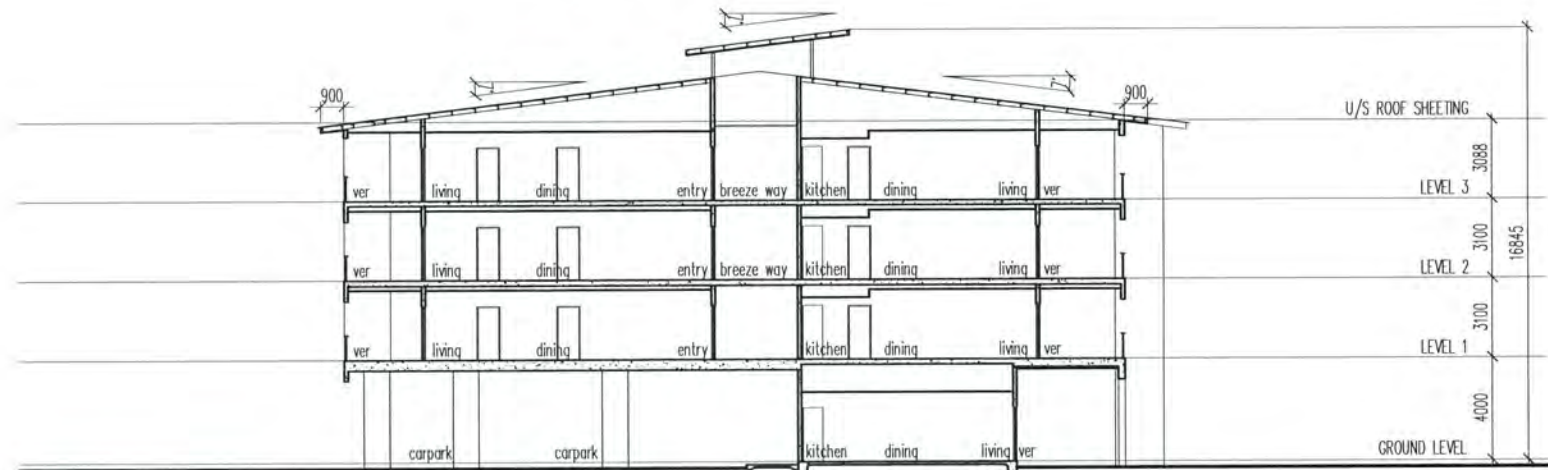
Date: 04/2015 03/15
 Scale: AS 9000 13042-SK206



Builder to verify all dimensions on site prior to construction



section a-a
SCALE 1 : 200



section b-b
SCALE 1 : 200

Drawing No: 2013/0059/17A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate

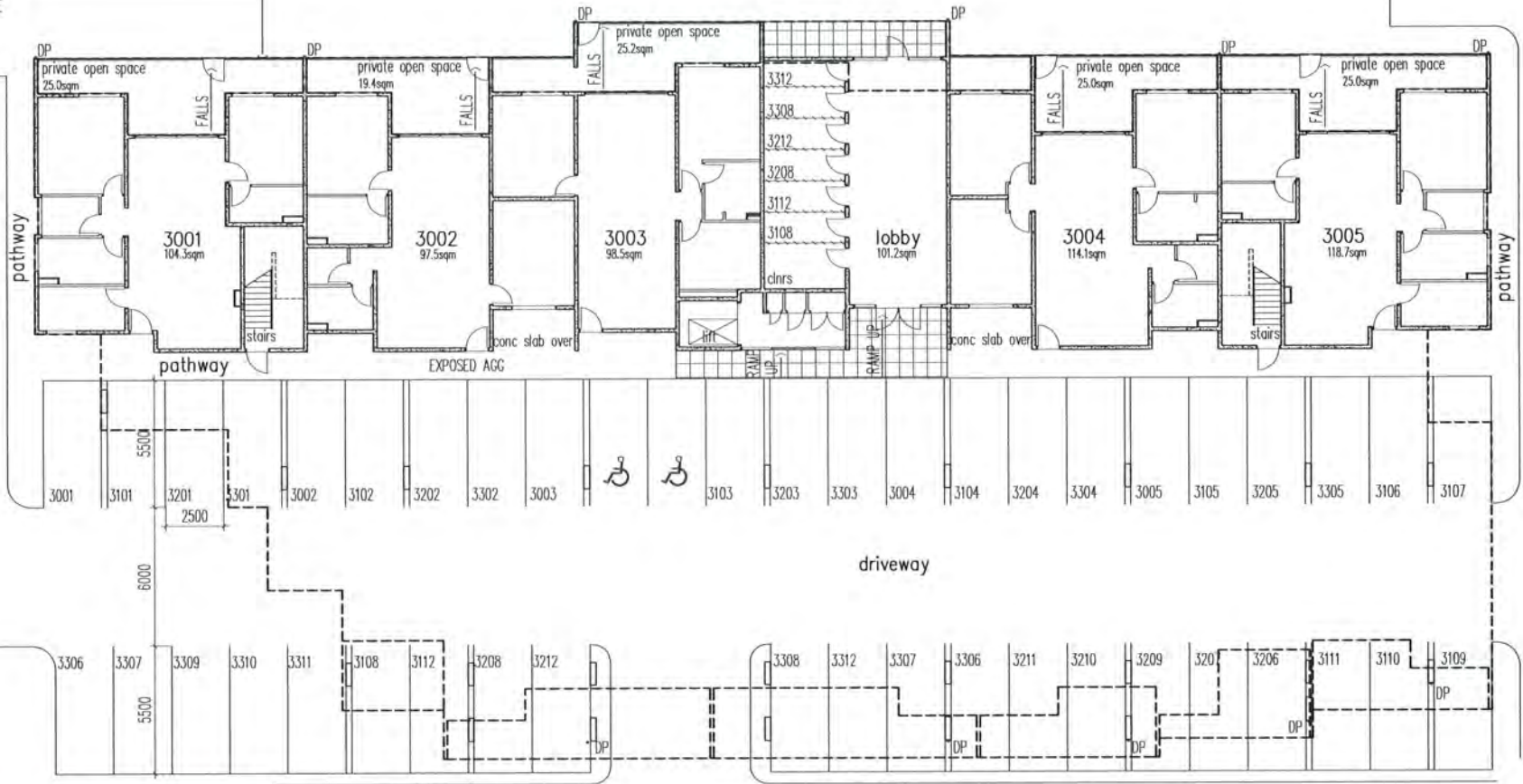


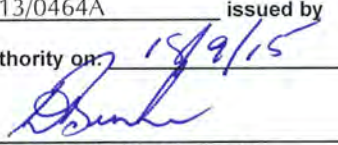
17 Ardara Road Darwin, NT 0801 • phone 5250 4444 • fax 08 8948 0771 • mob 0499527021 • email raw@rawdesigns.com.au



LOT 10286 TARAKAN COURT JOHNSTON
 NORBUILT PTY LTD
 Date: 14/2/15 4:05 PM
 Job: 13042-SK207
 builder to verify all dimensions on site prior to construction

POWDER COATED ALUMINIUM
CHAIN MESH FENCE AND GATE
TO PRIVATE COURTYARDS



Drawing No: 2013/0059/18A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate

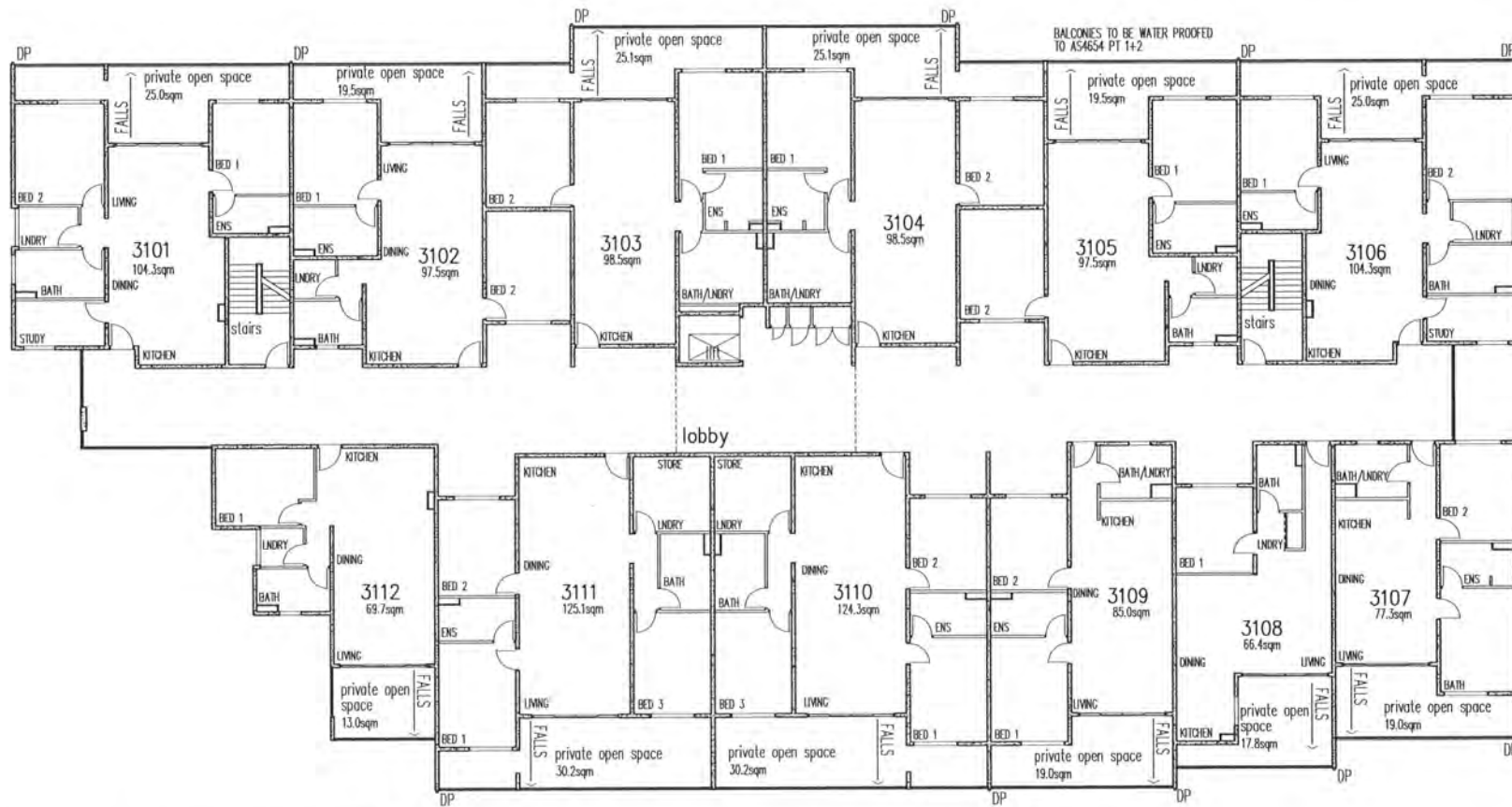
building 3 - floor plan ground level
 SCALE 1 : 200

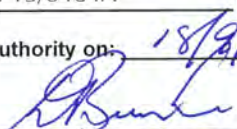


2 Orchard Road, Level 4, DRCB • phone: 5250 4444 • fax: 5250 4444
 41 Old Orchard Road, Level 4, DRCB • phone: 5250 4444 • fax: 5250 4444



LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTH EPTV LTD
 Date: 14.09.15 Job No: 13042-SK301
 Scale: AS SHOWN
 Author: [Name]



Drawing No: 2013/0059/19A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate

building 3 - floor plan level 1
 SCALE 1 : 200



2 Auckland Street, Mt. Roskill • phone 5250 4000 • 09 634 8948 • fax 09 634 8949 • email raw_designs@xtra.co.nz



LOT 10286 TARAKAN COURT JOHNSTON
 NORBUILT PTY LTD
 13042-SK302



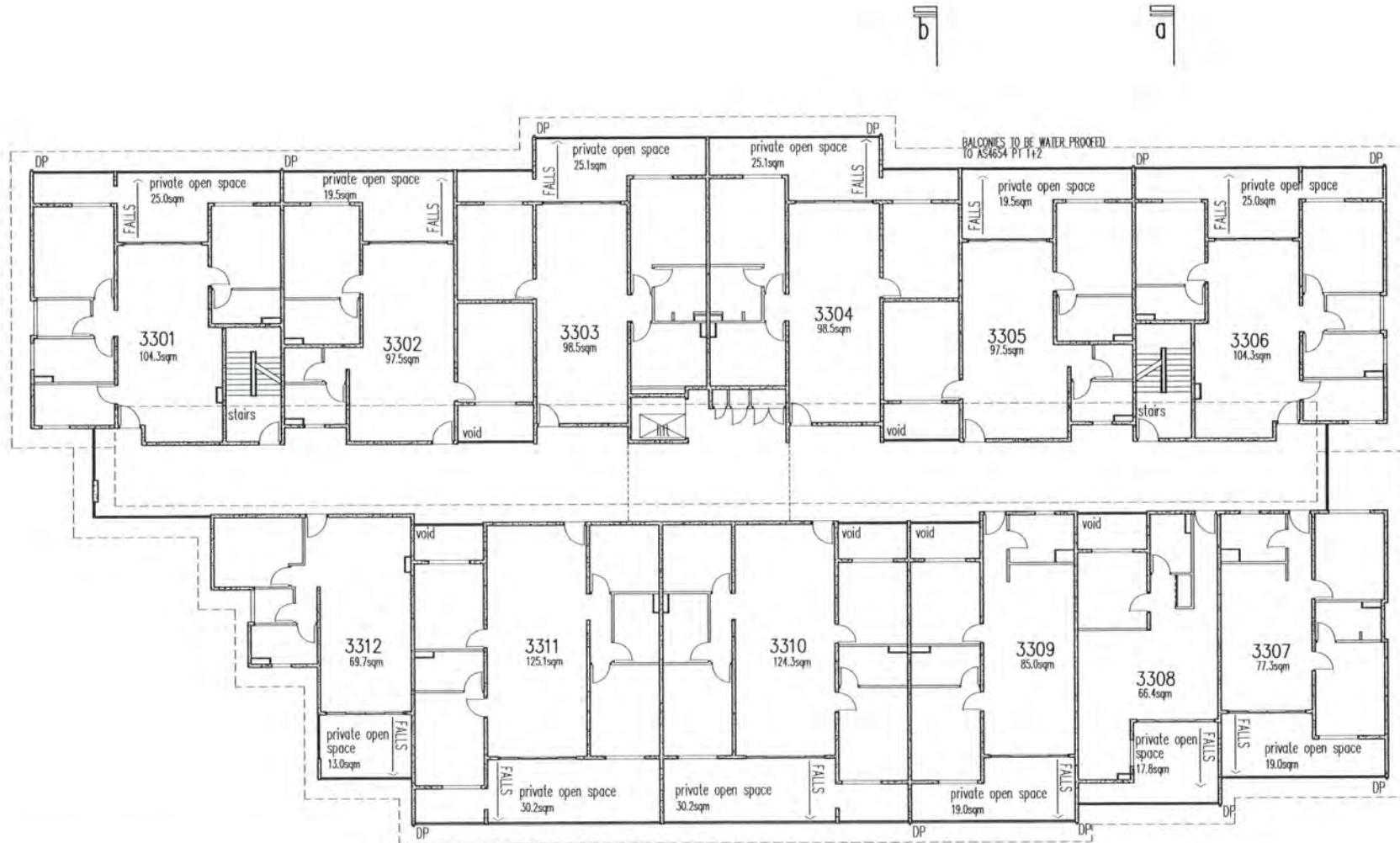
Drawing No: 2013/0059/20A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15
 Consent Authority / Delegate

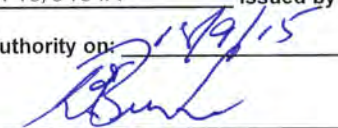
building 3 - floor plan level 2
 SCALE 1 : 200



17 Orchard Road Darwin NT 0801 • phone 08 9299 0000 • fax 08 9299 0001
 141 Old SP48 CV/1 • mobile 08 9297 0021 • email raw_designs@rawdesigns.com

LOT 10286 TARAKAN COURT JOHNSTON
 NORBUILT PTY LTD
 Date: 14/04/15
 Scale: AS SHOWN
 13042-SK303



Drawing No: 2013/0059/21A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 15/09/15

 Consent Authority / Delegate

building 3 - floor plan level 3
 SCALE 1 : 200



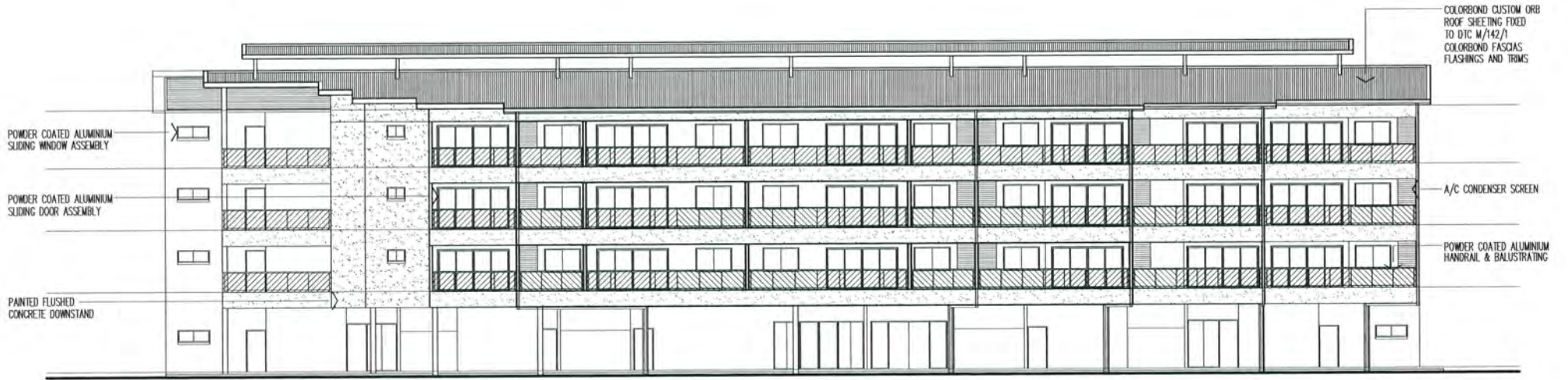
21 unbranded road blocks at DARWIN • 20 for the 2015-2016 season at DARWIN
 lot 100 2948 07/1 • ref: 048952/021 • email: raw_designs@nt.gov.au

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTHERN TERRITORY

Date: 04/2015
 Scale: 1:200
 22/11/15
 13042-SK304

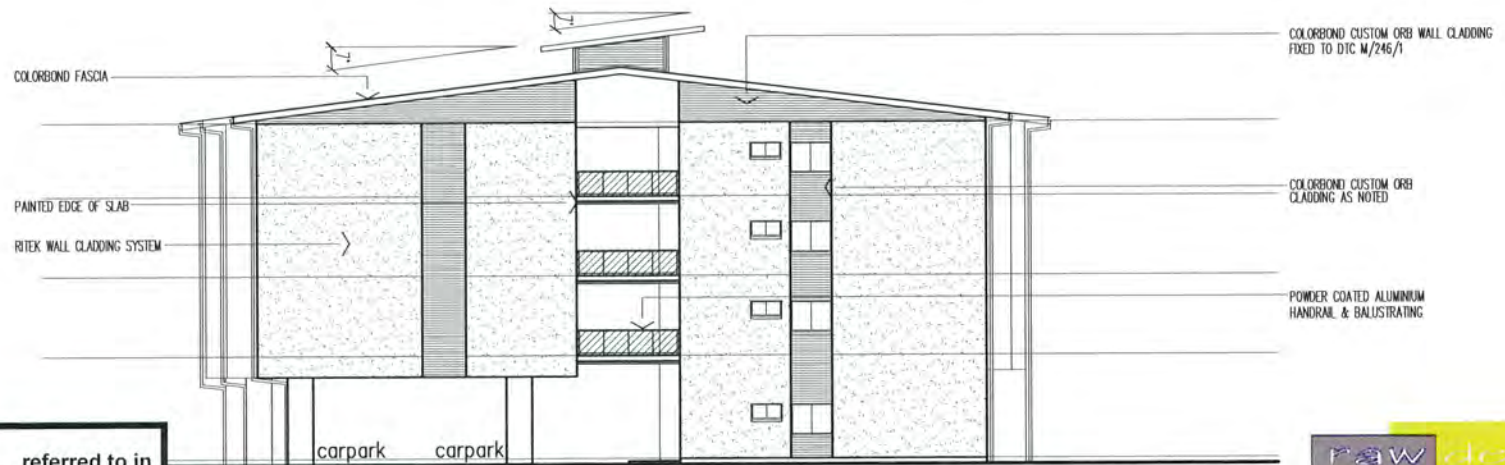


Builder to verify all dimensions of site prior to construction.



building 3 - elevation 1

SCALE 1 : 200



building 3 - elevation 2

SCALE 1 : 200

Drawing No: 2013/0059/22A referred to in

Permit No: DP13/0464A issued by

the consent authority on:

Consent Authority / Delegate



21 Leichhardt Road, Darwin, NT 0801 • telephone 50799 • fax 50799
 lot 03 8943 07/1 • epc 049257021 • email raw_consulting@optusnet

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTHERN TERRITORY

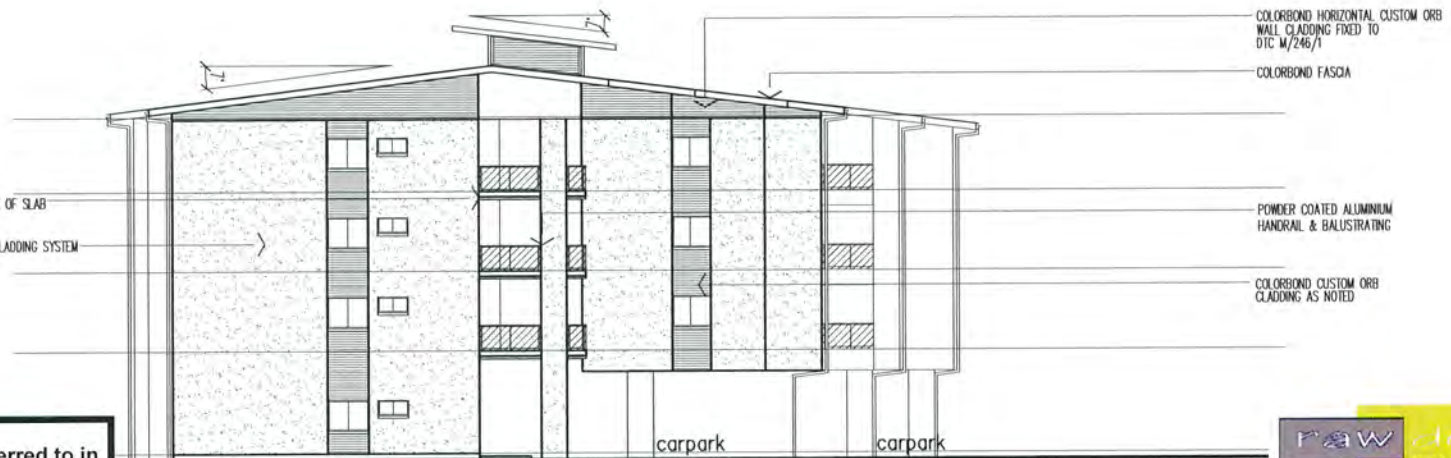
Date: 14.12.15 Job No: 13042-SK305
 Scale: AS SHOWN

builder to verify all dimensions on-site prior to construction

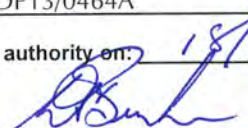




building 3 - elevation 3
SCALE 1 : 200



building 3 - elevation 4
SCALE 1 : 200

Drawing No: 2013/0059/23A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate



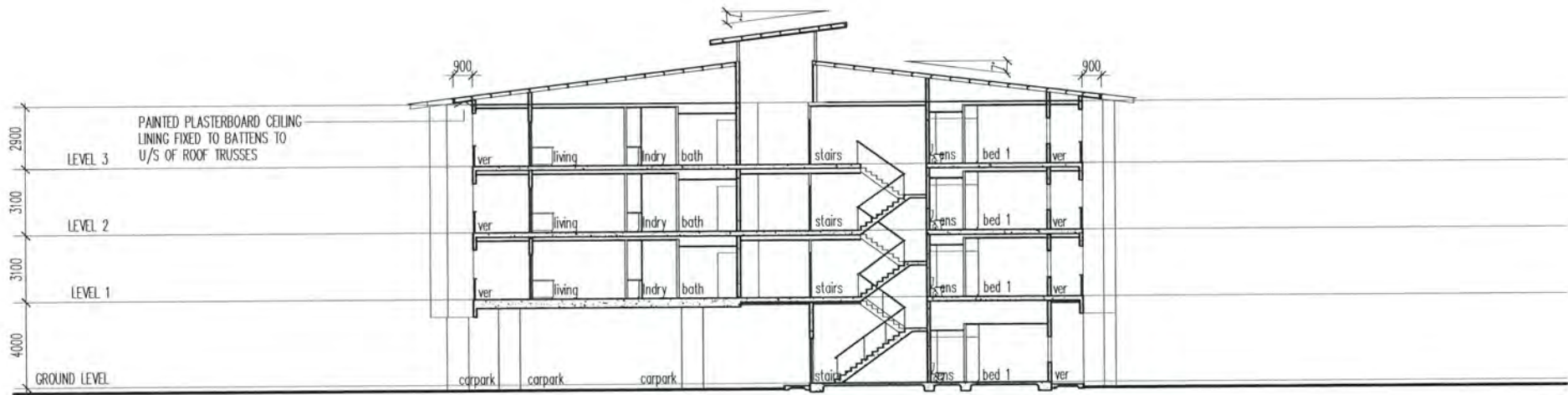
A standard road drawing at 0/50/1 • applies 50% strain at 0/25/1
 tel: 08 8948 0771 • fax: 089827003 • email: paul_jimenez@pawdesign.com

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORBUILT PTY LTD

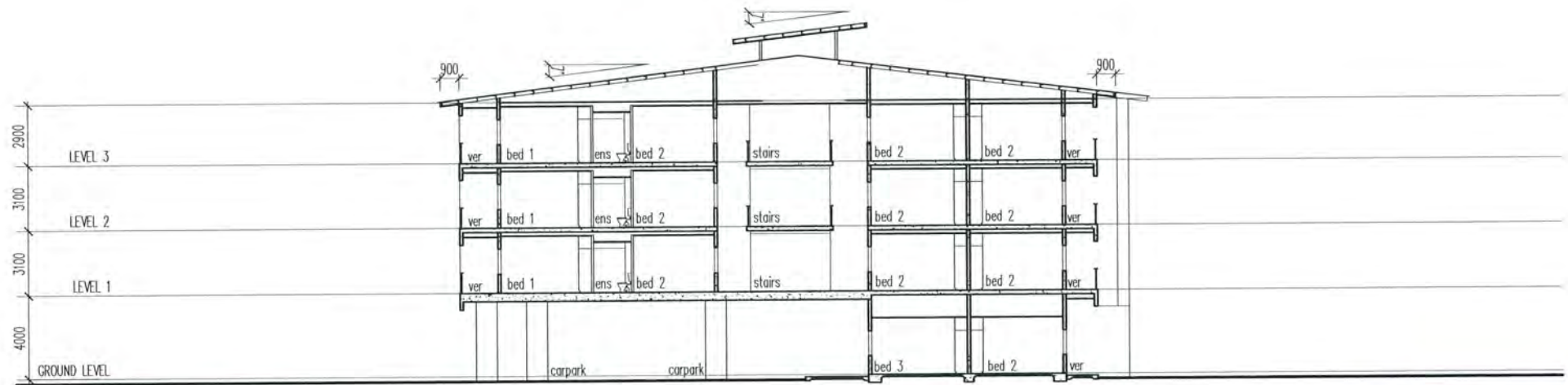
Date: 31/08/2015 10/1/15
 Scale: AS SHOWN 13042-SK306

Builder to verify all dimensions on site prior to construction

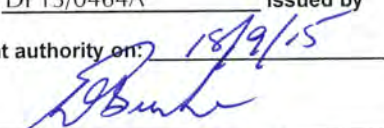




section a-a
SCALE 1 : 200



section b-b
SCALE 1 : 200

Drawing No: 2013/0059/24A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate



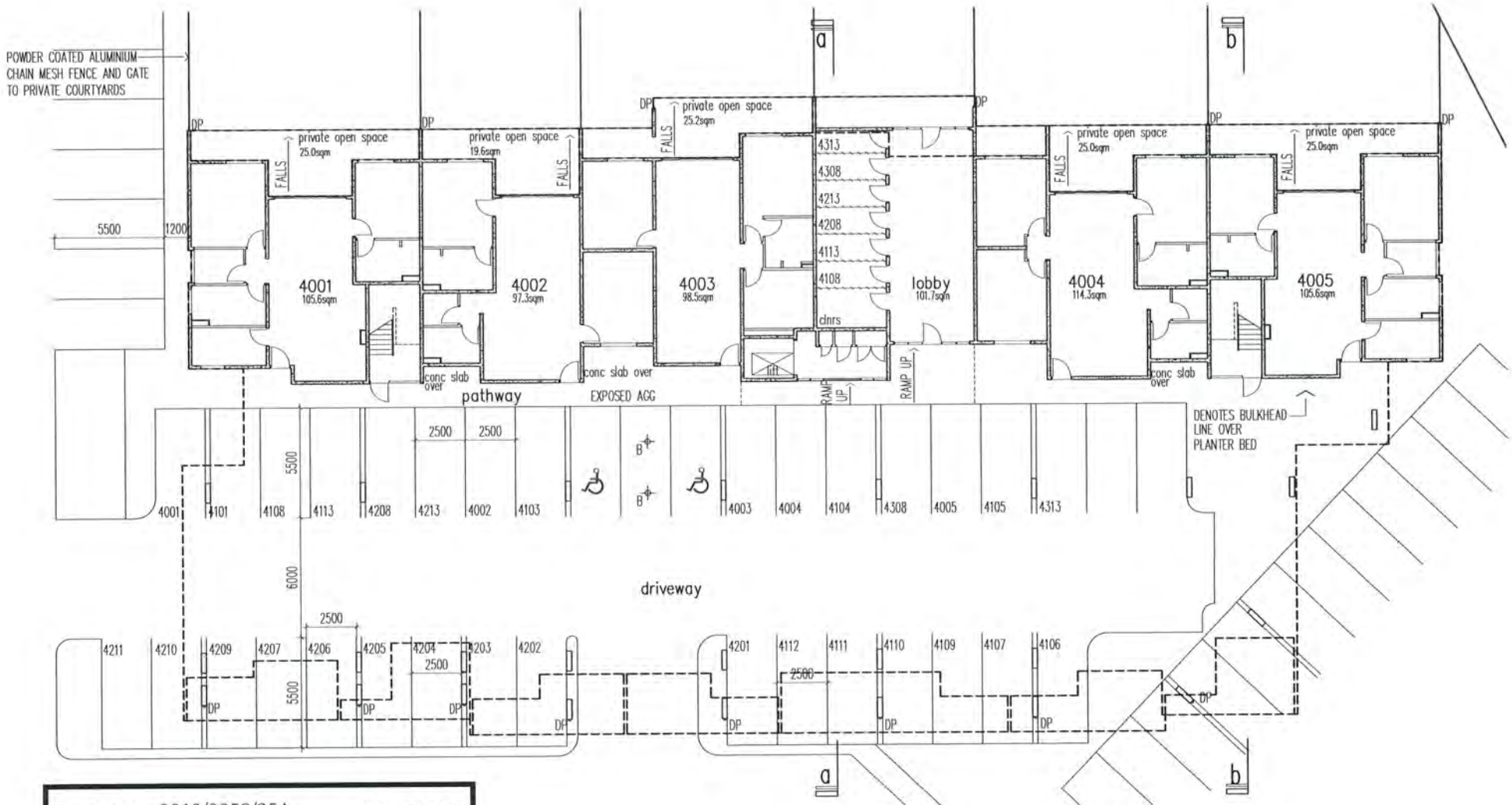
27 pedana road darwin, nt 0801 • phone 5090 darwin, nt 0801
 tel 08 8948 0771 • fax 08 8948 2702 • email paul@pawdesigns.com

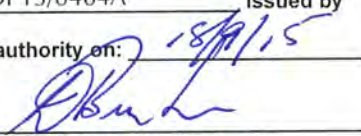
LOT 10286 TARAKAN COURT
 JOHNSTON
 NORBULT PTY LTD

Date: 31.2014 JCP No: 13042-SK307
 Scale: 1:200

Builder to verify all dimensions on site prior to construction





Drawing No: 2013/0059/25A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/1/15

 Consent Authority / Delegate

building 4 - floor plan ground level

SCALE 1 : 200



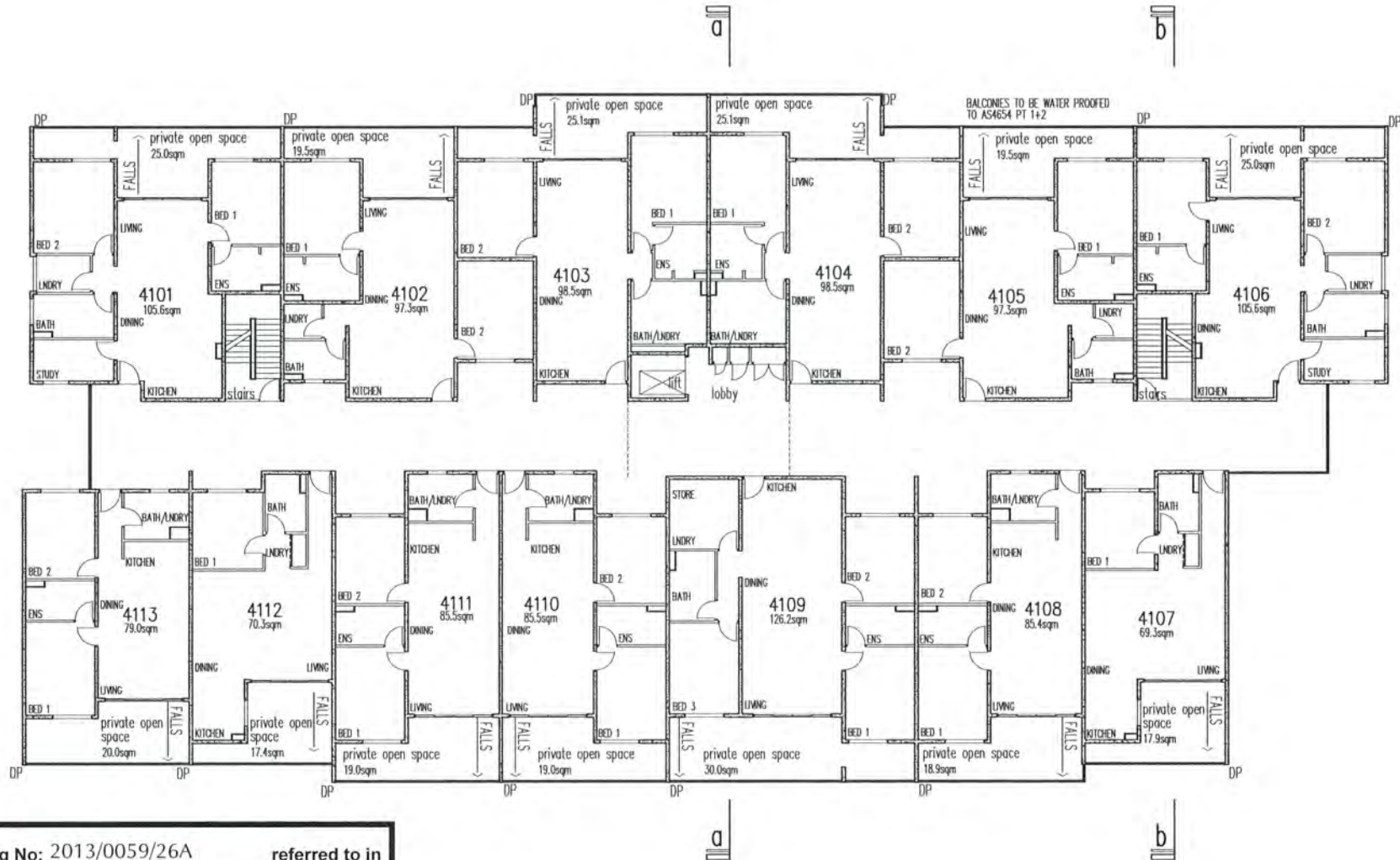
21 industrial road, north beach QLD 4170 • phone: (07) 5591 2000 • fax: (07) 5591 2001 • email: raw_designs@optusnet.com.au

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORBUILT PTY LTD

Date: 14/01/15 EP No: 13042-SK401
 Scale: AS SHOWN

Subject to verify all dimensions on site prior to construction





Drawing No: 2013/0059/26A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: *18/9/13*
[Signature]
 Consent Authority / Delegate

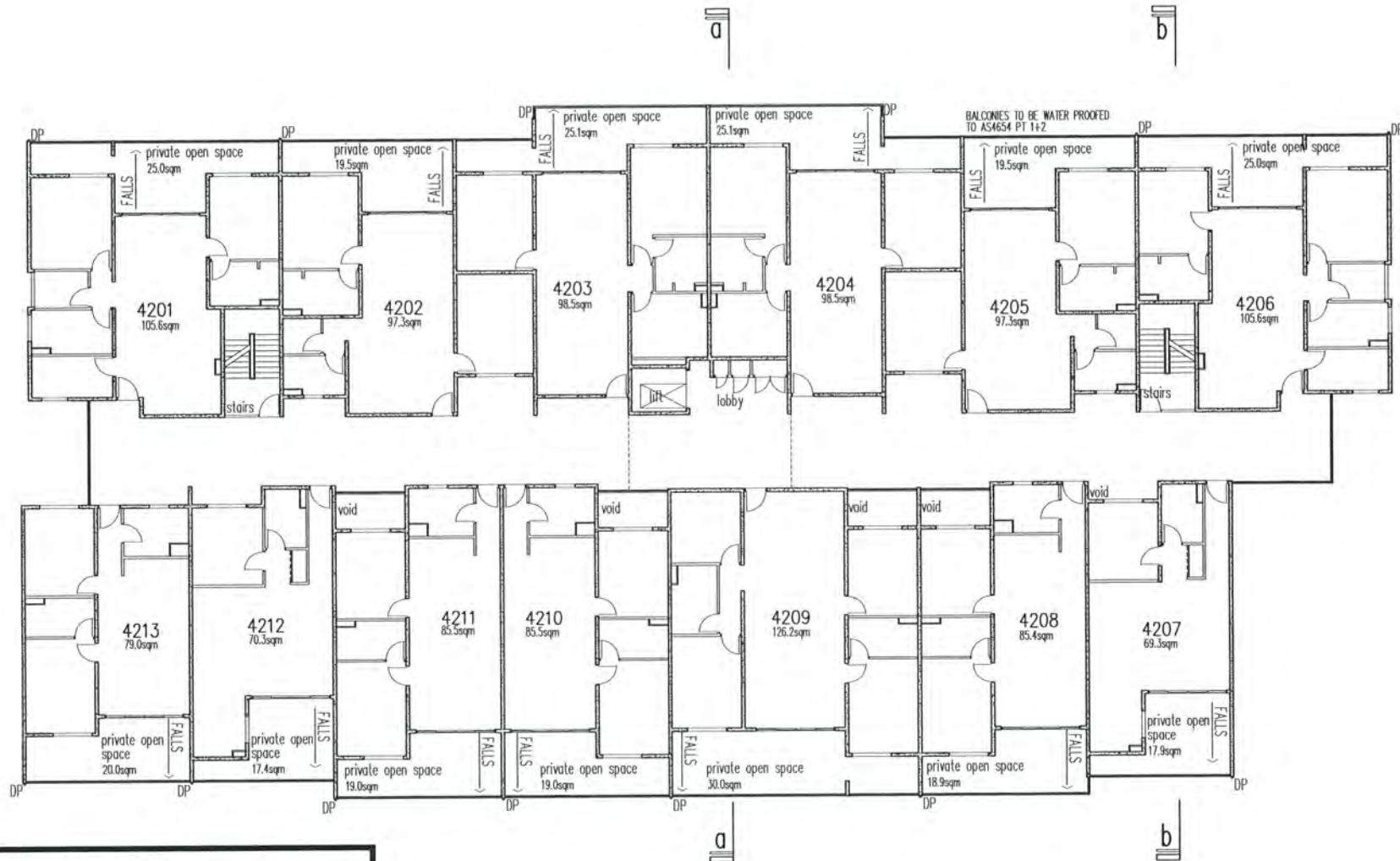
building 4 - floor plan level 1
 SCALE 1 : 200

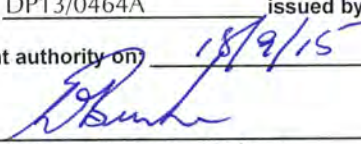


17 Fordland road Darwin NT 0801 • phone 5295 Darwin NT 0801
 mobile 0843 074 • fax 08192703 • email raw_designs@optusnet.com.au



LOT 10286 TARAKAN COURT JOHNSTON
 NORTH TERRITORY
 Date: 01/2013 P.O. No: 13042-SK402
 Scale: AS 9450
 Builder: To verify all dimensions on site prior to construction



Drawing No: 2013/0059/27A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on 18/9/15

 Consent Authority / Delegate

building 4 - floor plan level 2
 SCALE 1 : 200



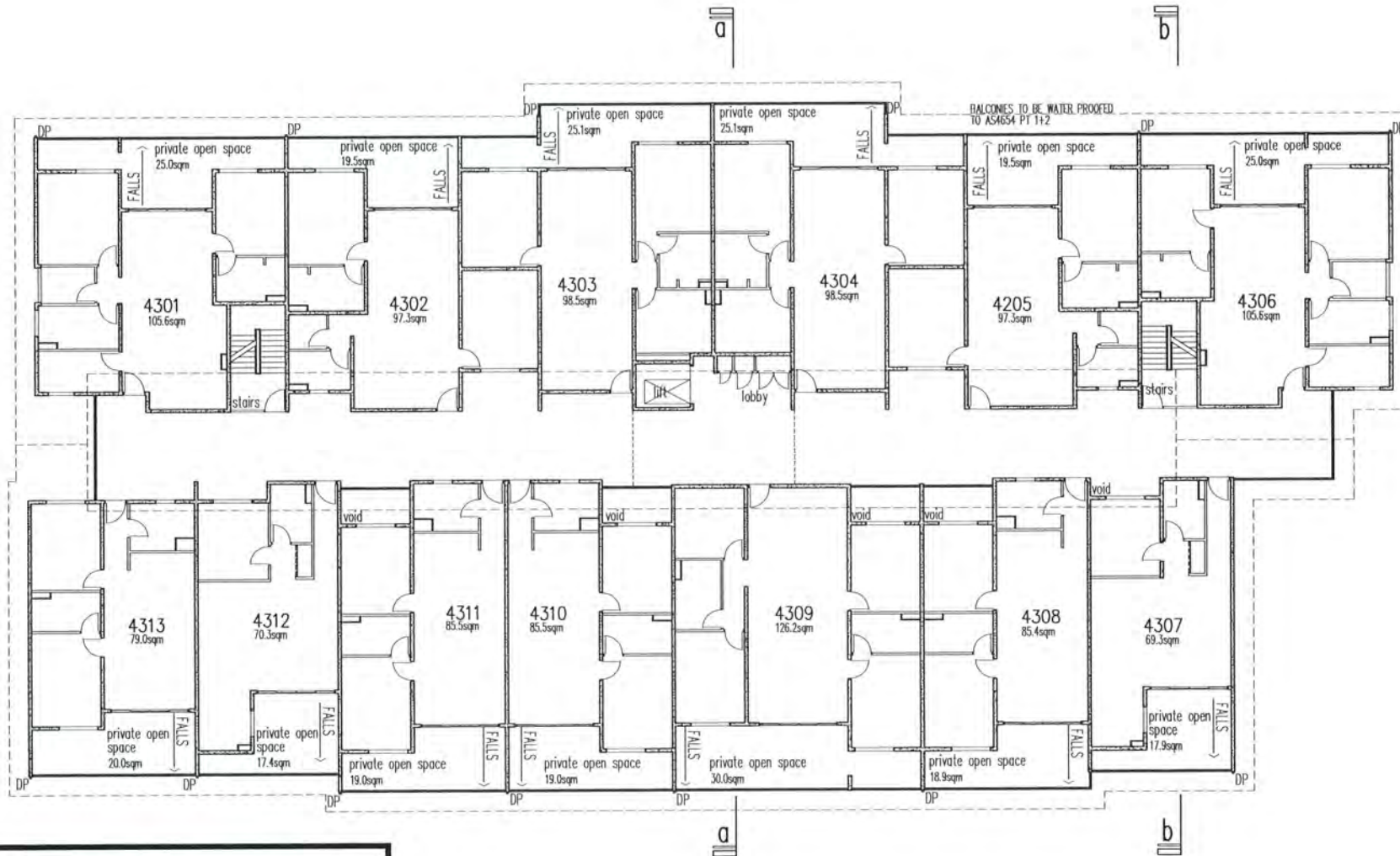
21 oakland road darwin, nt 08101 • phone 5096 darwin, nt 08101
 tel 08 4948 0771 • fax 08 498527001 • email raw_designs@optusnet.com.au

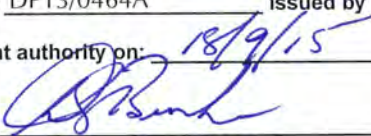
LOT 10286 TARAKAN COURT JOHNSTON
 NORTH TERRITORY

Date: 24/03/14 3:29 PM
 scale: 1:200 13042-SK403

builder to verify all dimensions on site prior to construction





Drawing No: 2013/0059/28A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate

building 4 - floor plan level 3
 SCALE 1 : 200



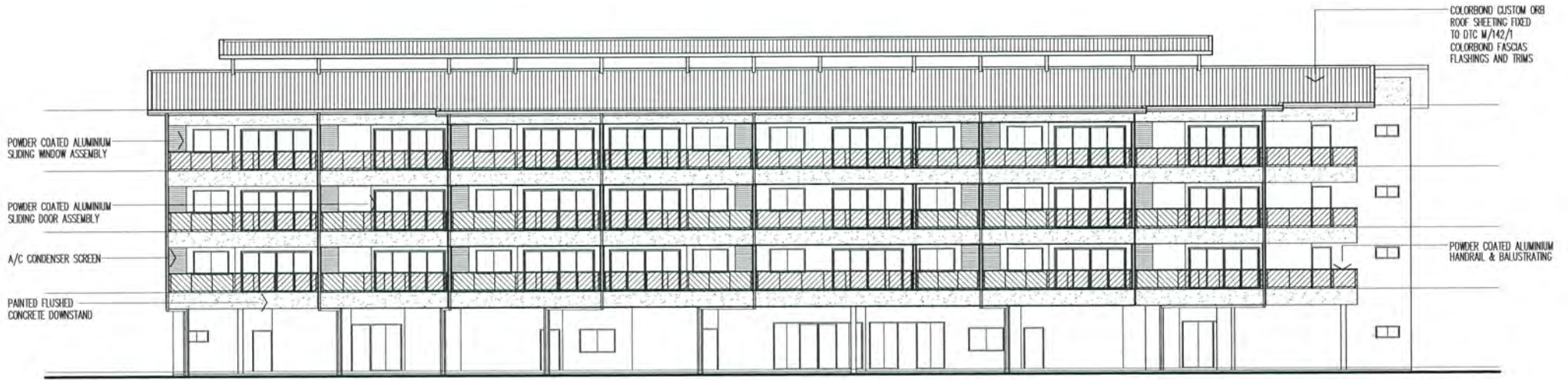
31 auburn road, darwin, NT 0801 • phone 5276 4000, 08 0501
 lot 08 8948 07/1 • mob 0892527021 • email raw_designs@apex.com

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTHERN TERRITORY

Date: 31.08.2013 JCB No: 13042-SK404
 Scale: AS SHOWN



builder to verify all dimensions on site prior to construction

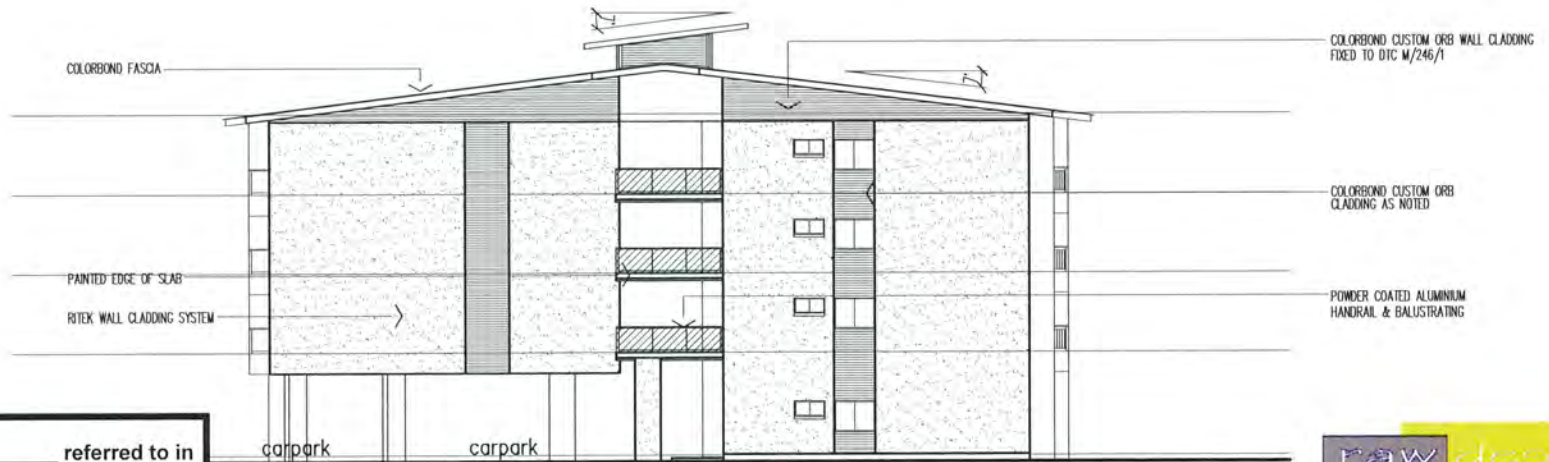


building 4-elevation 1

SCALE 1 : 200

Legend

- 900 GLASS PANELS
- 900 PERFORATED METAL PANELS
DETAIL OF BALUSTRADE ENSURING
NOT CLIMBABLE UNDER D2.16(h)(a)(b)



building 4-elevation 2

SCALE 1 : 200

Drawing No: 2013/0059/29A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

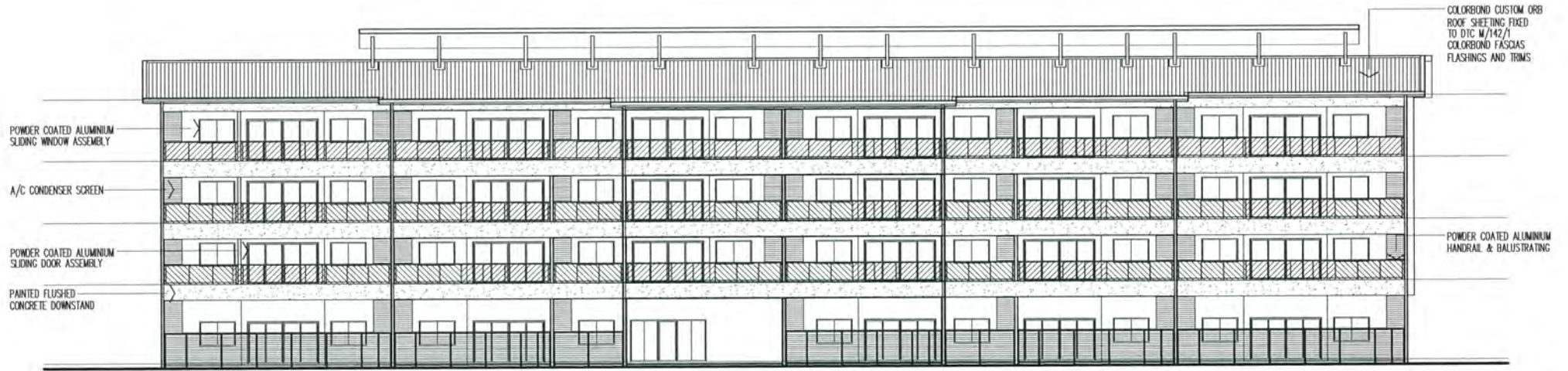
 Consent Authority / Delegate



2D architectural drawings at DSCD • 3D section 5000 drawings at DSCD
 1/4 ORB 8/14/11 • 1/4 ORB 2/17/11 • 1/4 ORB 2/17/11 • email: raw_designs@optusnet.com.au

LOT 10286 TARAKAN COURT JOHNSTON
 NORBUILT PTY LTD
 Date: 28/08/15 13042-SK405
 Scale: AS SHOWN
 Builder to verify all dimensions on site prior to construction



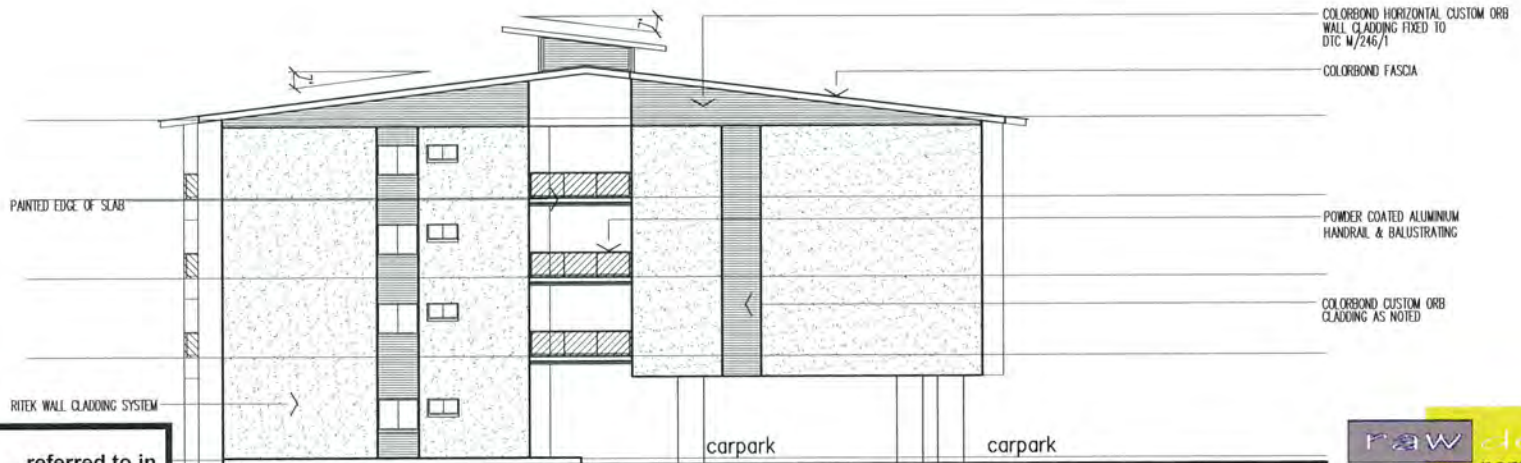


building 4-elevation 3

SCALE 1 : 200

legend

- 900 GLASS PANELS
- 900 PERFORATED METAL PANELS
DETAIL OF BALUSTRADE ENSURING
NOT CLIMBABLE UNDER 02.16(h)(i)(b)



building 4-elevation 4

SCALE 1 : 200

Drawing No: 2013/0059/30A referred to in

Permit No: DP13/0464A issued by

the consent authority on: *18/01/15*

[Signature]
Consent Authority / Delegate



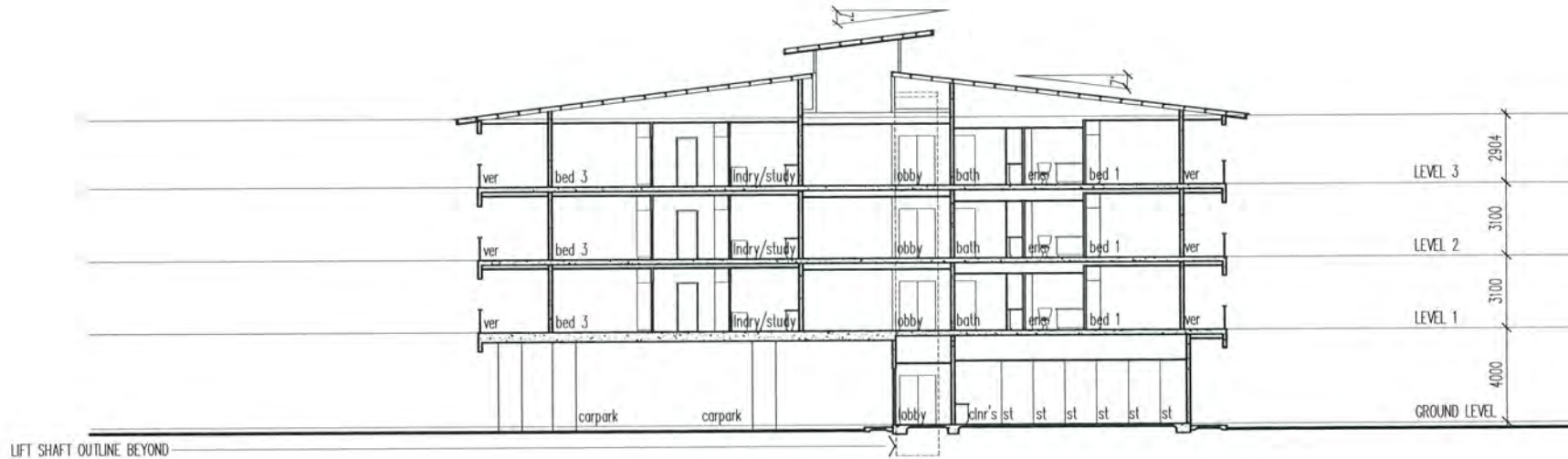
11 Mitchell Road, Darwin, NT 0801 • telephone 5095 6666 • fax 5095 6667
 Tel: 08 8948 0771 • mob: 0495272021 • email: raw_designs@nt.com.au

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORBULT PTY LTD

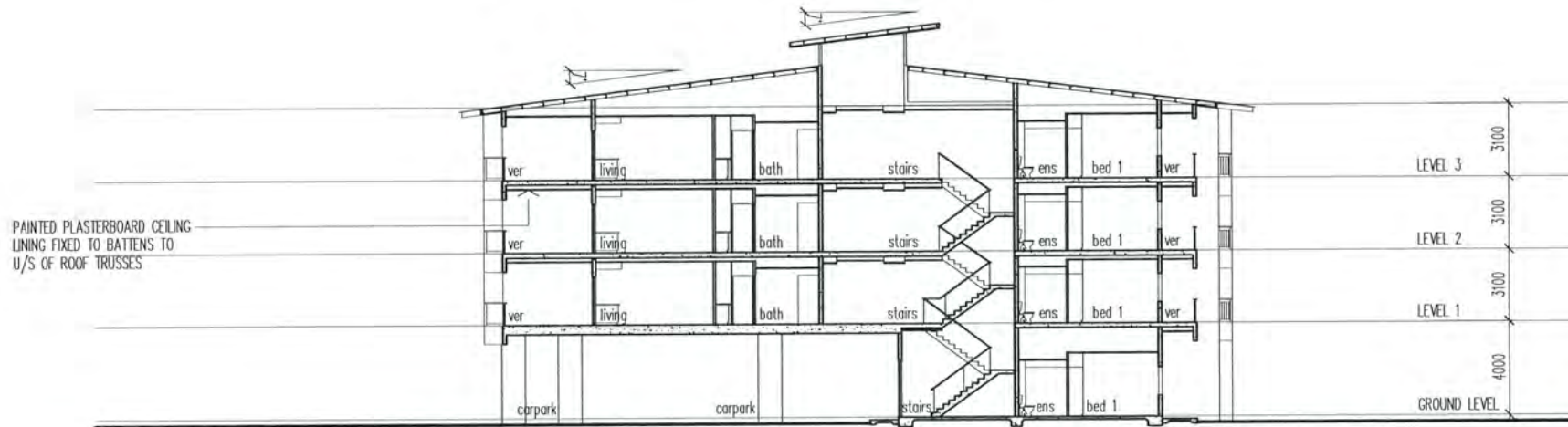
Date: 11/2015 3:29 PM Area:
 Scale: AS-PTM 13042-SK406

Builder to verify all dimensions on-site prior to construction

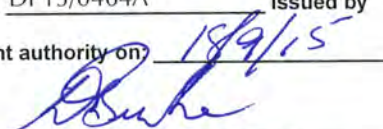




building 4-section a-a
SCALE 1 : 200



building 4-section b-b
SCALE 1 : 200

Drawing No: 2013/0059/31A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on 18/9/15

 Consent Authority / Delegate

raw designs
northern territory

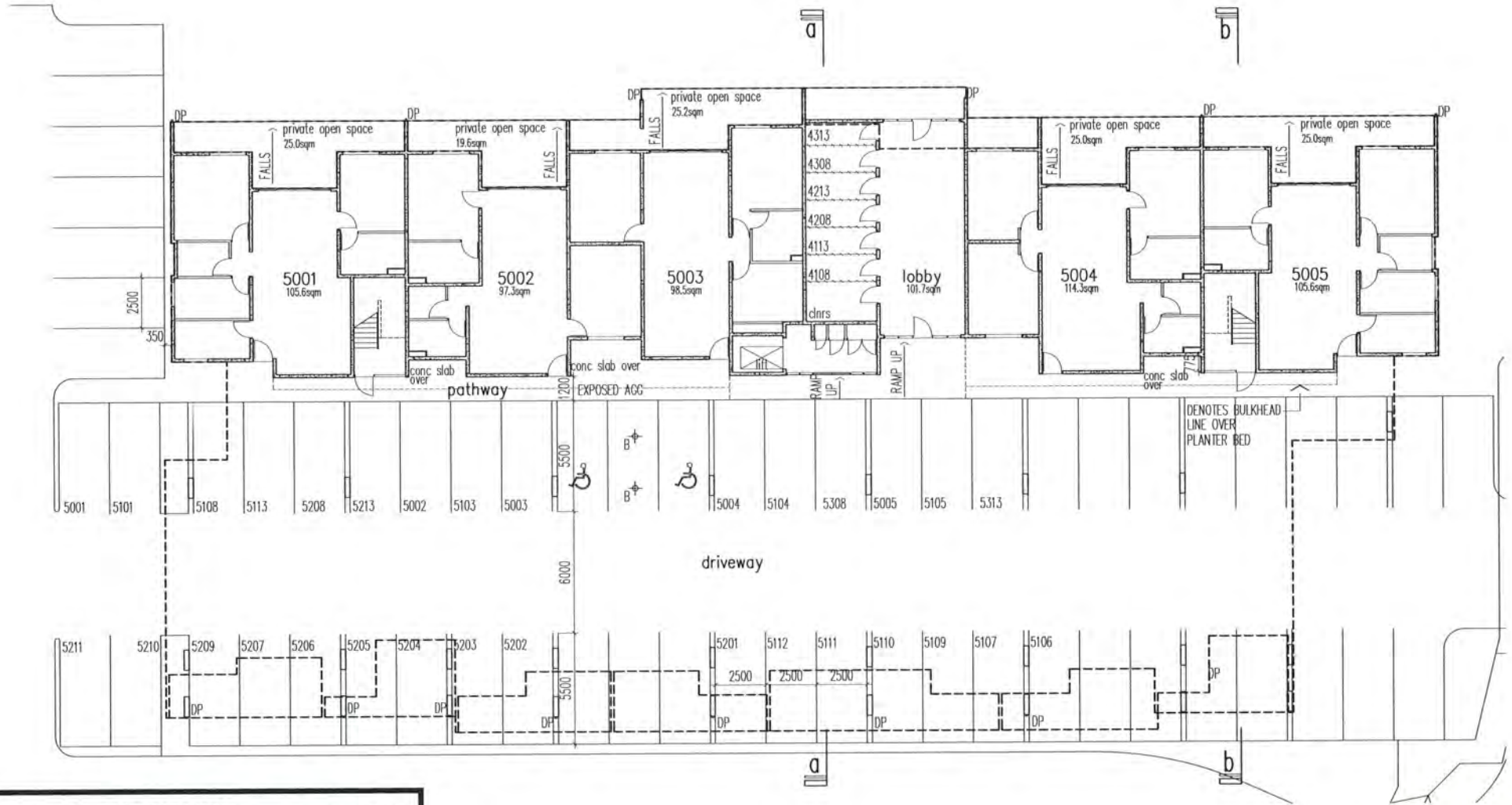
2/10 Broadview Avenue, NT 0830 • phone 52991 • www.rawdesigns.com.au
 1/103 Blyth Street, NT 0830 • phone 0819527021 • email raw_designs@optusnet.com.au

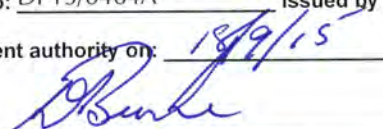
LOT 10286 TARAKAN COURT JOHNSTON
 NORBUILT PTY LTD

Date: 20.09.2015 JCP No: 13042-SK407
 Sub: 15/9/2015

NORBUILT

Builder to verify all dimensions on site prior to construction



Drawing No: 2013/0059/32A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate

building 5 - floor plan ground level
 SCALE 1 : 200

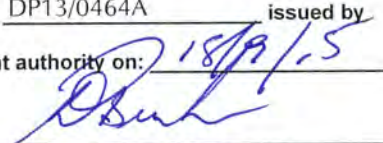


21 meadow road darwin nt 08201 • phone 08 2920 2000 • www.rawdesigns.com.au
 tel 08 8948 0771 • mobile 0488270031 • email raw_designs@protonmail.com

LOT 10286 TARAKAN COURT JOHNSTON
 NORBULT PTY LTD

Date: 21.09.15 10:00 AM
 Scale: AS SHOWN 13042-SK501
 Author: for use for all dimensions on other plans for construction



Drawing No: 2013/0059/33A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/09/15

 Consent Authority / Delegate

building 5 - floor plan level 1
 SCALE 1 : 200



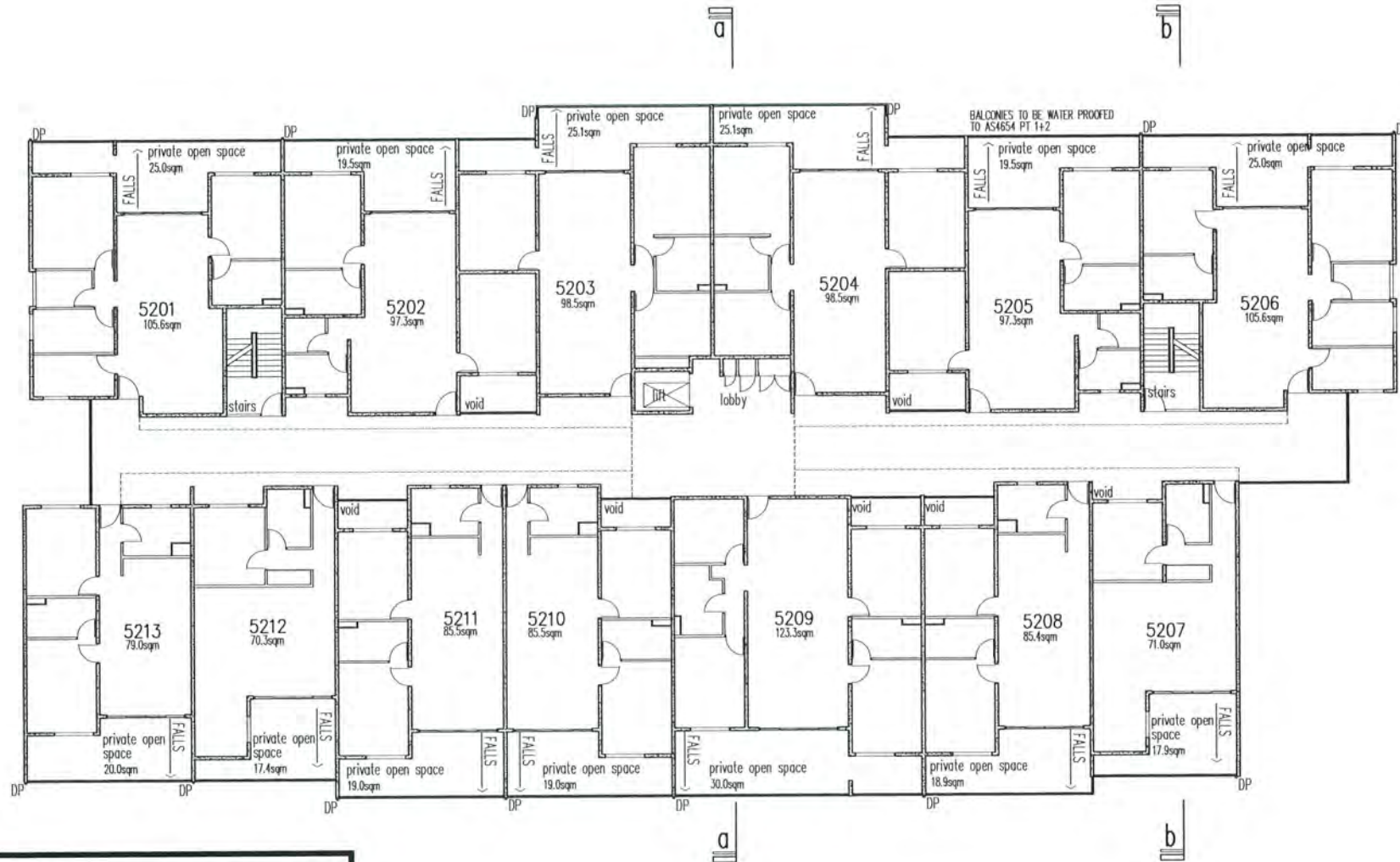
2/100 horizontal street, Darwin (2801) • phone 08 9229 4000 • fax 08 9229 4001
 lot 10/286, 10/287, 10/288, 10/289, 10/290, 10/291, 10/292, 10/293, 10/294, 10/295, 10/296, 10/297, 10/298, 10/299, 10/300, 10/301, 10/302, 10/303, 10/304, 10/305, 10/306, 10/307, 10/308, 10/309, 10/310, 10/311, 10/312, 10/313, 10/314, 10/315, 10/316, 10/317, 10/318, 10/319, 10/320, 10/321, 10/322, 10/323, 10/324, 10/325, 10/326, 10/327, 10/328, 10/329, 10/330, 10/331, 10/332, 10/333, 10/334, 10/335, 10/336, 10/337, 10/338, 10/339, 10/340, 10/341, 10/342, 10/343, 10/344, 10/345, 10/346, 10/347, 10/348, 10/349, 10/350, 10/351, 10/352, 10/353, 10/354, 10/355, 10/356, 10/357, 10/358, 10/359, 10/360, 10/361, 10/362, 10/363, 10/364, 10/365, 10/366, 10/367, 10/368, 10/369, 10/370, 10/371, 10/372, 10/373, 10/374, 10/375, 10/376, 10/377, 10/378, 10/379, 10/380, 10/381, 10/382, 10/383, 10/384, 10/385, 10/386, 10/387, 10/388, 10/389, 10/390, 10/391, 10/392, 10/393, 10/394, 10/395, 10/396, 10/397, 10/398, 10/399, 10/400, 10/401, 10/402, 10/403, 10/404, 10/405, 10/406, 10/407, 10/408, 10/409, 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LOT 10286 TARAKAN COURT JOHNSTON NORTH TERRITORY

Date: 11/2015 Job No: 13042-SK502
 Scale: AS PER PLAN

I declare that I am the owner of the land and I have read and understand the conditions of the consent authority.



Drawing No: 2013/0059/34A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: *18/9/15*
[Signature]
 Consent Authority / Delegate

building 5 - floor plan level 2
 SCALE 1 : 200

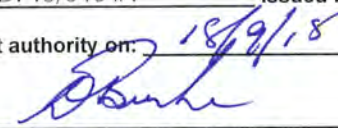


21, Leach Road, Darwin, NT 0801 • phone: 52951000 • fax: 52951001
 LOT 10286 JOHN • tel: 049827023 • email: raw_designs@rogers.com

LOT 10286 TARAKAN COURT JOHNSTON
 NORTH TERRITORY
 Date: 18/09/15 Job No: 13042-SK503
 Scale: 1:200
 Builder to verify all dimensions on site prior to construction





Drawing No: 2013/0059/35A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/18

 Consent Authority / Delegate

building 5 - floor plan level 3
 SCALE 1 : 200



11 on base road, Darwin, NT 0801 • apt for 1990 shown at 0801
 tel 08 8948 0771 • fax 08 89752703 • email raw_designs@optus.com



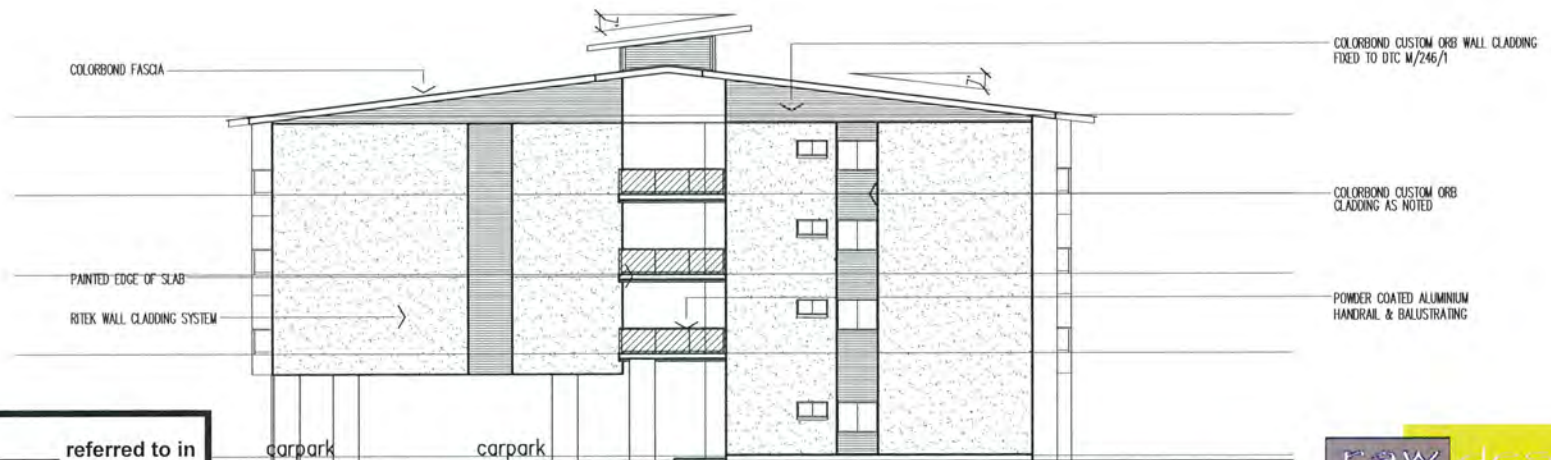
LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTH TERRITORY
 Date: 14/2/18 JCP No: 13042-SK504 Area:
 Sub: 46/90000

Builder to verify all dimensions on site prior to construction



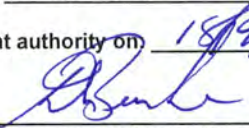
building 5 - elevation 1

SCALE 1 : 200



building 5 - elevation 2

SCALE 1 : 200

Drawing No: 2013/0059/36A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on 18/9/15

 Consent Authority / Delegate



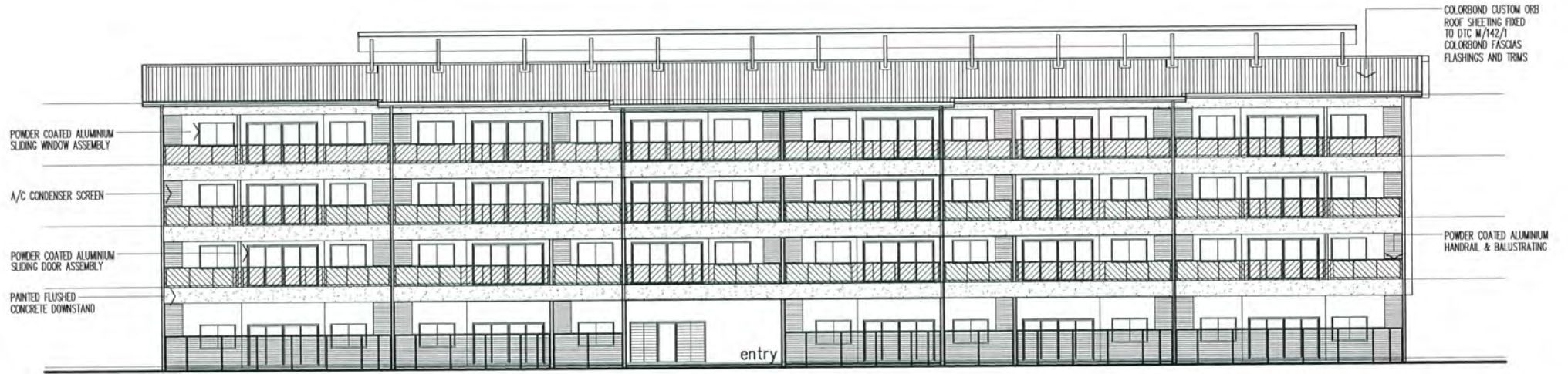
28 carland road alberta rd CYRILL • apt 105 5022/9 alberta rd CYRILL
 tel 08 8948 0771 • mob 0488270211 • email raw_designs@optusnet.com.au

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORBULT PTY LTD

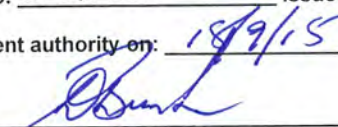
Date: 31/08/15 Draw No: 13042-SK505
 Scale: AS SHOWN

builder to verify all dimensions on-site prior to construction

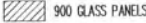
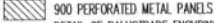


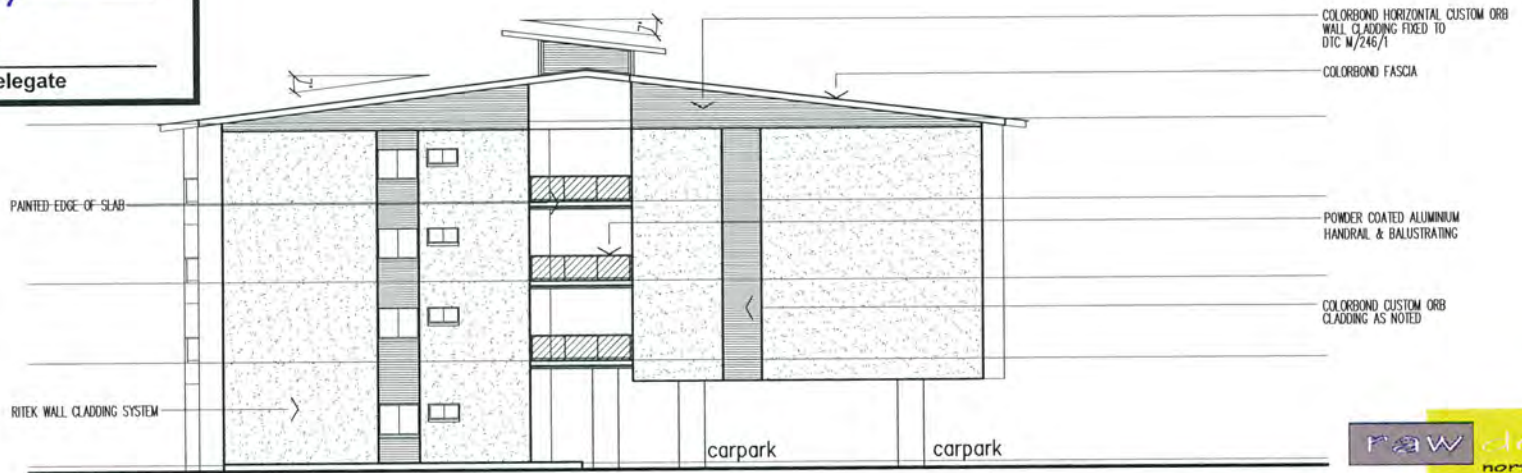


building 5-elevation 3
SCALE 1 : 200

Drawing No: 2013/0059/37A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate

legend

-  900 GLASS PANELS
-  900 PERFORATED METAL PANELS
DETAIL OF BALUSTRADE ENSURING
NOT CLIMBABLE UNDER D2.16(b)(a)(b)



building 5-elevation 4
SCALE 1 : 200



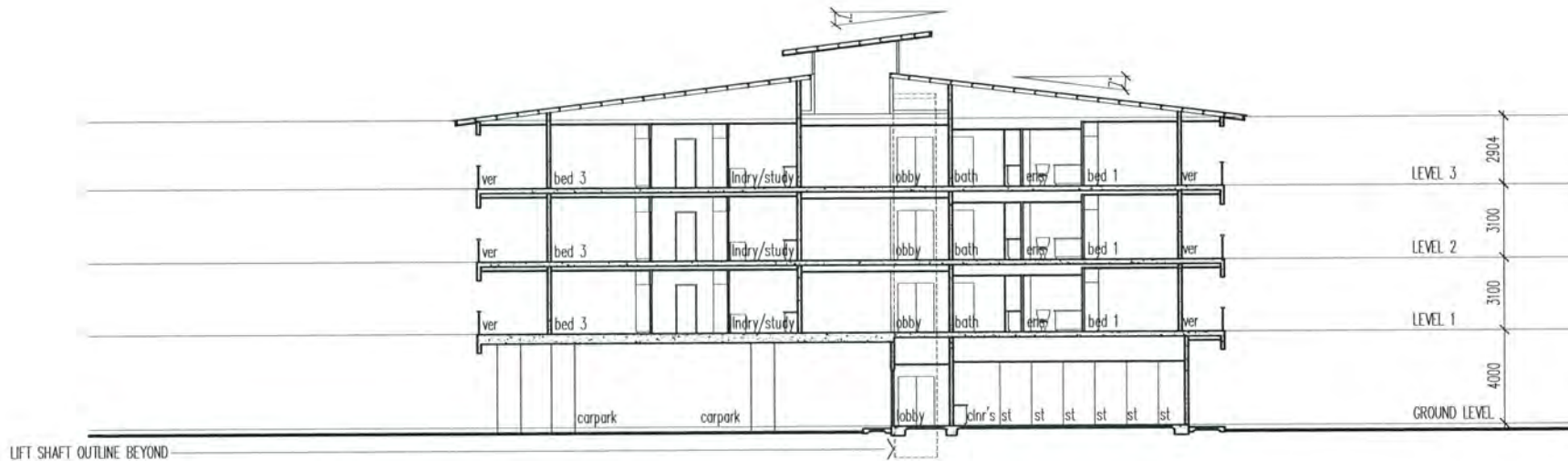
1/1 on level road abutting to CR301 • 1/1 on level road abutting to CR301
 1/1 06 8948 07/1 • 1/1 0489527021 • email: law_designs@bigpond.com

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORBUILT PTY LTD

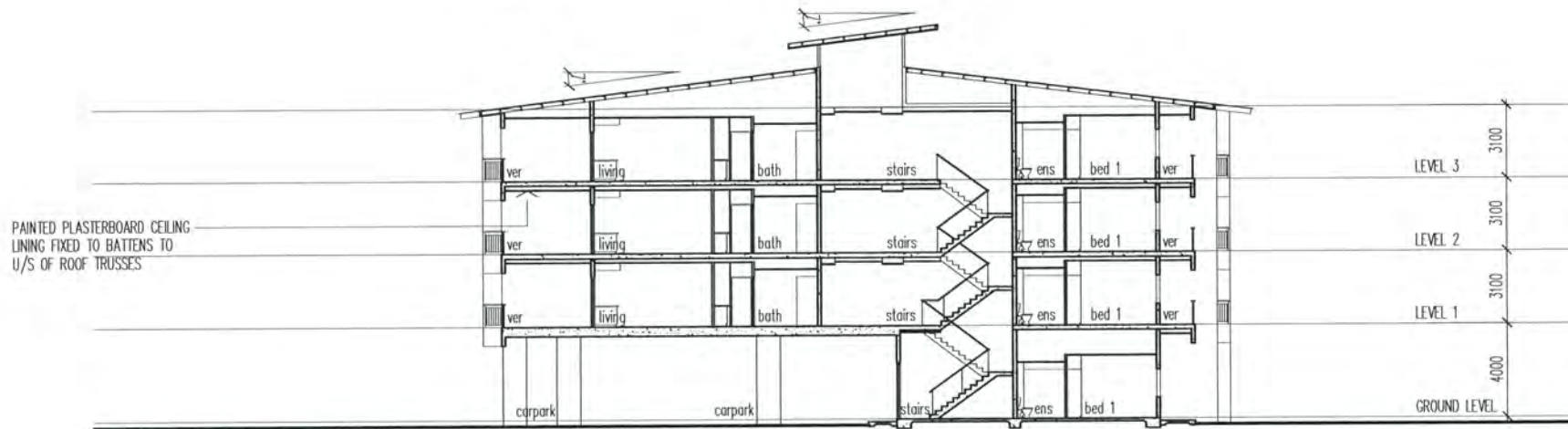


Date: 21.2015 Job No: 13042-SK506 Permit:
 Code: AS 5191M

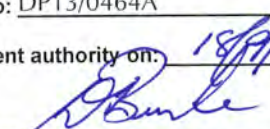
Builder to verify all dimensions on site prior to construction



building 5-section a-a
SCALE 1 : 200



building 5-section b-b
SCALE 1 : 200

Drawing No: 2013/0059/38A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/11/15

 Consent Authority / Delegate

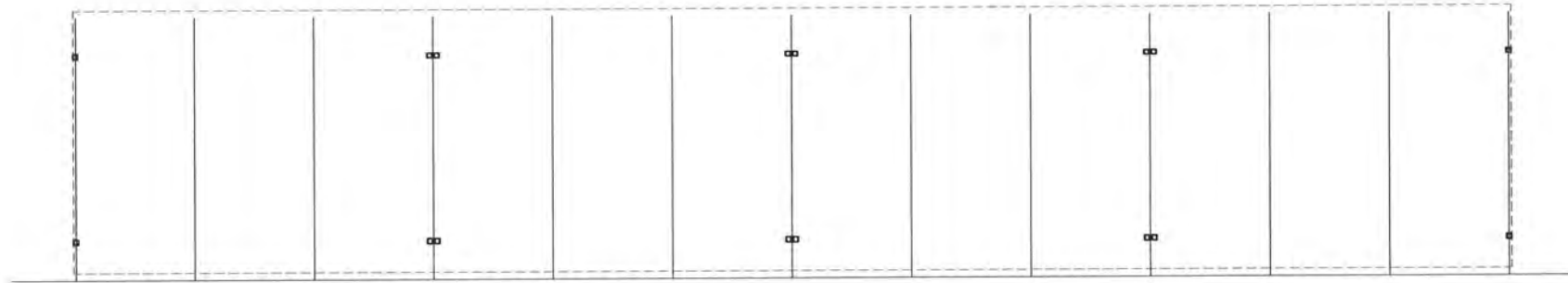


21 melrose road darwin, nt 0801 • phone 52999 darwin, nt 0801
 tel 08 2948 0711 • fax 08 2927 0211 • email raw_designs@optusnet.com.au

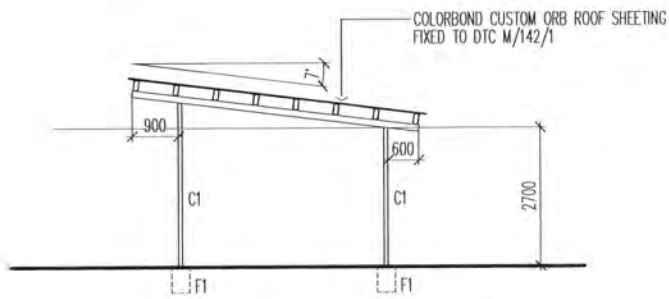
LOT 10286 TARAKAN COURT
 JOHNSTON
 NORTH TERRITORY

Date: 11/2015
 Scale: AS SHOWN
 Project: 13042-SK507

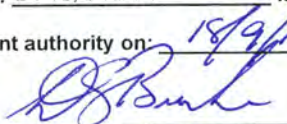
Builder to verify all dimensions on site prior to construction



carport plan
SCALE 1 : 100



elevation 1
SCALE 1 : 100

Drawing No: 2013/0059/39A referred to in
Permit No: DP13/0464A issued by
the consent authority on: 18/9/15

Consent Authority / Delegate

raw designs
northern territory

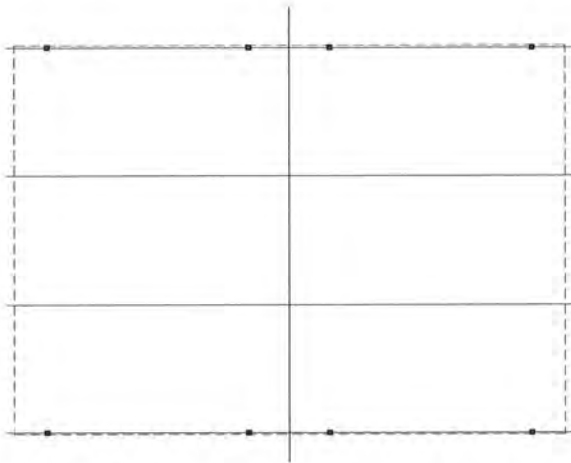
21 Orchard Road, Darwin, NT 0801 • Phone: 5255 4000, nt.0501
14 DB Street, Darwin, NT 0801 • Fax: 5255 4001 • email: raw_designs@rawdesigns.com

LOT 10286 TARAKAN COURT
JOHNSTON
NORBUILT PTY LTD

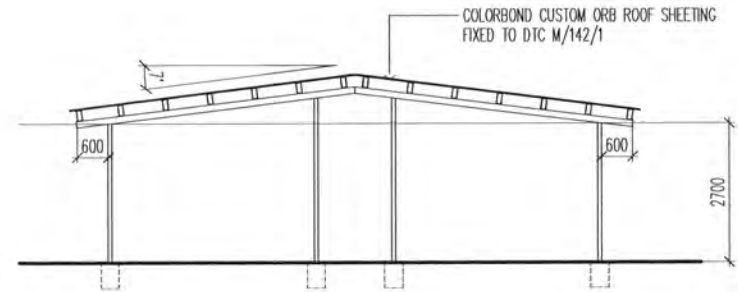
Date: 11/03/15 Job No: 13042-SK601 Area:
Scale: AS SHOWN

Builder to verify all dimensions on site prior to construction





double carport plan
SCALE 1 : 100



elevation 1
SCALE 1 : 100

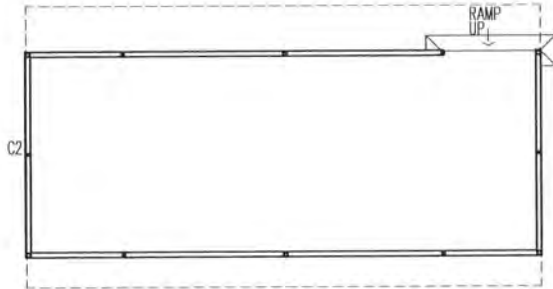
Drawing No: 2013/0059/40A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: *[Signature]*
[Signature]
 Consent Authority / Delegate

raw designs
 northern territory

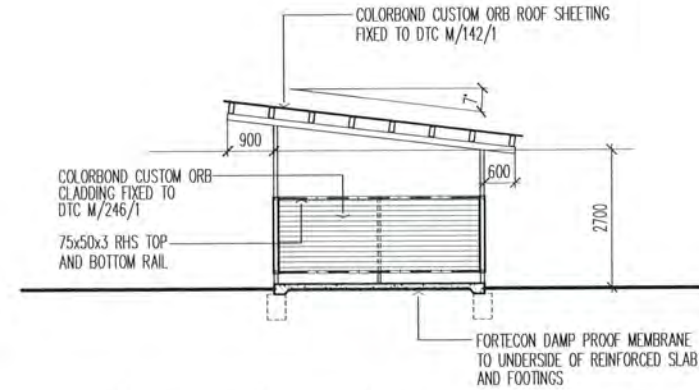
2 Leach Street, Darwin, NT 0801 • phone 5299 4444 • 0901 8948 077 • fax 0497627021 • email raw_designs@optusnet.com.au



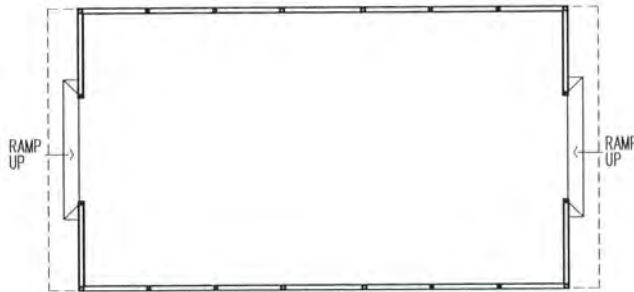
LOT 10286 TARAKAN COURT
 JOHNSTON
 NORBUILT PTY LTD
 Date: 21/05/2015 2015/10/15 Area:
 Sub: 75/900M² 13042-SK602
 (builder to verify all dimensions on site prior to construction)



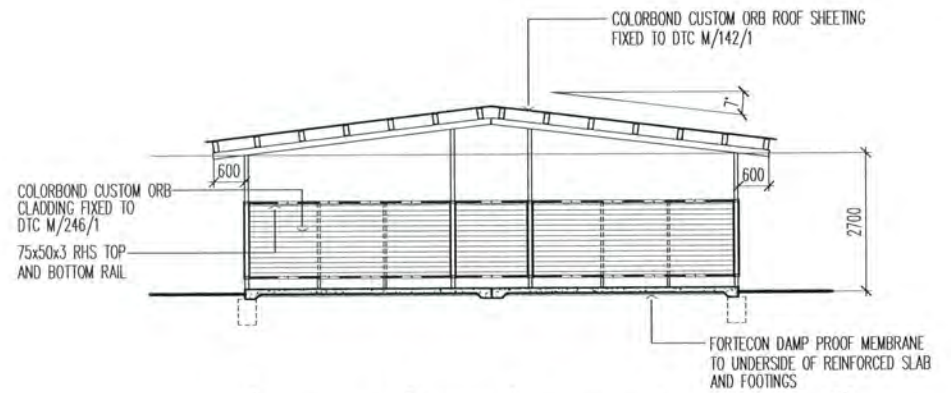
bin 1 floor plan
SCALE 1 : 100



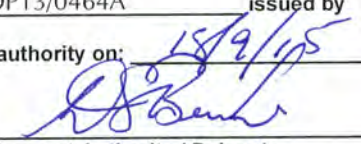
bin 1 elevation 1
SCALE 1 : 100



bin 2 floor plan
SCALE 1 : 100



bin 2 elevation 2
SCALE 1 : 100

Drawing No: 2013/0059/41A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate



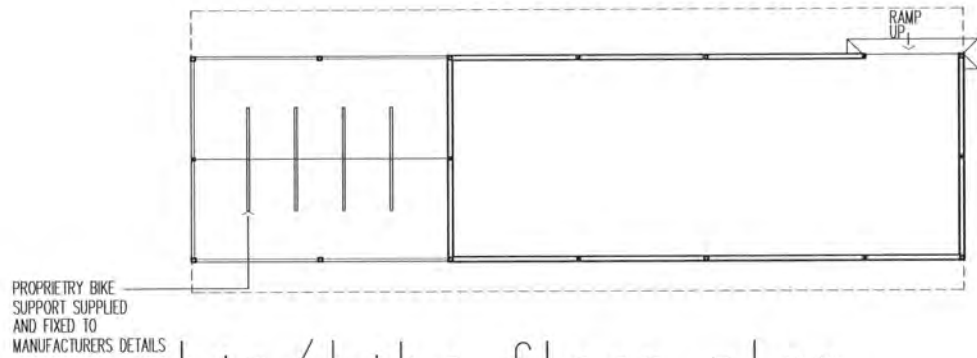
21 Ferial Road, Darwin, NT 0801 • p: 08 8948 0771 • f: 08 8948 0772 • email: raw_designs@nt.gov.au

LOT 10286 TARAKAN COURT
 JOHNSTON
 NORBUILT PTY LTD



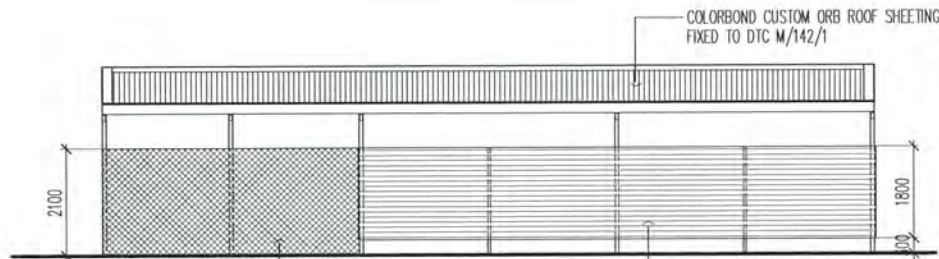
Date: 24/08/15 Job No: 13042-SK603
 Title: ARCHITECT

Builder: to verify all dimensions on site prior to construction



PROPRIETARY BIKE
SUPPORT SUPPLIED
AND FIXED TO
MANUFACTURERS DETAILS

bin/bike floor plan
SCALE 1 : 100

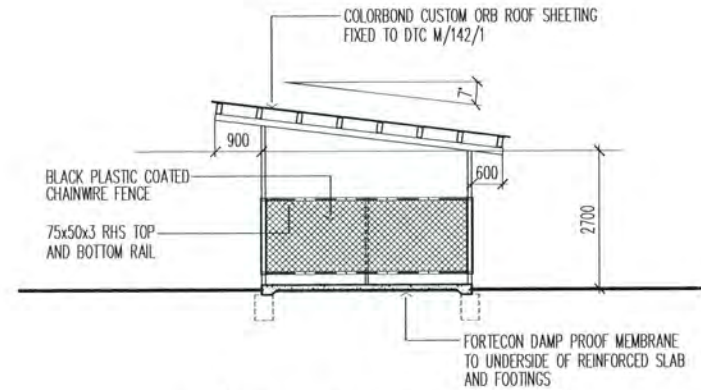


BLACK PLASTIC COATED
CHAINWIRE FENCE

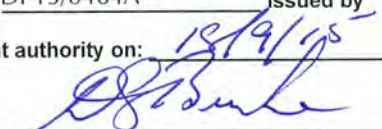
COLORBOND CUSTOM ORB ROOF SHEETING
FIXED TO DTC M/142/1

COLORBOND CUSTOM ORB
CLADDING FIXED TO
DTC M/246/1

elevation 1
SCALE 1 : 100



elevation 2
SCALE 1 : 100

Drawing No: 2013/0059/42A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/15

 Consent Authority / Delegate

raw designs
northern territory

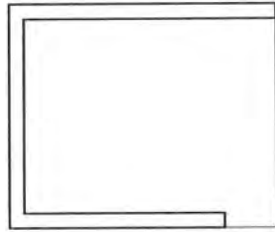
21 Colford road, darwin, nt 0801 • phone 089990 4400 • fax 089990 4401
 tel 08 8948 0771 • mobile 0418527021 • email raw_designs@outlook.com

LOT 10286 TARAKAN COURT
JOHNSTON
NORBUILT PTY LTD

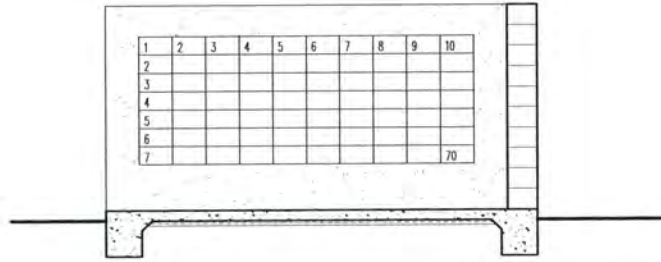
DATE: 11/2014 DRAWN BY: [signature] CHECKED BY: [signature]
 SCALE: AS SHOWN 13042-SK604



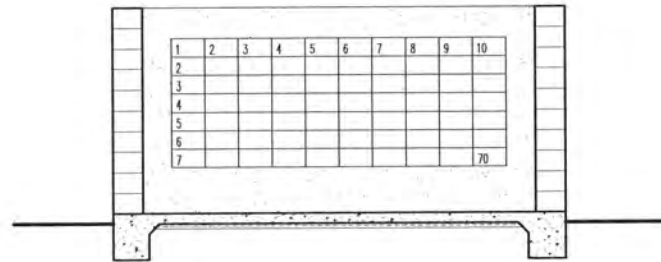
builder to verify all dimensions on site prior to construction



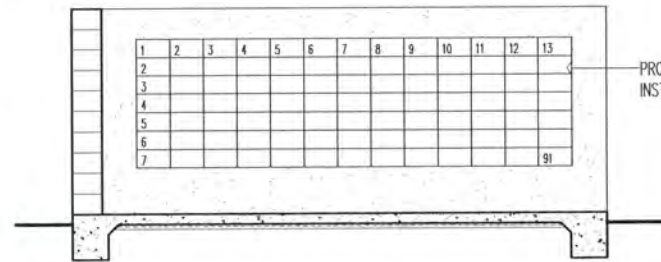
letterbox
floor plan
SCALE 1 : 100



elevation 1
SCALE 1 : 50



elevation 2
SCALE 1 : 50



elevation 3
SCALE 1 : 50

PROPERTY POST BOXES 175H x 325W x 334D
INSTALLED TO MANUFACTURES DETAILS

Drawing No: 2013/0059/43A referred to in
Permit No: DP13/0464A issued by
the consent authority on: 15/09/15

Consent Authority / Delegate



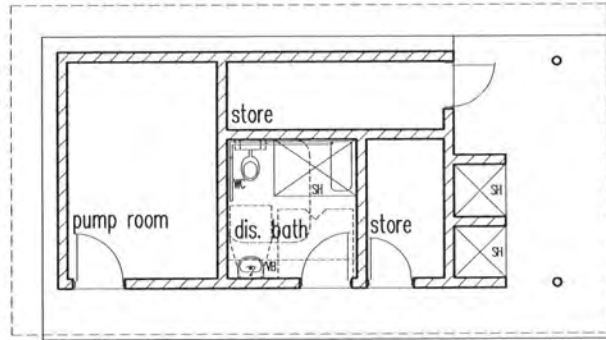
21 Gordon Road, Darwin, NT 0801 • phone 5095 4444 • fax 5095 4444
tel 08 8948 0771 • mob 0497827021 • email raw_designs@northern.nt.gov.au

LOT 10286 TARAKAN COURT
JOHNSTON
NORBUILT PTY LTD

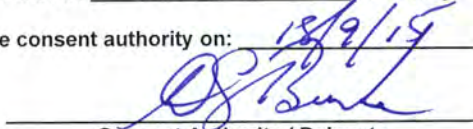
Date: 31/08/15 Job No: 13042-SK605
Scale: AS PER PLAN

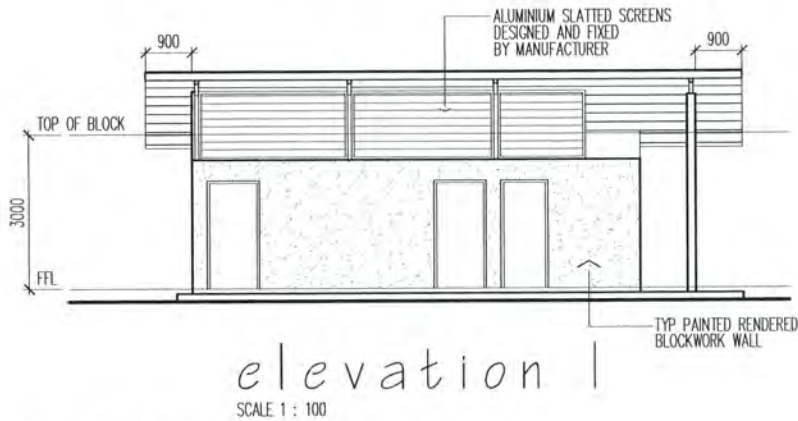


Builder to verify all dimensions on-site prior to construction

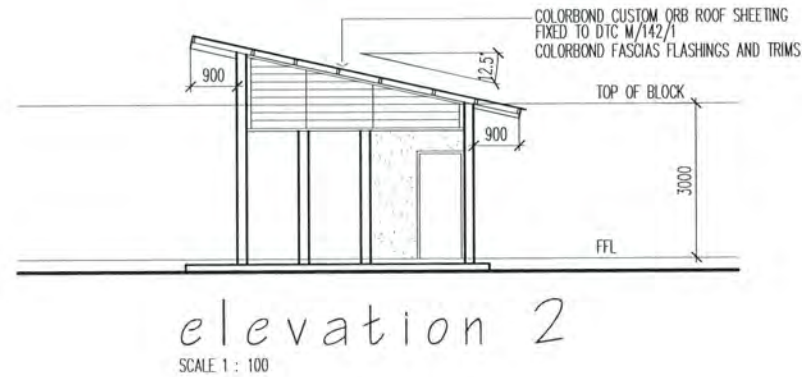


pool pump floor plan
SCALE 1 : 100

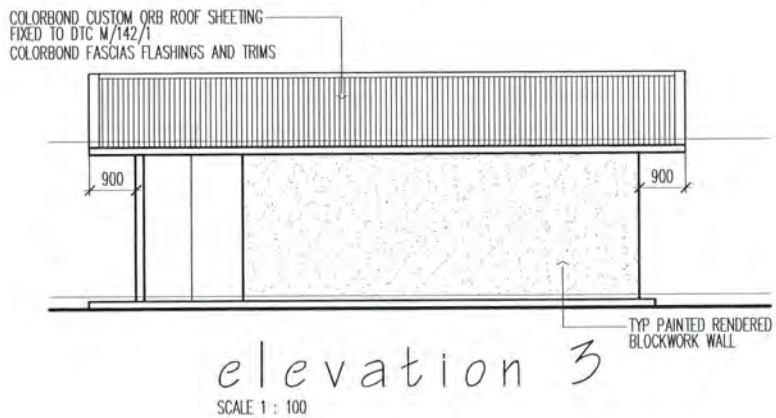
Drawing No: 2013/0059/44A referred to in
 Permit No: DP13/0464A issued by
 the consent authority on: 18/9/14

 Consent Authority / Delegate



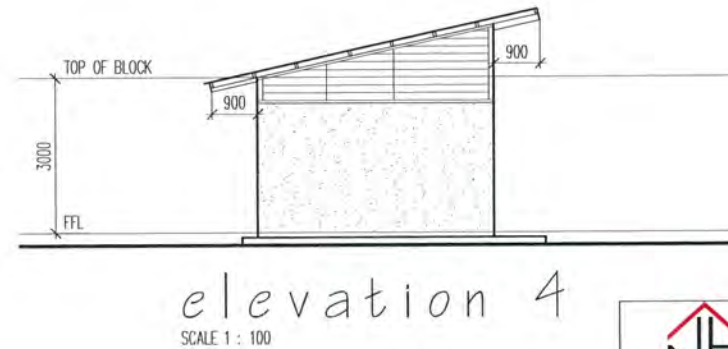
elevation 1
SCALE 1 : 100



elevation 2
SCALE 1 : 100



elevation 3
SCALE 1 : 100



elevation 4
SCALE 1 : 100



21 brisbane street, nt 0800 • apt 104 525/4 street, nt 0800
 14 08 8948 071 • fax 049827021 • email raw_designs@optusnet.com.au

LOT 10286	TARAKAN COURT JOHNSTON NORTHERN TERRITORY
Date: 01/2013	Drawn: AS SHOWN
Scale: AS SHOWN	13042-SK606



Builder to verify all dimensions on-site prior to construction

NORTHERN TERRITORY OF AUSTRALIA

Planning Act - Section 57(3)

VARIATION OF CONDITIONS

DP13/0464B

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 10286
Town of Palmerston
11 TARAKAN CT, JOHNSTON

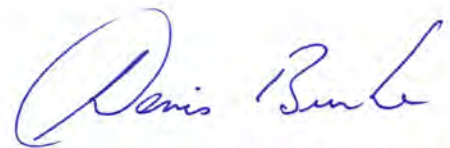
VARIATION

Consent is granted to vary Condition 3 of Development Permit DP13/0464A for the purpose of 6 car storage areas in front of building 2, in accordance with the drawings numbered 2013/0059/1B and 2013/0059/2B, endorsed as forming part of this permit.

In all other respects Development Permit DP13/0464A remains unchanged.

BASE PERIOD OF THE PERMIT

This permit does not extend the base period of the original permit.



DENIS BURKE
Delegate
Development Consent Authority

6/10/2015

SCHEDULE OF CONDITIONS

DEVELOPMENT PERMIT

DP13/0464B

CONDITIONS PRECEDENT

1. Prior to endorsement of plans and the commencement of works (including site preparation), a full set of amended plans to the satisfaction of the consent authority must be submitted to and approved by the consent authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted with the application but modified to show:

- An amended design of the entry lobbies and lift areas of each building; and
- An amended design of the area containing storage units in lobbies in accordance with principles of Crime Prevention Through Environmental Design.

This condition has previously been cleared

2. Prior to the commencement of works, a schematic plan demonstrating the on-site collection of stormwater and its discharge into the City of Palmerston's underground stormwater drainage system shall be submitted to and approved by the City of Palmerston, to the satisfaction of the consent authority. The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.

This condition has previously been cleared

GENERAL CONDITIONS

3. Works carried out under this permit shall be in accordance with the drawings endorsed as forming part of this permit.
4. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority.
5. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply and sewerage and electricity facilities to the land shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time.
6. Storm water is to be collected and discharged into the drainage network to the technical standards of and at no cost to City of Palmerston and/or the Department of Transport whichever the case may be, to the satisfaction of the consent authority.
7. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of City of Palmerston, to the satisfaction of the consent authority.

8. The owner shall:

- (a) remove disused vehicle and/ or pedestrian crossovers;
- (b) provide footpaths/ cycleways; and
- (c) undertake reinstatement works;

all to the technical requirements of and at no cost to City of Palmerston to the satisfaction of the consent authority.

9. Before the use or occupation of the development starts, the areas set aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:

- (a) constructed;
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced with an all-weather-seal coat;
 - (d) drained; and
 - (e) line marked to indicate each car space and all access lanes;
- to the satisfaction of the consent authority.

Car spaces, access lanes and driveways must be kept available for these purposes at all times.

10. The car parking shown on the endorsed plans must be available at all times for the exclusive use of the occupants of the development and their visitors.

11. Before the use/occupation of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.

12. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.

13. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street.

14. Soil erosion control measures must be employed throughout the construction stage of the development to the satisfaction of the consent authority.

15. All air conditioning condensers are to be appropriately screened from public view, located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the consent authority.

16. All balconies are to be internally drained and discharge is to be disposed of at ground level and in a manner consistent with stormwater disposal arrangements for the site to the satisfaction of the consent authority.

17. Storage for waste disposal bins is to be provided to the requirements of City of Palmerston to the satisfaction of the consent authority.

NOTES

1. This permit will expire if one of the following circumstances applies:

- (a) The development is not started within two years of the date of this permit; or
- (b) The development is not completed within four years of the date of this permit.

The consent authority may extend the periods referred to if a request is made in writing before the permit expires.

2. The Power and Water Corporation advises that the Water and Sewer Services Development Section (landdevelopmentnorth@powerwater.com.au) and Power Network Engineering Section (powerconnections@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.
3. Environment Protection Agency of the Department of Lands, Planning and the Environment advises that construction work should be conducted in accordance with the Agency's Noise Guidelines for Development Sites. The guidelines specify that on-site construction activities are restricted to between 7am and 7pm Monday to Saturday and 9am to 6pm Sunday and Public Holidays. For construction activities outside these hours refer to the guidelines for further information.

Bookmark C

Drawing No: 2013/0059/1B referred to in

Permit No: DP13/0464B issued by

the consent authority on: *Grupos*

Dina Bunker
Consent Authority / Delegate



BUILDING 1
 48 UNITS
 90 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 98 BAYS

BUILDING 2
 47 UNITS
 88 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 102 BAYS

BUILDING 3
 41 UNITS
 76 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 84 BAYS

BUILDING 4
 44 UNITS
 82 CAR PARKING BAYS
 3 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 91 BAYS

BUILDING 5
 44 UNITS
 82 CAR PARKING BAYS
 2 DISABLED BAYS
 6 VISITOR CAR PARKING BAYS
 TOTAL - 90 BAYS

TOTAL
 456 PARKING BAYS

site plan
 SCALE 1 : 800

REV 4	BUILDING 2 6 PARKING BAYS ADDED	22.09.15
REV 3	STAGES BOUNDARY LINE AMENDED	01.09.15
REV 2	TO STAGE 1 & 2 AMENDED	31.08.15
REV 1	POOL BUILDING MOVED TO STAGE 3	28.08.15



71 and/or 72/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000



LOT 10286 TARAKAN COURT JOHNSTON
 HAZARD PLY LTD
 Date: 31.08.15 Job No: 13042-SKI Sheet: 4
 Scale: As shown
 Builder to verify all dimensions on site prior to construction

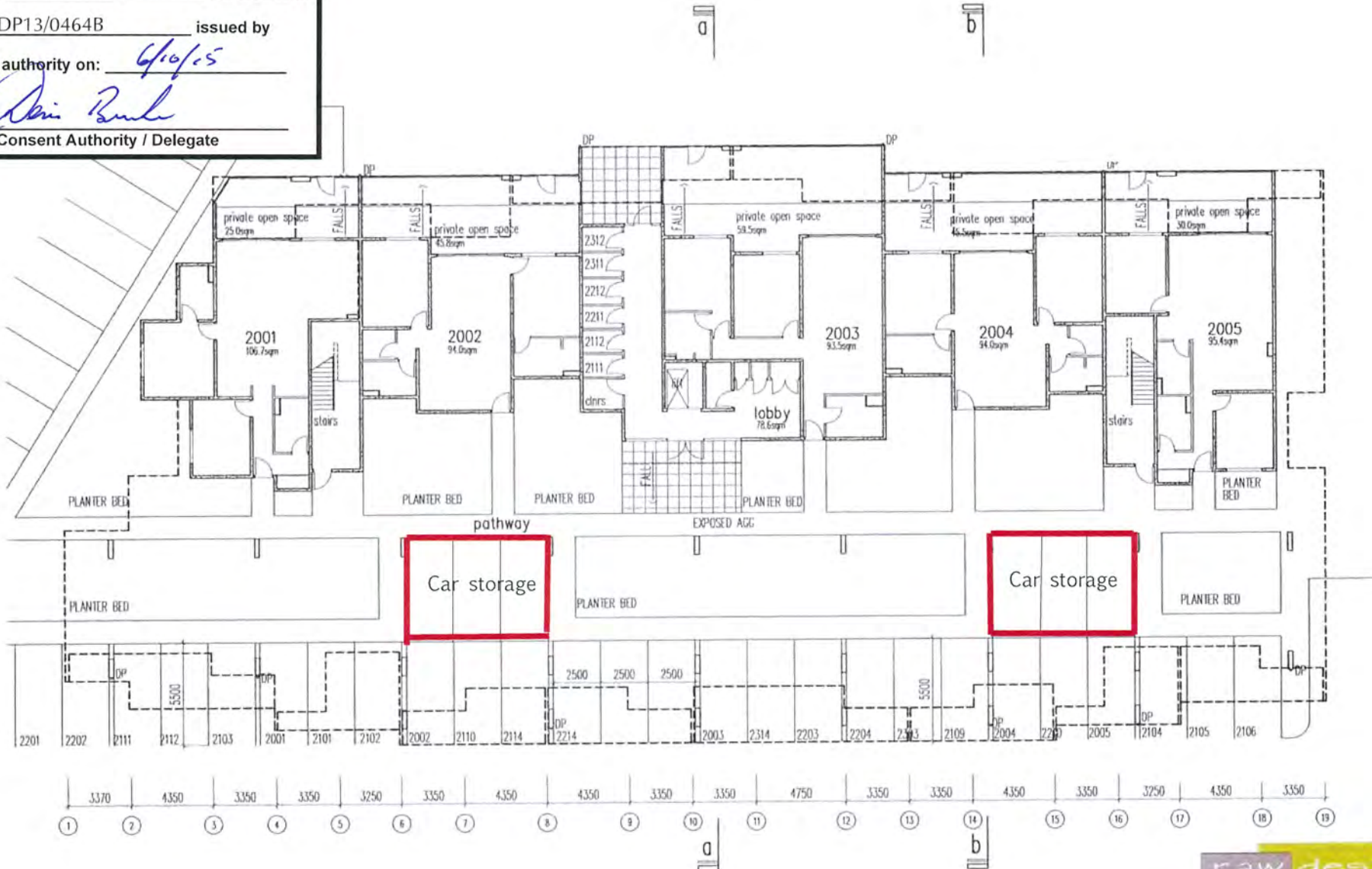
Drawing No: 2013/0059/2B referred to in

Permit No: DP13/0464B issued by

the consent authority on: *Groves*

Alan Baul

Consent Authority / Delegate



building 2-floor plan ground level

SCALE 1 : 200



1000 Lakeside Drive, Suite 101, Auckland
021 773 7333

LOT 10286 TARAKAN COURT JOHNSTON

13042-SK201



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NORTHERN TERRITORY OF AUSTRALIA

Planning Act - section 62

CERTIFICATION OF COMPLIANCE WITH PERMIT (SUBDIVISION)

DP15/0694

Stage 1

DESCRIPTION OF LAND THE SUBJECT OF THIS CERTIFICATE

Lot 10286
Town of Palmerston
11 TARAKAN CT, JOHNSTON

I certify pursuant to section 62(1)(b)(i) of the Planning Act, as a duly authorised delegate of the consent authority, that:

1. Consent under Part 5 of the Planning Act has been given in relation to stage 1 of this unit title scheme subdivision; and
2. The subdivision works required under Part 5 of the Planning Act have been carried out in accordance with the requirements of the consent authority.

This clearance relates to drawings numbered UTS2015-073, UTS2015-074A, UTS2015/074B and UTS2015-074C.



Deborah Curry
2016.05.16
14:25:04 +09'30'

DEBORAH CURRY
Delegate
Development Consent Authority

16/05/2016



Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2015/0703
KZ

Kevin Dodd
kdodd@eja.com.au

Dear Mr Dodd,

NOTICE OF CONSENT (SECTION 53B OF THE *PLANNING ACT*) LOT 10286 (11) TARAKAN CT, TOWN OF PALMERSTON

The Development Consent Authority has determined, in accordance with section 53(a) of the *Planning Act*, to grant consent to the proposal to use and develop the abovementioned land for the purpose of a unit title scheme subdivision to create 5 principal unit schemes, 224 units and common property in 5 stages, subject to the conditions specified on the attached Development Permit DP15/0694.

Reasons for the Determination

1. The proposed unit titles schemes subdivision to create 5 principal unit schemes, 224 units and common property in 5 stages, is consistent with the development approved under Development Permit DP13/0464, DP13/0464A and DP13/0464B.
2. The proposed unit titles scheme subdivision is consistent with Clause 11.1.4 (Subdivision for the Purposes of a Unit title Scheme) of the NT Planning Scheme and in particular will not have a detrimental environmental effect on the land or result in an adverse impact on the amenity of the locality.
3. A Scheme Statement is required to be submitted for endorsement by the Development Consent Authority prior to new titles being issued in order to ensure that the scheme statement is consistent with the development as built.

Right of Appeal

Applicants are advised that a right of appeal to the Northern Territory Civil and Administrative Tribunal exists under Part 9 of the *Planning Act*. An appeal under section 114 against a determination of a development application must be made within 28 days of the service of this notice.


The Northern Territory Civil and Administrative Tribunal can provide information regarding the Notice of Appeal form and fees payable. The address for lodgement of a Notice of Appeal is: Northern Territory Civil and Administrative Tribunal, PO Box 41860 CASUARINA NT 0810 or

Level 1, The Met Building, 13 Scaturchio Street, CASUARINA NT 0810 (Telephone: 08 8944 8720 or Facsimile 08 8922 7201 or email AGD.ntcat@nt.gov.au).

There is no right of appeal by a third party under section 117 of the *Planning Act* in respect of this determination as there were no submissions received under section 49 of the Act.

If you have any queries in relation to this Notice of Consent or the attached Development Permit, please contact Development Assessment Services on telephone (08) 8999 6046.

Yours faithfully

 Deborah Curry
2015.11.09
10:40:01
+09'30'

DEBORAH CURRY
Delegate

Attachment

Cc City of Palmerston
Survey Lands Records

NORTHERN TERRITORY OF AUSTRALIA

Planning Act - sections 54 and 55

DEVELOPMENT PERMIT

DP15/0694

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 10286
Town of Palmerston
11 TARAKAN CT, JOHNSTON

APPROVED PURPOSE

To use and develop the land for the purpose of subdivision to create a unit title scheme subdivision to create 5 principal unit schemes, 224 units and common property in 5 stages, in accordance with the attached schedule of conditions and the endorsed plans.

VARIATIONS GRANTED

Nil.

BASE PERIOD OF THE PERMIT

Subject to the provisions of sections 58, 59 and 59A of the Planning Act, this permit will lapse two years from the date of issue.



Deborah Curry
2015.11.09 10:40:55
+09'30'

DEBORAH CURRY
Delegate
Development Consent Authority

DEVELOPMENT PERMIT

DP15/0694

SCHEDULE OF CONDITIONS

1. Works carried out under this permit shall be in accordance with drawings numbered 2015/0703/1 through to 2015/0703/21 inclusive endorsed as forming part of this permit.
2. Prior to new titles being issued for the units shown on the endorsed drawings, a Scheme Statement meeting the requirements of the Unit Title Schemes Act (as confirmed by the Land Titles Office) shall be submitted for endorsement by the consent authority.
3. Part V Clearance for subdivision into units under the Unit Titles Scheme Act will not be granted until the relevant Certificate of Compliance has been issued for the development as shown on Development Permit DP13/0464, DP13/0464A and DP13/0464B.
4. Prior to new titles being issued for the units shown on the endorsed drawings, confirmation shall be provided to Development Assessment Services (in the form of an email addressed to the Power and Water Corporation) demonstrating that the Power and Water Corporation has been provided with a copy of the survey plan with the new lot numbers. This is for the purpose of ensuring the relevant Power and Water Information and Billing System is updated. Please provide a copy of an email addressed to both landdevelopmentnorth@powerwater.com.au and powerconnections@powerwater.com.au.
5. Prior to new titles being issued for the units shown on the endorsed drawings, confirmation shall be provided to Development Assessment Services (in the form of an email addressed to the Power and Water Corporation) from a suitable qualified professional (being the Licensed Surveyor in most instances) confirming that all new UTS number labels have been correctly installed at the Customer's Metering Panel(s). Please provide a copy of an email addressed to both landdevelopmentnorth@powerwater.com.au and powerconnections@powerwater.com.au.
6. Prior to new titles being issued, it shall be confirmed by the consent authority that all areas shown on the plans endorsed by the consent authority through Development Permit DP13/0464, DP13/0464A and DP13/0464B as service authority easements, communal open space, shared driveways, or areas set aside for the communal storage and collection of garbage or other solid waste, or other shared amenities are shown of the survey plan as Common Property.

NOTES

1. This permit will expire if one of the following circumstances applies:
 - (a) the development and use is/are not started within two years of the date of this permit; or
 - (b) the development is not completed within four years of the date of this permit.

The consent authority may extend the periods referred to if a request is made in writing before the permit expires.

2. As part of any subdivision, the parcel numbers for addressing should comply with the Australian Standard (AS/NZS 4819:2011).

For more information contact Survey and Land Records surveylandrecords@nt.gov.au 08 8995 5354. The numbers shown on the plans endorsed as forming part of this permit are indicative only and are not for addressing purposes.

Note

Based on architectural plan "130405-C01 Rev 6"
 Easements should be confirmed with current
 Certificate of Title
 Areas and dimensions are subject to survey

PU1 denotes Principal Unit Numbering

 denotes Principal Common Property

- Stage 1 - Creation of Principal Units and Unit Titling of PU1
- Stage 2 - Unit Titling of PU2
- Stage 3 - Unit Titling of PU3
- Stage 4 - Unit Titling of PU4
- Stage 5 - Unit Titling of PU5

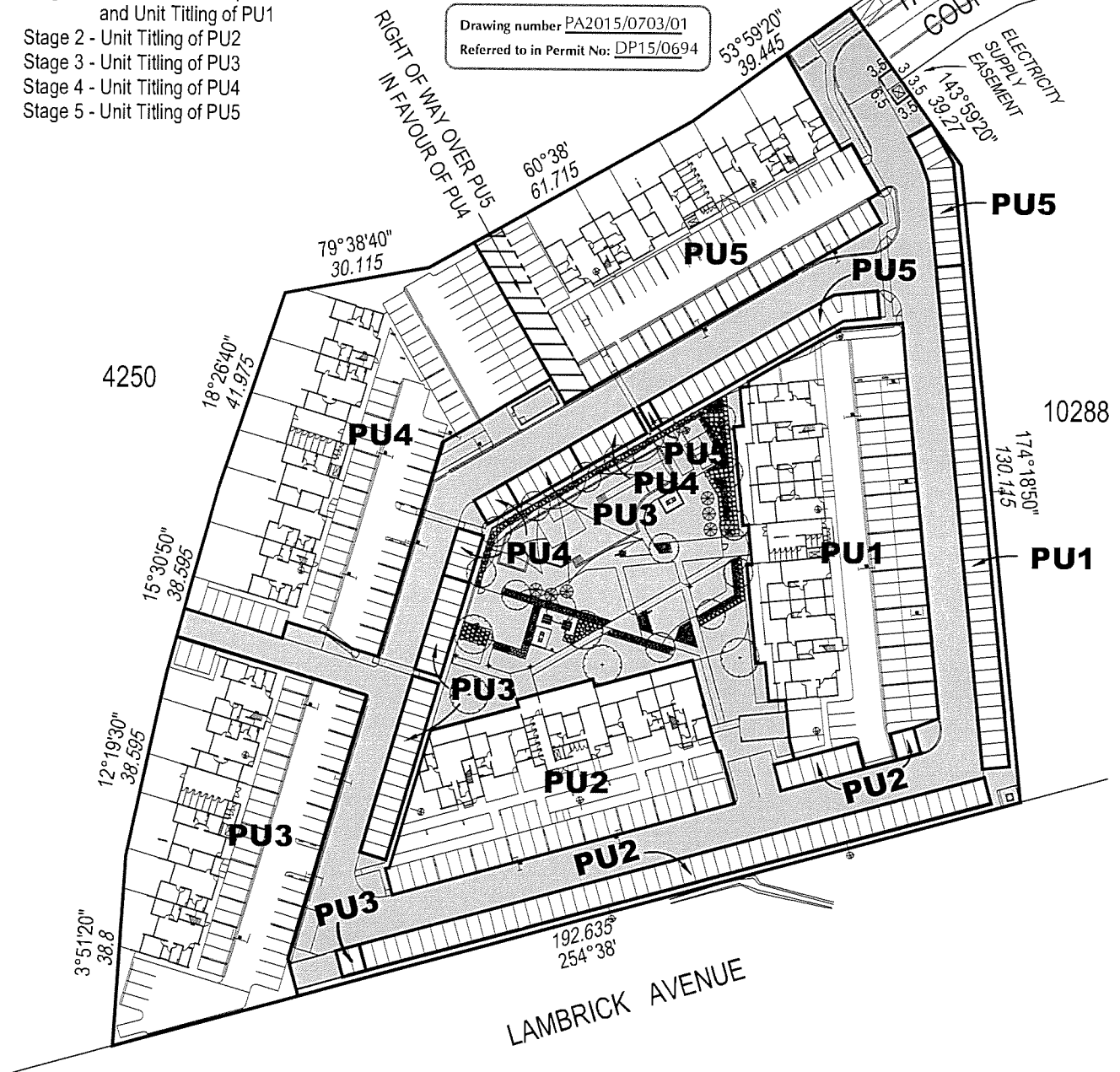
This document contains drawing numbers:
 2015/0703/01 through to 2015/0703/21
 Referred to in Permit No: DP15/0694
 Issued by the consent authority on: 09/11/2015

All drawings contained within this document have been authorised
 by the delegate of the consent authority.

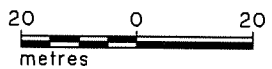
Deborah Curry
 2015 11 09 10:41:50
 429 BC

Delegate

Drawing number: PA2015/0703/01
 Referred to in Permit No: DP15/0694



.....
 Licensed Surveyor Date



Drawn by:	RM
Date:	15.09.15
Cad File:	8769-2G.DWG
Scale:	1:1250 (A4)
Datum:	
Drawing No:	15/8769/2G

eja
 earl james & associates

SURVEY & PLANNING
 CONSULTANTS
 10 HARVEY STREET
 DARWIN NT 0801
 PH. (08) 89812494
 FAX. (08) 89815205
 darwin@eja.com.au

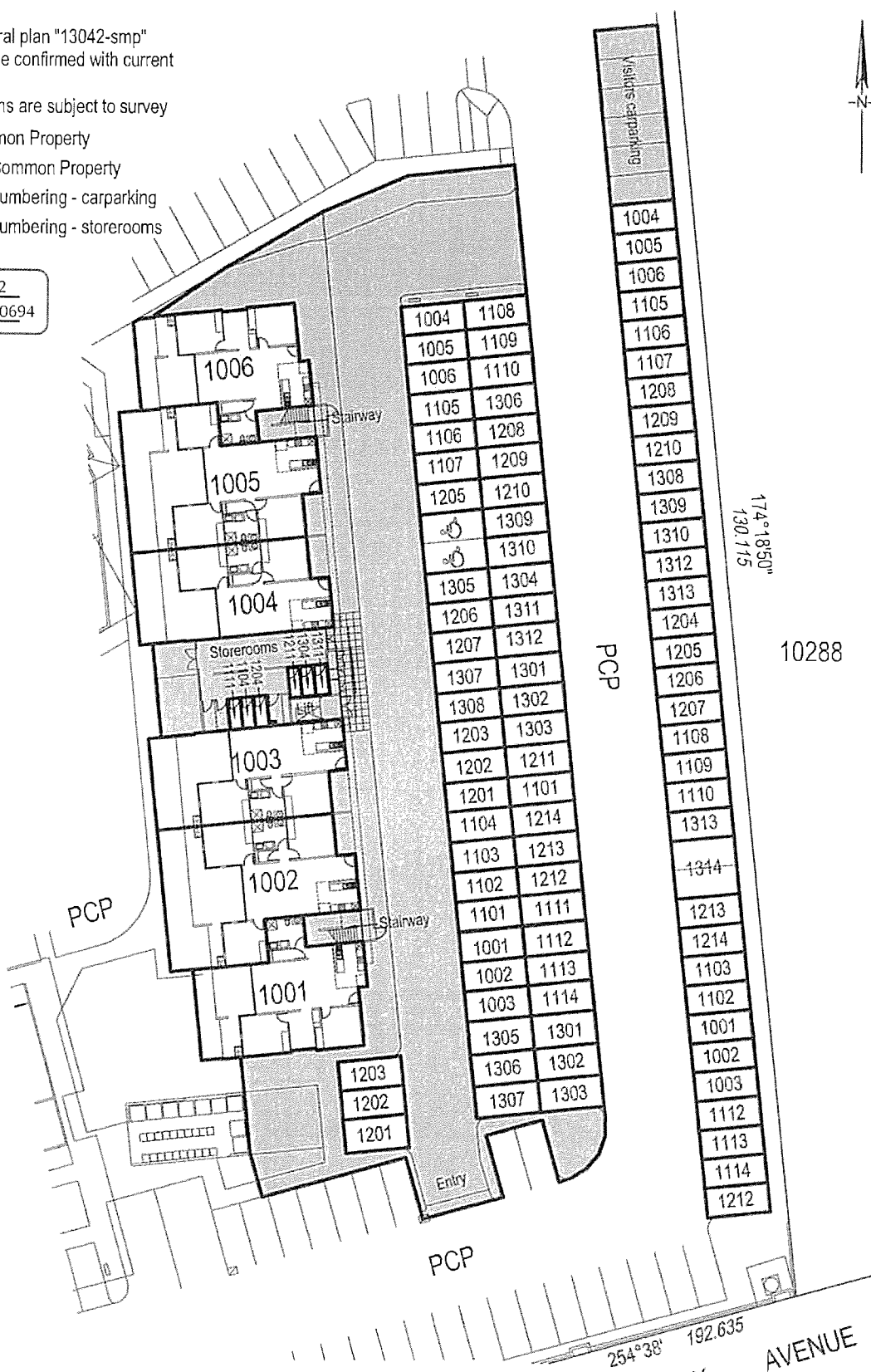
LOT 10286
TOWN OF PALMERSTON
PRINCIPAL UNITS - GROUND FLOOR
 Client: **NORBUILT**

Note

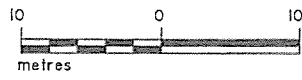
Based on architectural plan "13042-smp"
 Easements should be confirmed with current
 Certificate of Title
 Areas and dimensions are subject to survey

- PU1 Common Property
- PCP Principal Common Property
- 1001 Part Unit numbering - carparking
- 1001 Part Unit numbering - storerooms

Drawing number 2015/0703/02
 Referred to in Permit No: DP15/0694



..... Licensed Surveyor Date



Drawn by:	RM
Date:	9.09.15
Cad File:	8759-3E.DWG
Scale:	1:500 (A4)
Datum:	
Drawing No:	15/8769/3E

earl james & associates

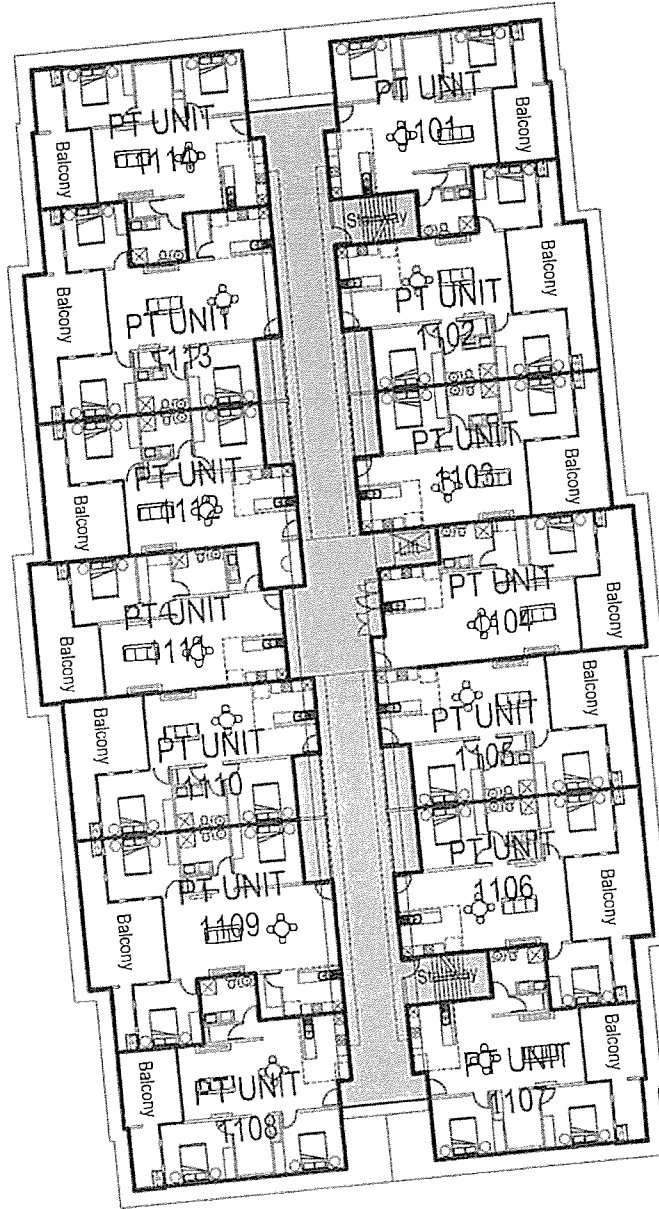
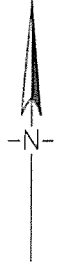
SURVEY & PLANNING CONSULTANTS
 10 HARVEY STREET
 DARWIN NT 0801

PH. (08) 89812494
 FAX. (08) 89815205
 darwin@eja.com.au

LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU1 - GROUND FLOOR
 Client: **NORBUILT**

254°38' 192.635
LAMBRICK AVENUE

Drawing number 2015/0703/03
 Referred to in Permit No: DP15/0694

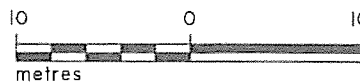


Note

All areas and dimensions are subject to survey
 Based on Architectural Drawing "first floor"
 Unit boundaries are centreline of walls and extremities
 of balconies

denotes Common Property

.....
 Licensed Surveyor Date



Drawn by:	RM
Date:	17.07.15
Cad File:	8769-4A.DWG
Scale:	1:400 (A4)
Datum:	
Drawing No:	15/8769/4A



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 CONSULTANTS**
 10 HARVEY STREET
 DARWIN NT 0801

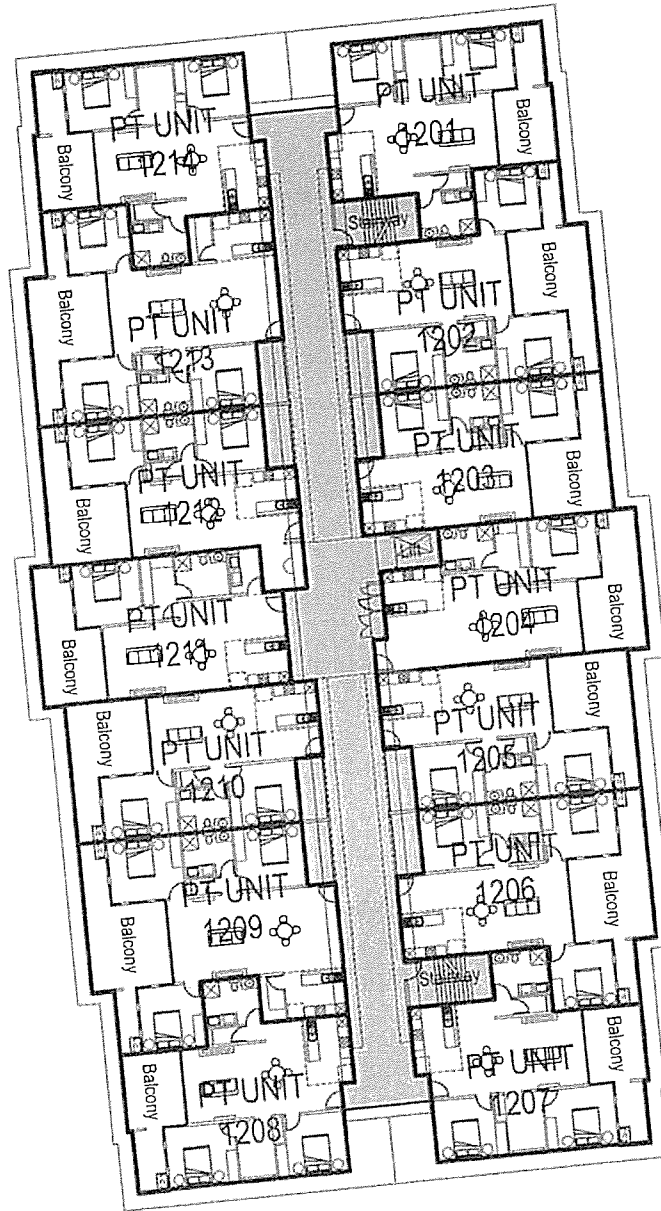
PH. (08) 89812494
 FAX. (08) 89815205
 darwin@eja.com.au

**LOT 10286
 TOWN OF PALMERSTON**

UNIT TITLES - PU1 - FIRST FLOOR

Client: **NORBUILT**

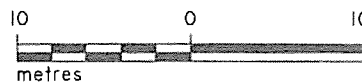
Drawing number 2015/0703/04
 Referred to in Permit No: DP15/0694



Note
 All areas and dimensions are subject to survey
 Based on Architectural Drawing "first floor"
 Unit boundaries are centreline of walls and extremities
 of balconies

denotes Common Property

.....
 Licensed Surveyor Date



Drawn by:	RM
Date:	17.07.15
Cad File:	0769-5A.DWG
Scale:	1:400 (A4)
Datum:	
Drawing No:	15/8769/5A



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 CONSULTANTS**
 10 HARVEY STREET
 DARWIN NT 0801

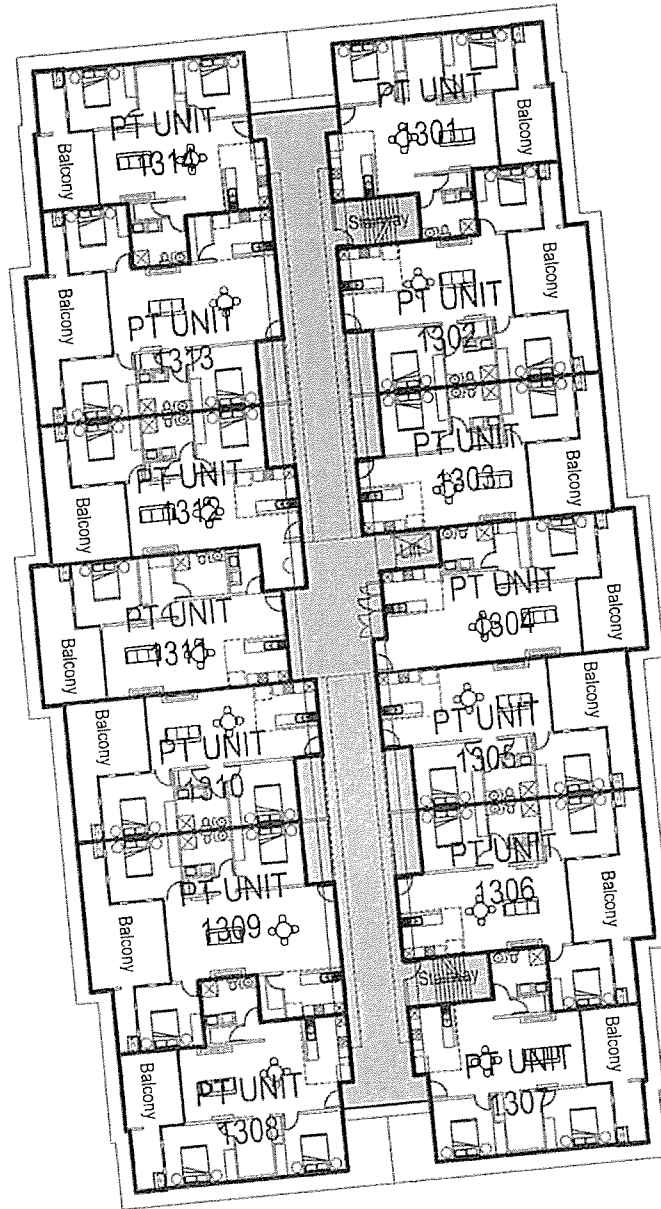
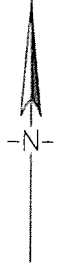
PH. (08) 89812494
 FAX. (08) 89815205
 darwin@eja.com.au

**LOT 10286
 TOWN OF PALMERSTON**

UNIT TITLES - PU1 - SECOND FLOOR

Client: **NORBUILT**

Drawing number 2015/0703/05
 Referred to in Permit No: DP15/0694

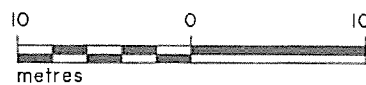


Note

All areas and dimensions are subject to survey
 Based on Architectural Drawing "first floor"
 Unit boundaries are centreline of walls and extremities
 of balconies

denotes Common Property

.....
 Licensed Surveyor Date



Drawn by:	RM
Date:	17.07.15
Cad File:	8769-6A.DWG
Scale:	1:400 (A4)
Datum:	
Drawing No:	15/8769/6A



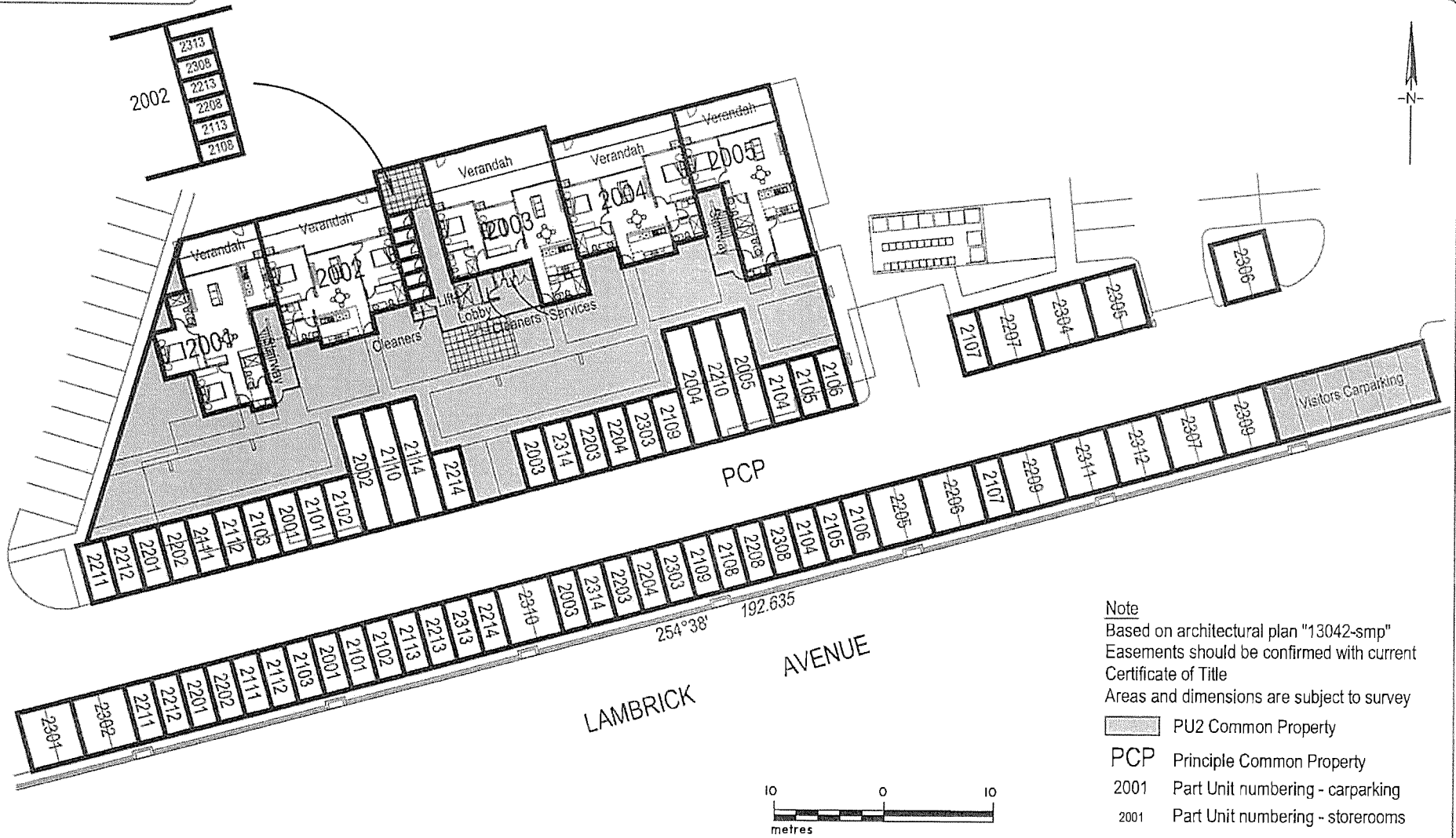
**SURVEY & PLANNING
 CONSULTANTS**
 10 HARVEY STREET
 DARWIN NT 0801
 PH. (08) 89812494
 FAX. (08) 89815205
 darwin@eja.com.au

**LOT 10286
 TOWN OF PALMERSTON**

UNIT TITLES - PU1 - THIRD FLOOR

Client: **NORBUILT**

Drawing number 2015/0703/06
 Referred to in Permit No: DP15/0694



Note
 Based on architectural plan "13042-smp"
 Easements should be confirmed with current
 Certificate of Title
 Areas and dimensions are subject to survey

PU2 Common Property
 PCP Principle Common Property
 2001 Part Unit numbering - carparking
 2001 Part Unit numbering - storerooms

eja
 earl james & associates

SURVEY & PLANNING CONSULTANTS
 10 HARVEY STREET
 DARWIN NT 0801

PH. (08) 89812494
 FAX. (08) 89615205
 darwin@eja.com.au

LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU2 - GROUND FLOOR


Client: **NORBUILT**

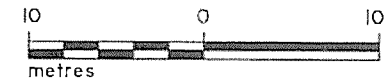
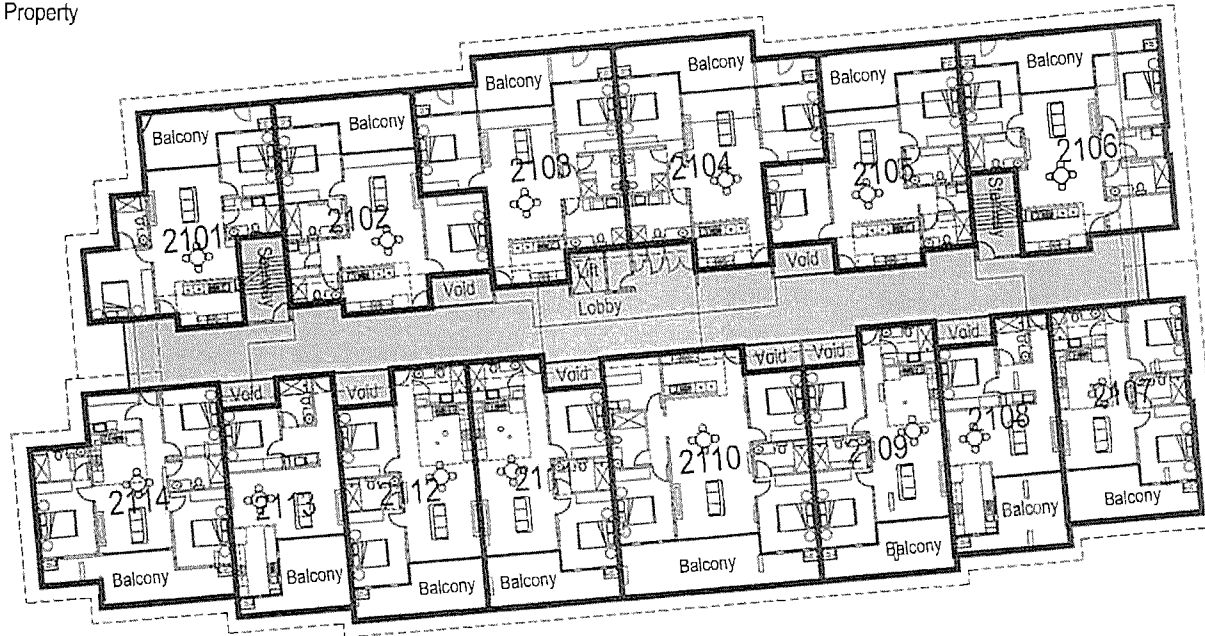
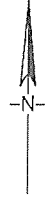
Licensed Surveyor: Date:	Scale: 1:500 (A4) Datum:
Drawn by: RM Date: 26.06.15 Cad File: 8769-7B.DWG	Drawing No: 15/8769/7B

Drawing number 2015/0703/07
 Referred to in Permit No: DP15/0694

Note
 All areas and dimensions are subject to survey
 Based on Architectural Drawing "13042 B2-mp"
 Unit boundaries are centreline of walls and extremities
 of balconies

2101 denotes Part Unit numbering

 denotes Common Property



eja
 SURVEY & PLANNING CONSULTANTS
 10 HARVEY STREET
 DARWIN NT 0801
 PH. (08) 89812494
 FAX. (08) 89815205
 earl james & associates darwin@eja.com.au

LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU2 - FIRST FLOOR
 Client: **NORBUILT**


Licensed Surveyor: Date:	Scale: 1:400 (A4) Datum:
Drawn by: RM	Drawing No:
Date: 26.06.15	15/8769/8A
Cad File: 8769-8A.DWG	

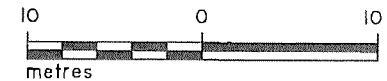
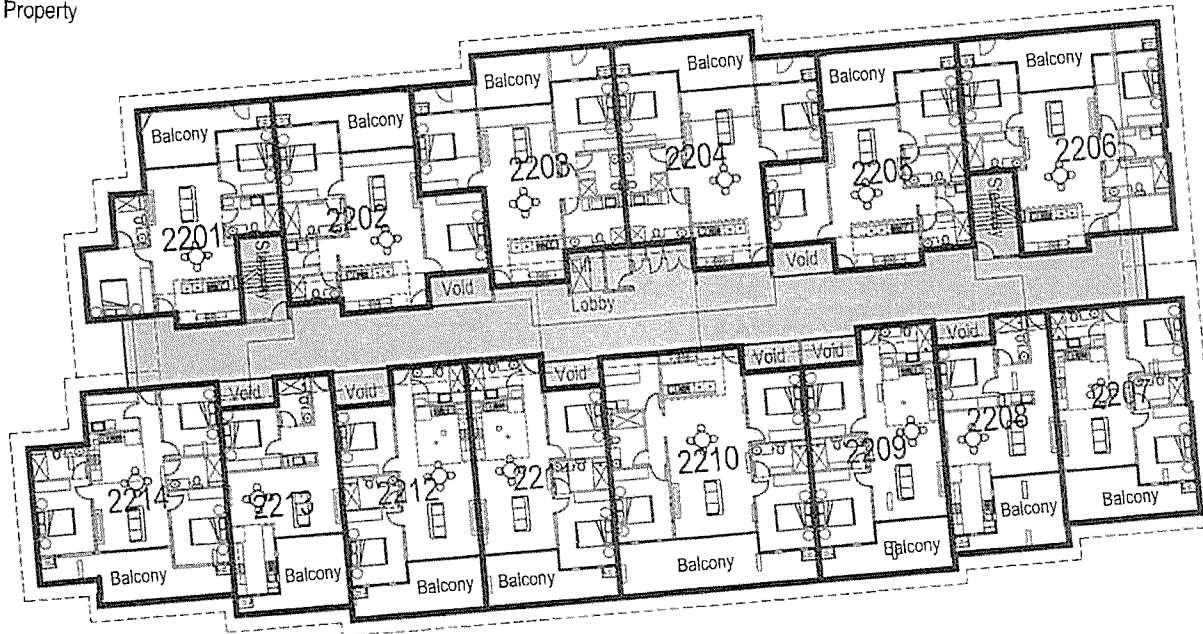
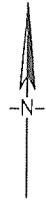
Drawing number 2015/0703/08
 Referred to in Permit No: DP15/0694

Note

All areas and dimensions are subject to survey
 Based on Architectural Drawing "13042 B2-mp"
 Unit boundaries are centreline of walls and extremities
 of balconies

2201 denotes Part Unit numbering

 denotes Common Property



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LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU2 - SECOND FLOOR

Client: **NORBUILT**

Licensed Surveyor: Date:.....	Scale: 1:400 (A4) Datum:
Drawn by: RM Date: 26.06.15 Cad File: 8769-9A.DWG	Drawing No: 15/8769/9A

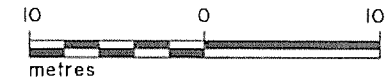
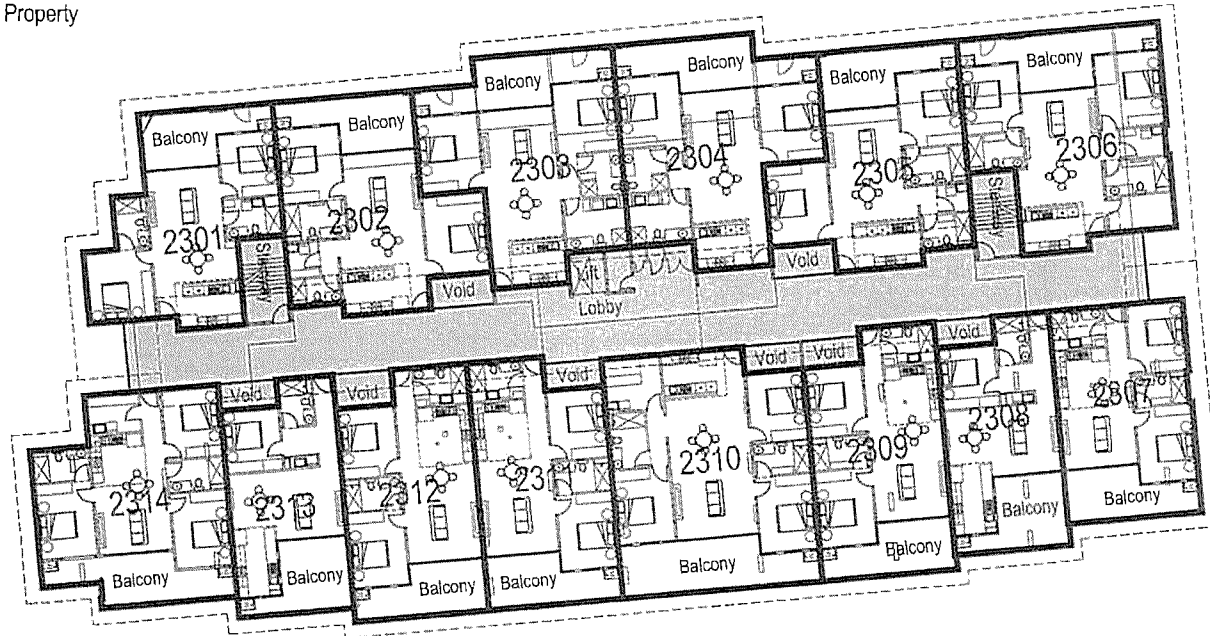
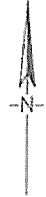
Drawing number 2015/0703/09
 Referred to in Permit No: DP15/0694

Note

All areas and dimensions are subject to survey
 Based on Architectural Drawing "13042 B2-mp"
 Unit boundaries are centreline of walls and extremities
 of balconies

2301 denotes Part Unit numbering

 denotes Common Property

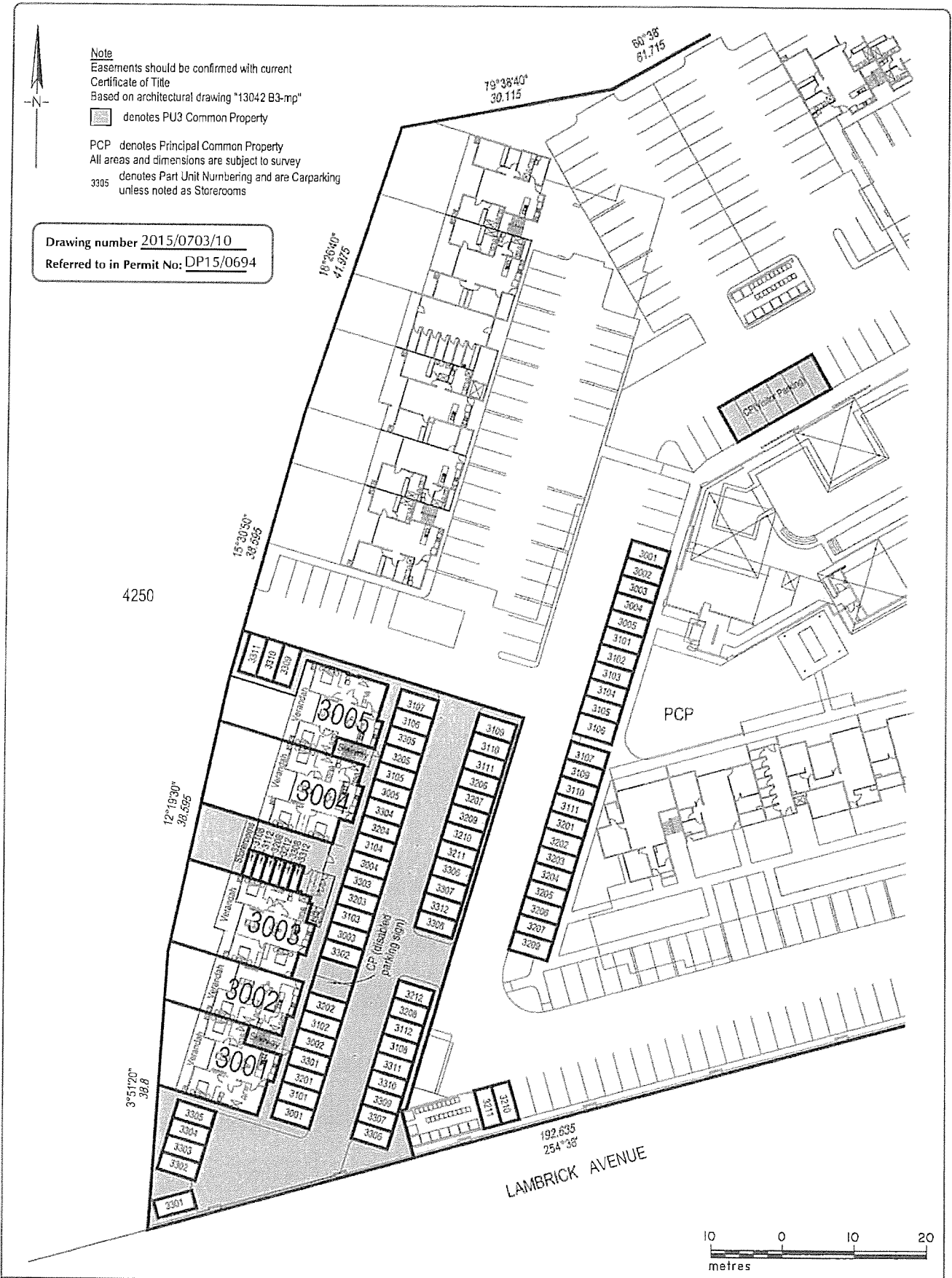


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LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU2 - THIRD FLOOR

Client: **NORBUILT**

Licensed Surveyor: Date:.....	Scale: 1:400 (A4) Datum:
Drawn by: RM Date: 26.06.15 Cad File: 8769-10A.DWG	Drawing No: 15/8769/10A



Drawing number 2015/0703/10
 Referred to in Permit No: DP15/0694

Note
 Easements should be confirmed with current Certificate of Title
 Based on architectural drawing "13042 B3-mp"
 [Symbol] denotes PU3 Common Property
 PCP denotes Principal Common Property
 All areas and dimensions are subject to survey
 3305 denotes Part Unit Numbering and are Carparking unless noted as Storerooms

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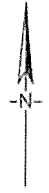
LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU3 - GROUND FLOOR
 Client: **NORBUILT**

Licensed Surveyor:	Scale: 1:500 (A3)
Date:	Datum:
Drawn by: RM	Drawing No:
Date: 9/9/15	15/8769/13C
Cad File: 8769-13C.DWG	

Note

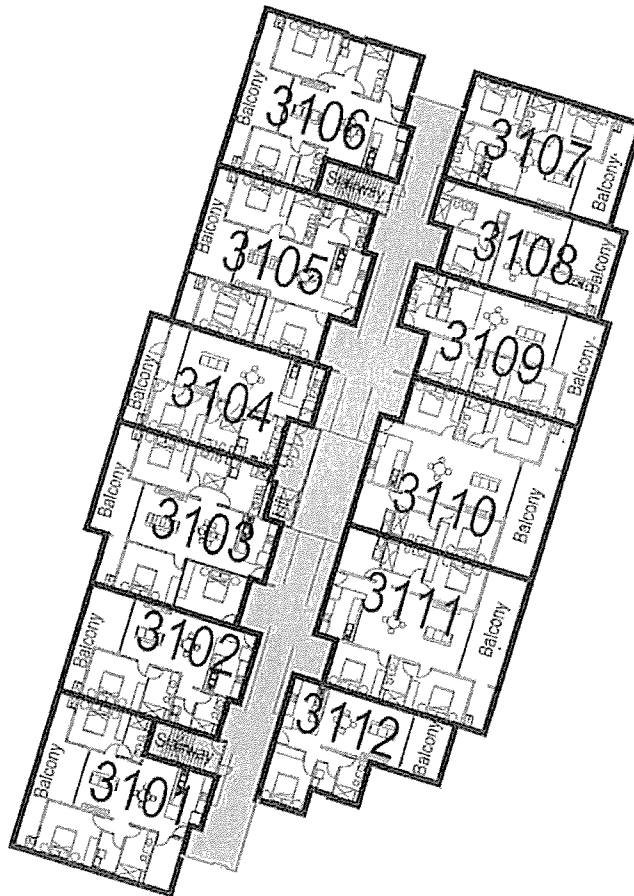
Easements should be confirmed with current
Certificate of Title
Based on architectural drawing "13042 B3-mp"

 denotes PU3 Common Property

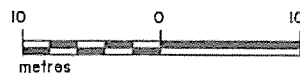


All areas and dimensions are subject to survey

Drawing number 2015/0703/11
Referred to in Permit No: DP15/0694



.....
Licensed Surveyor Date



Drawn by:	RM
Date:	2.05.15
Cad File:	8769-14.DWG
Scale:	1:500 (A4)
Datum:	
Drawing No:	15/8769/14



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LOT 10286
TOWN OF PALMERSTON

UNIT TITLES - PU3 - FIRST FLOOR

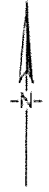
Client: **NORBUILT**

Note

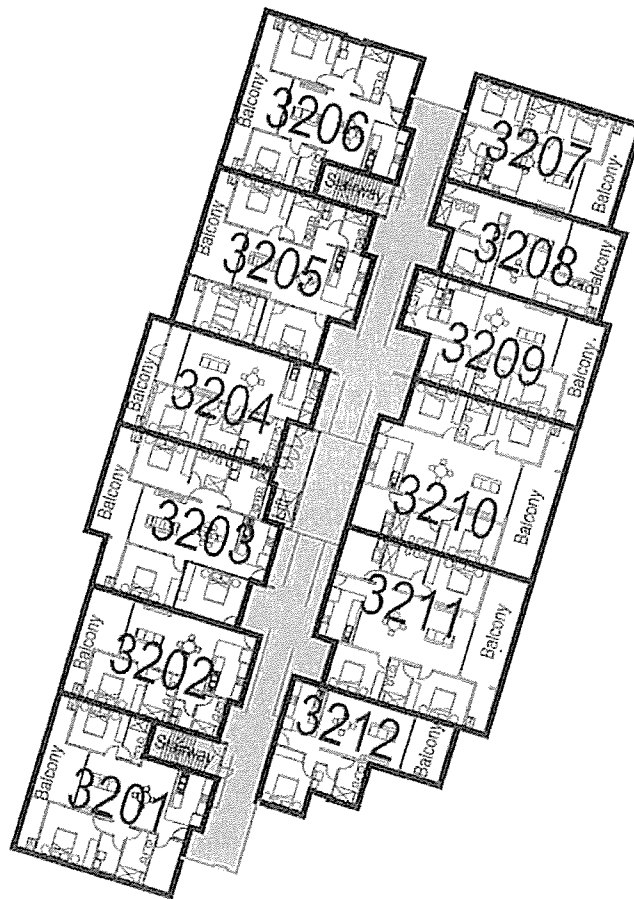
Easements should be confirmed with current Certificate of Title
Based on architectural drawing "13042 B3-mp"

 denotes PU3 Common Property

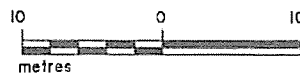
All areas and dimensions are subject to survey



Drawing number 2015/0703/12
Referred to in Permit No: DP15/0694



.....
Licensed Surveyor Date



Drawn by:	RM
Date:	2.06.15
Cad File:	6769-15.DWG

Scale:	1:500 (A4)
Datum:	



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**LOT 10286
TOWN OF PALMERSTON**


UNIT TITLES - PU3 - SECOND FLOOR

Client: **NORBULT**

Drawing No:
15/8769/15

Note

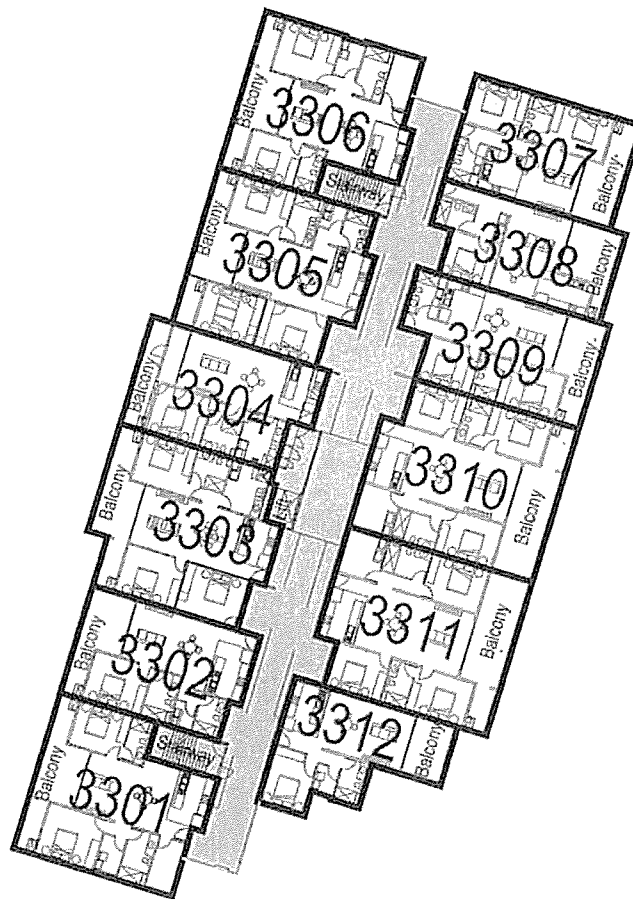
Easements should be confirmed with current Certificate of Title
Based on architectural drawing "13042 B3-mp"

 denotes PU3 Common Property

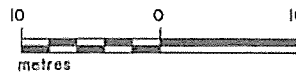
All areas and dimensions are subject to survey



Drawing number 2015/0703/13
Referred to in Permit No: DP15/0694



.....
Licensed Surveyor Date

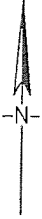


Drawn by:	RM
Date:	2.05.15
Cad File:	0769-16.DWG
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Datum:	
Drawing No:	15/8769/16



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LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU3 - THIRD FLOOR
Client: **NORBUILT**



Note

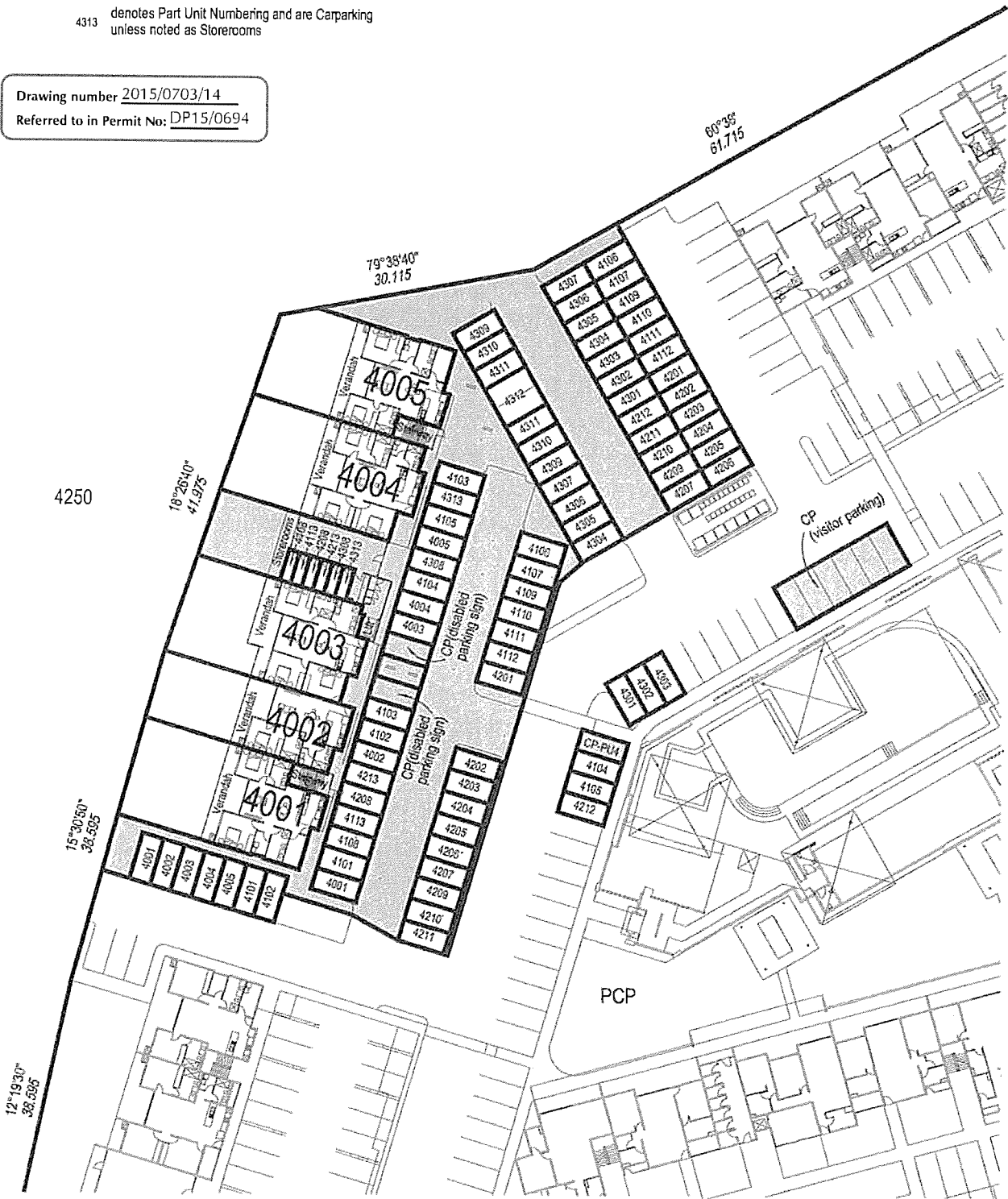
Easements should be confirmed with current Certificate of Title
Based on architectural drawing "13042 B4-mp"

denotes PU4 Common Property

PCP denotes Principal Common Property
All areas and dimensions are subject to survey

4313 denotes Part Unit Numbering and are Carparking unless noted as Storerooms

Drawing number 2015/0703/14
Referred to in Permit No: DP15/0694



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LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU4 - GROUND FLOOR

Client: **NORBULT**

Licensed Surveyor:	Scale: 1:500 (A3)
Date:	Datum:
Drawn by: RM	Drawing No:
Date: 15.03.15	15/8769/17F
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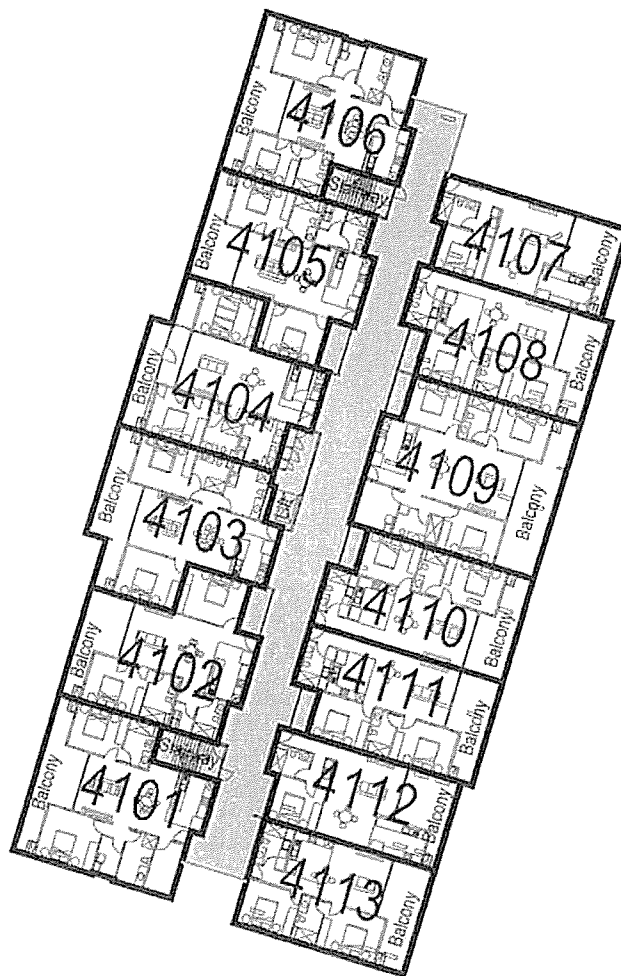
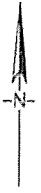
Note

Easements should be confirmed with current
Certificate of Title
Based on architectural drawing "13042 B4-mp"

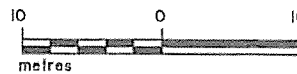
 denotes PU4 Common Property

All areas and dimensions are subject to survey

Drawing number 2015/0703/15
Referred to in Permit No: DP15/0694



.....
Licensed Surveyor Date



Drawn by:	RM
Date:	9.09.15
Cad File:	8769-18A.DWG
Scale:	1:500 (A4)
Datum:	
Drawing No:	15/8769/18A




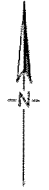
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LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU4 - FIRST FLOOR
Client: **NORBUILT**

Note

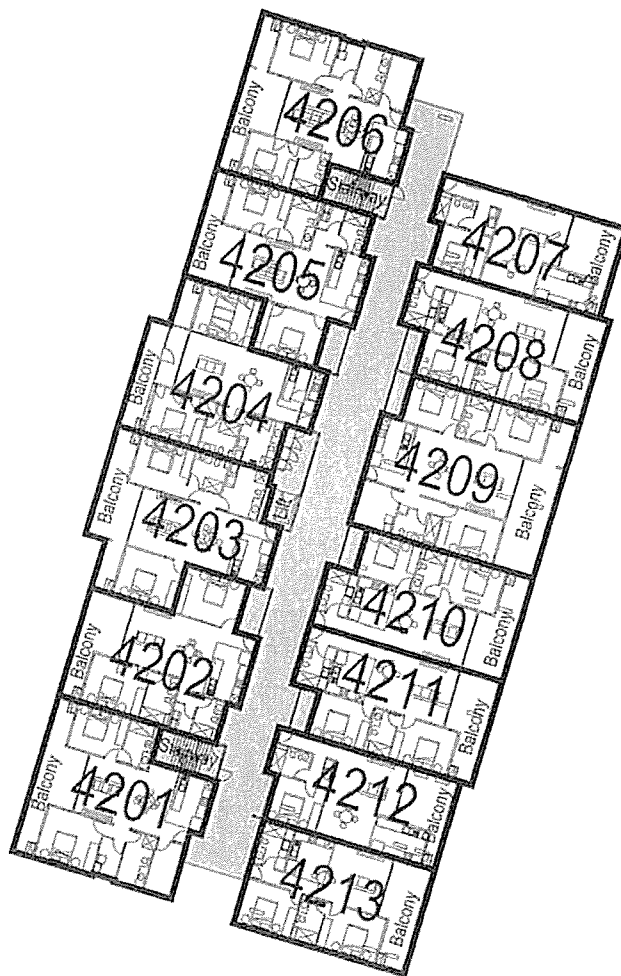
Easements should be confirmed with current
Certificate of Title
Based on architectural drawing "13042 B4-mp"

 denotes PU4 Common Property

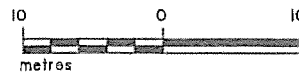


All areas and dimensions are subject to survey

Drawing number 2015/0703/16
Referred to in Permit No: DP15/0694



.....
Licensed Surveyor Date



Drawn by:	RM
Date:	9.09.15
Cad File:	8769-19A.DWG
Scale:	1:500 (A4)
Datum:	
Drawing No:	15/8769/19A




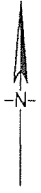
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LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU4 - SECOND FLOOR
Client: **NORBUILT**

Note

Easements should be confirmed with current
Certificate of Title
Based on architectural drawing "13042 B4-mp"

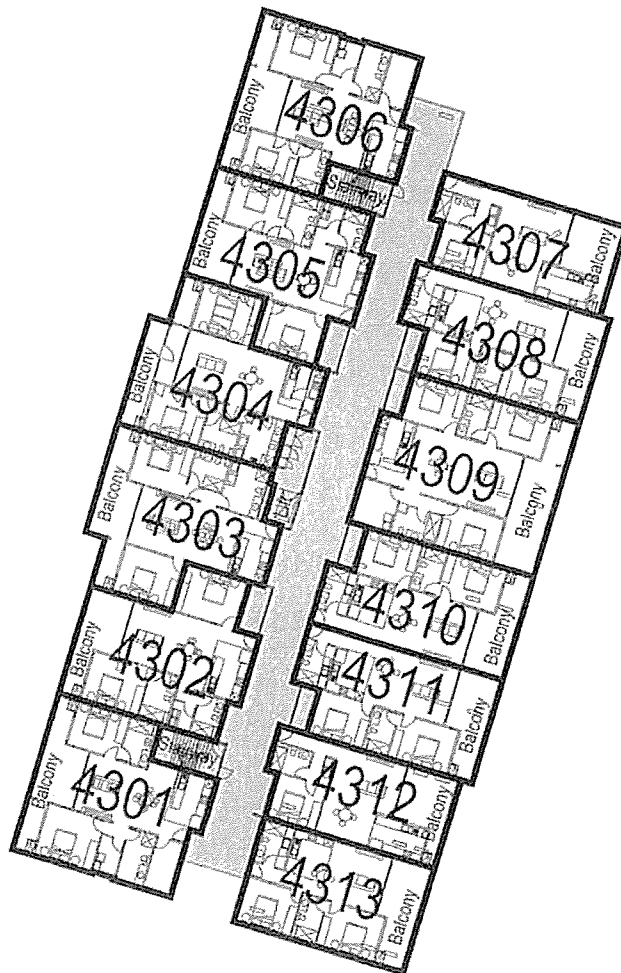
 denotes PU4 Common Property



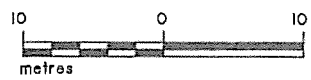
All areas and dimensions are subject to survey

Drawing number 2015/0703/17

Referred to in Permit No: DP15/0694



.....
Licensed Surveyor Date



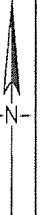
Drawn by:	RM
Date:	9.09.15
Cad File:	8769-20A.DWG
Scale:	1:500 (A4)
Datum:	
Drawing No:	15/8769/20A

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LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU4 - THIRD FLOOR

Client: **NORBUILT**



Note

Easements should be confirmed with current Certificate of Title
Based on architectural drawing "130405-C01 Rev 6"

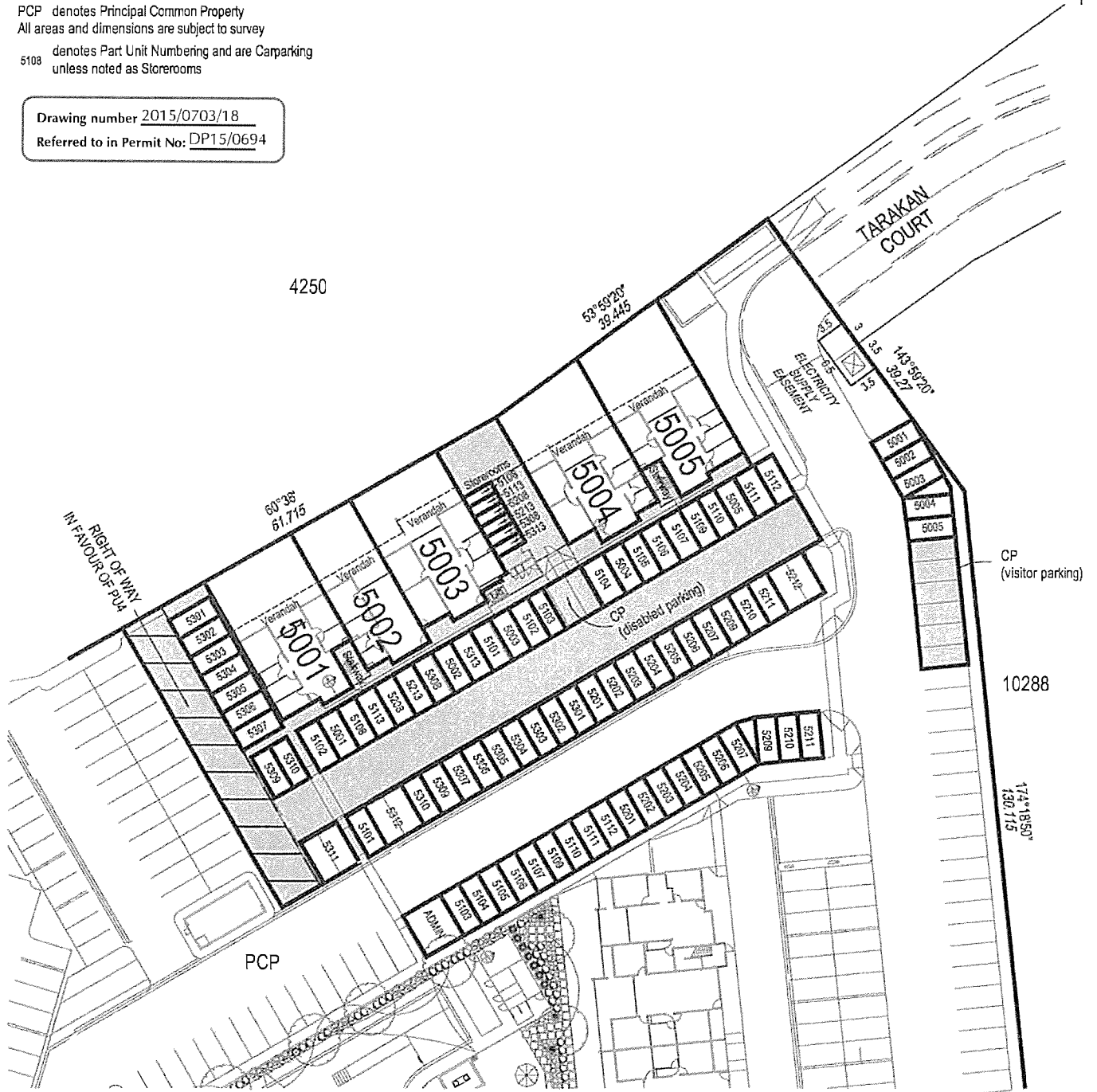
denotes PU5 Common Property

PCP denotes Principal Common Property
All areas and dimensions are subject to survey

5103 denotes Part Unit Numbering and are Carparking unless noted as Storerooms

Drawing number 2015/0703/18

Referred to in Permit No: DP15/0694



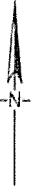
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LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU5 - GROUND FLOOR


Client: **NORBUILT**

Licensed Surveyor:	Scale: 1:500 (A3)
Date:	Datum:
Drawn by: RM	Drawing No:
Date: 15/09/15	15/8769/21F
Cad File: 8769-21F.DWG	



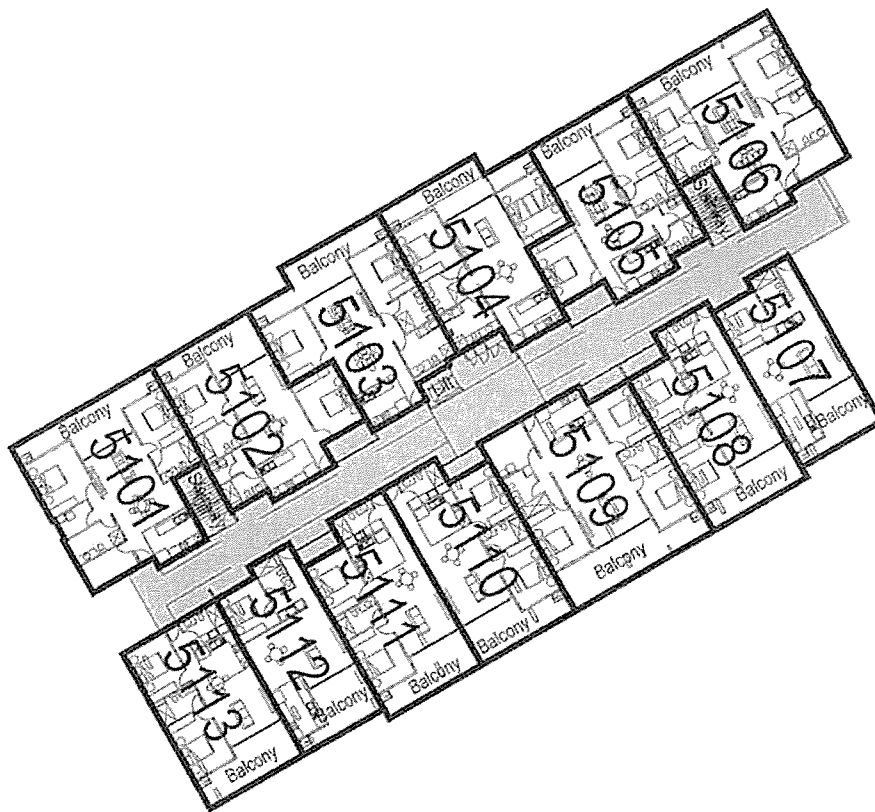
Note

Easements should be confirmed with current
Certificate of Title
Based on architectural drawing "13042 B5-mp"

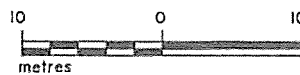
 denotes PU5 Common Property

All areas and dimensions are subject to survey

Drawing number 2015/0703/19
Referred to in Permit No: DP15/0694



.....
Licensed Surveyor Date

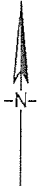


Drawn by:	RM
Date:	9.09.15
Cad File:	0769-22A.DWG
Scale:	1:500 (A4)
Datum:	
Drawing No:	15/8769/22A




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**LOT 10286
TOWN OF PALMERSTON**
UNIT TITLES - PU5 - FIRST FLOOR
Client: **NORBUILT**



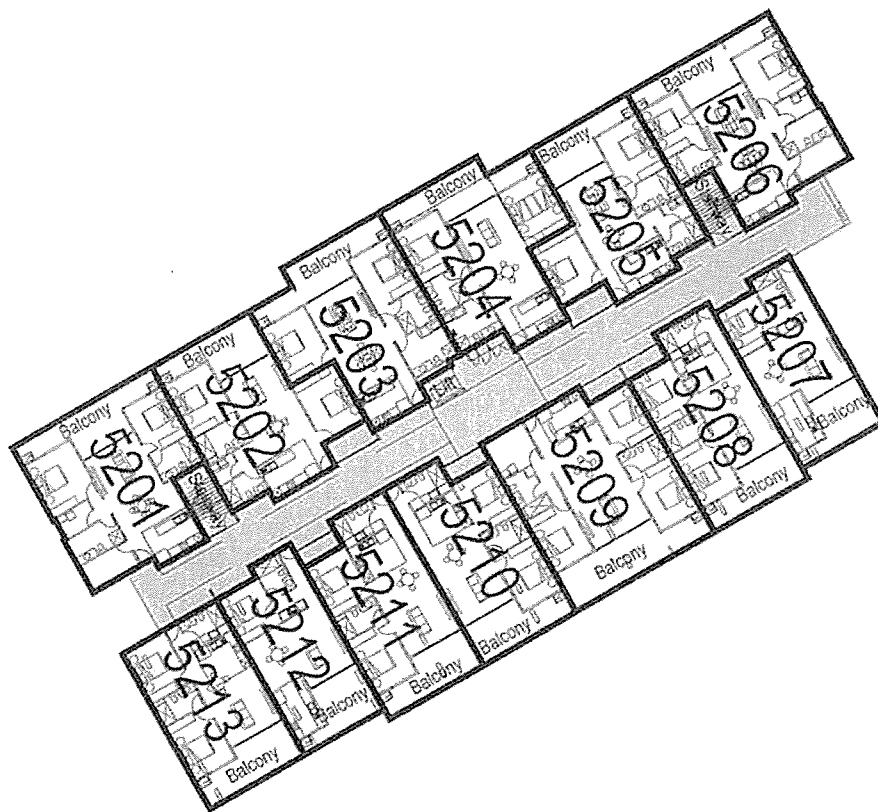
Note

Easements should be confirmed with current
Certificate of Title
Based on architectural drawing "13042 B5-mp"

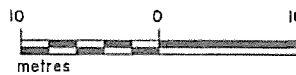
 denotes PU5 Common Property

All areas and dimensions are subject to survey

Drawing number 2015/0703/20
Referred to in Permit No: DP15/0694



.....
Licensed Surveyor Date

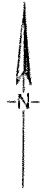


Drawn by:	RM
Date:	9.09.15
Cad File:	9769-23A.DWG
Scale:	1:500 (A4)
Datum:	
Drawing No:	15/8769/23A




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LOT 10286
TOWN OF PALMERSTON
UNIT TITLES - PU5 - SECOND FLOOR
Client: **NORBUILT**



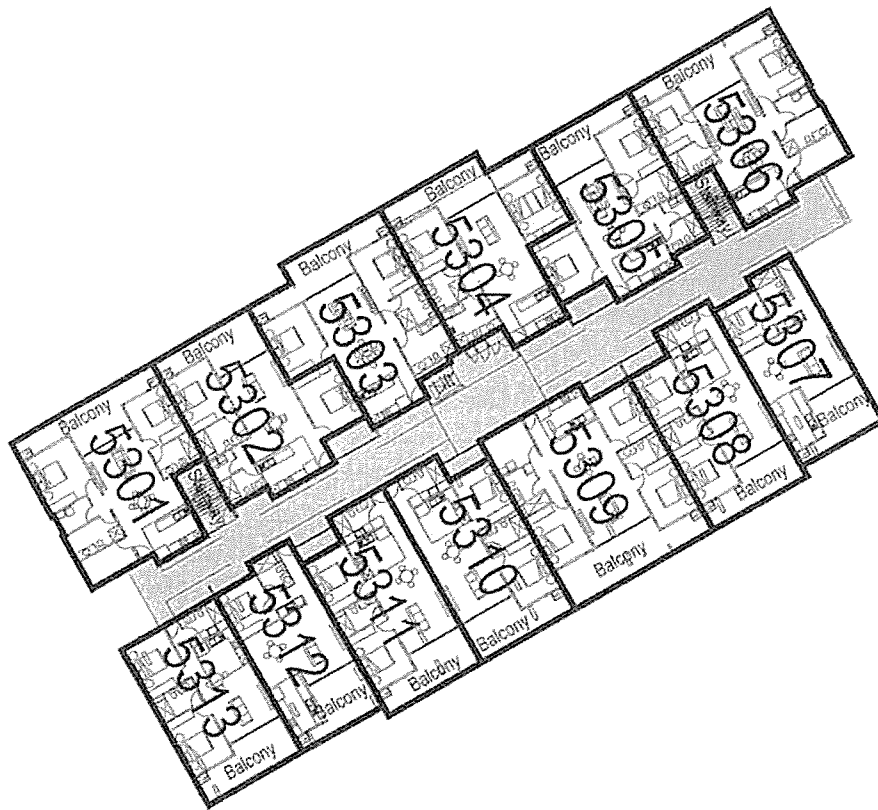
Note

Easements should be confirmed with current
Certificate of Title
Based on architectural drawing "13042 B5-mp"

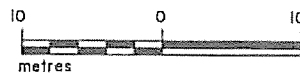
 denotes PU5 Common Property

All areas and dimensions are subject to survey

Drawing number 2015/0703/21
Referred to in Permit No: DP15/0694



.....
Licensed Surveyor Date



Drawn by:	RM
Date:	9.09.15
Cad File:	8769-24A.DWG
Scale:	1:500 (A4)
Datum:	
Drawing No:	15/8769/24A



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**LOT 10286
TOWN OF PALMERSTON**

UNIT TITLES - PU5 - THIRD FLOOR

Client: **NORBUILT**



Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8980 0700

In reply please quote: PA2023/0324

Bruce Baldey
brucebaldey@gmail.com

Dear Mr Baldey

NOTICE OF CONSENT (SECTION 53B OF THE *PLANNING ACT 1999*) UNITS 13888 (APT 2) AND 13892 (COMMON PROPERTY), (11) TARAKAN COURT, JOHNSTON, TOWN OF PALMERSTON

The Development Consent Authority has determined, to vary the requirements of Clauses 5.2.4.4 Layout of car parking areas, 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures, 5.4.7 Communal Open Space, and 5.4.8.2 Building Design for Dwelling-multiple of the Northern Territory Planning Scheme 2020, and, pursuant to section 53(a) of the *Planning Act 1999*, grant consent to the proposal to use and develop the abovementioned land for the purpose of dwelling-multiple (13 x 3 bedroom, 12 x 2 bedroom and 2 x 1 bedrooms) in 1 x 3 storey building, subject to the conditions specified on the attached Development Permit DP23/0304.

Reasons for the Determination

1. Pursuant to section 51(1)(a) of the *Planning Act 1999*, the consent authority must take into consideration the planning scheme that applies to the land to which the application relates.

The NT Planning Scheme 2020 applies to the land and dwelling-multiple requires consent under Clause 1.8 (When development consent is required). It is identified as *Merit Assessable* under Clause 1.8(1)(b)(ii)(2), therefore the zone purpose and outcomes of Clause 4.4 Zone MR Medium Density Residential, and Clauses 5.2.1 General Height Control, 5.2.4 Car Parking, 5.2.6 Landscaping, 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures, 5.4.4 Extensions and Structures Ancillary to a Dwelling-group or Dwelling-Multiple Development, 5.4.6 Private Open Space, 5.4.7 Communal Open Space, 5.4.8 Residential Building Design, 5.4.17 Building Articulation, 5.4.18 Fencing, and 5.4.19 Residential Plot Ratio need to be considered.

These clauses have been considered and it is found that the proposal complies with the relevant requirements of the Planning Scheme except for Clauses 5.2.4.4 Layout of car parking areas, 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures, 5.4.7 Communal Open Space, and 5.4.8.2 Building Design for Dwelling-multiple.

The proposal is within Zone MR (Medium Density Residential), of which the purpose is to "Provide for a range of mid-rise housing options close to community facilities, commercial uses, commercial uses, public transport or open space, where reticulated services can support medium density residential development." As a three storey residential development, the proposal is consistent with the Zone Purpose and Zone Outcome 1, which provides the land is for

"Predominately medium density residential developments generally not exceeding four storeys."
The proposal achieves compliance with the Part 5 requirements for building height, car parking spaces, building setbacks to the residential building, private open space, building articulation and plot ratio.

2. Pursuant to Clause 1.10 (Exercise of Discretion by the Consent Authority), subclause 5 of the NT Planning Scheme 2020, the consent authority may consent to a proposed development which is not in accordance with a requirement set out in Parts 3, 5 or 6 only if it is satisfied that the variation is appropriate having regard to:
 - (a) The purpose and administration clauses of the requirement; and
 - (b) The considerations listed under Clause 1.10(3) or 1.10(4).

It is considered that a variation to the affected clauses is appropriate in this instance because:

(a) Clause 5.2.4.4 Layout of car parking areas

The purpose of this clause is to, *"Ensure that a car parking area is appropriately designed, constructed and maintained for its intended purpose."* The proposal has been found not in accordance with Clause 5.2.4.4 as the plans include a 1m setback from Lambrick Avenue to car parking spaces only, when 3m of landscaping is required. The consent authority may vary this requirement, *"...if it is satisfied that the non-compliance will not unreasonably impact on the amenity of the surrounding locality."*

The existing unit title boundaries are noted as providing a limit to the possible extent of compliance with this requirement, establishing boundaries to areas suitable for use as driveways and car parking for each unit. As the non-compliance is behind an existing 2.5m blockwork wall, and will not be visible from the affected frontage, the consent authority determined this not result in any unreasonable impact on the amenity of the locality.

Clause 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures

The purpose of this clause is to, *"Ensure that residential buildings and ancillary structures are located in a manner that:*

- (a) *is compatible with the streetscape and surrounding development including residential buildings on the same site;*
- (b) *minimises adverse effects of building massing when viewed from adjoining land and the street;*
- (c) *avoids undue overlooking of adjoining properties; and*
- (d) *facilitates breeze penetration through and between buildings.."*

The proposal complies with the minimum setbacks for the residential building, however does not meet the secondary street setback for the carport adjacent to Lambrick Avenue:

- 4.5m is required for residential buildings and ancillary structures, and 1.2m proposed to the carport posts; and
- 2.1m is required to the carport roof and 0.9m proposed.

The consent authority may consent to a development that is not in accordance with this requirement, only *"...if it is satisfied that the reduced setback is consistent with the purpose of this clause and it is appropriate to the site having regard to such matters as its location, scale and impact on adjoining and nearby property."* The site has an existing 2.5m boundary fence constructed along the Lambrick Avenue frontage, reducing direct views of the reduced setback. The carport height nearest the fence is also 2.5m in height, increasing to 3.2m towards the north. The consent authority determined that the carport is considered to be compatible with the streetscape and unlikely to result in any adverse views of building massing, noting it will be largely screened by the 2.5m boundary fence.

Clause 5.4.7 Communal Open Space

The purpose of this clause is to, "Ensure that suitable areas for communal open space are provided for dwellings-multiple, residential care facilities and rooming accommodation." The clause requires a minimum of 15% of the site, being not less than 6m wide at any point, is to be communal open space. The Clause also requires,

"6. Communal open space is to be designed to:

- (a) be clearly delineated from private and public open space;*
- (b) maintain reasonable privacy of nearby dwellings;*
- (c) provide recreational facilities for occupants; address the projected needs of children;*
- (d) include landscaping and shade where located outdoors;*
- (e) minimise safety issues, including through lighting and passive surveillance;*
- (f) minimise the effects of any on-site traffic circulation and car parking areas; and*
- (g) be capable of efficient maintenance and management.*

With an overall site area of 24,900m², the communal open space for the overall development is required to be 3,735m². The proposal includes communal open space of 3,102m², or 12.5% of the total site area only. Administratively, the consent authority may consent to a development not in accordance with the above requirements, "if it is satisfied the communal open space has usable dimensions and is of a sufficient size for the development." The existing unit title boundaries are noted as providing a limit to the possible extent of communal open space. The site is also noted as being within close proximity to Council owned Hobart Park, which includes a playground, obstacle course, and half basketball court. Overall, the consent authority determined that the central landscaped area provides useable dimensions and is of reasonable size for the development.

Clause 5.4.8.2 Building Design for Dwelling-multiple.

The purpose of this clause is to, "Promote site-responsive design of dwellings-multiple that provides a sympathetic interface with the streetscape and surrounding dwellings, is climatically appropriate and provides a pleasant living environment for the occupants." Unit 13 - 17 and 23 - 27 do not meet the below requirement:

"13. Balconies are to provide at least:

- (a) One side without an external wall; and*
- (b) One side without an external wall for more than 50% of the length of that side."*

The consent authority may vary this requirement "...if it is satisfied that the balcony design allows for sufficient breeze penetration and limits the appearance of building massing when viewed from the public domain." Whilst the balconies to units 14 - 16 and 24 - 26 are enclosed on either end by solid walls rather than achieving 50% open to one side, each balcony is substantially larger than the minimum 12m² private open space required, each providing 22m² overall. The design with extended "wings" either side of the central area still allow for sufficient breeze penetration within the building, as illustrated in the figure below. The building is setback 12.3m which is triple the minimum 4.5m required setback. Some articulation occurs with each corner unit balcony being setback 1m further than the central balconies.

The corner balconies to units 13, 17, 23, 27 are noted as minor non-compliance only with a 45% opening to the second side rather than the 50% required and unlikely to significantly impact breezes, with these units also including secondary balconies at each end reducing the appearance of building massing. Overall the consent authority determined that the balcony design allows for sufficient breeze penetration and sufficiently limits the appearance of building massing when viewed from the public domain.

- (b) The considerations listed under Clause 1.10(4) have been given regard to and it has been found that the proposal complies with all relevant requirements of the NT Planning Scheme 2020, except for the Clauses as identified above.

3. Pursuant to section 51(1)(j) of the *Planning Act 1999*, the consent authority must take into consideration the capability of the land to which the proposed development relates to support the proposed development and the effect of the development on the land and on other land, the physical characteristics of which may be affected by the development.

The parcel was created as part of the broader subdivision of Johnston around 12 years ago. The land has no identifiable land capability issues that would impact on the development.

4. Pursuant to section 51(1)(n) of the *Planning Act 1999*, the consent authority must take into consideration the potential impact on the existing and future amenity of the area in which the land is situated.

Whilst the development will result in a change to the appearance of the site, it is consistent with that expected in Zone MR (Medium Density Residential) as a Merit Assessable development, including the overall height, scale and residential use proposed. The development is noted as being similar in scale and appearance to the existing 4 storey building within the same unit complex, albeit at a lower height. Overall the development is not anticipated to adversely impact the existing or future amenity of the area.

Right of Appeal

Applicants are advised that a right of appeal to the Northern Territory Civil and Administrative Tribunal exists under Part 9 of the *Planning Act 1999*. An appeal under section 114 against a determination of a development application must be made within 28 days of the service of this notice.

The Northern Territory Civil and Administrative Tribunal can provide information regarding the Notice of Appeal form and fees payable. The address for lodgement of a Notice of Appeal is: Northern Territory Civil and Administrative Tribunal, PO Box 41860 CASUARINA NT 0810 or Level 1, The Met Building, 13 Scaturchio Street, CASUARINA NT 0810 (Telephone: 08 8944 8720 or Facsimile 08 8922 7201 or email AGD.ntcat@nt.gov.au).

There is no right of appeal by a third party under section 117 of the *Planning Act 1999* in respect of this determination as there were no submissions received under section 49 of the Act.

If you have any queries in relation to this Notice of Consent or the attached Development Permit, please contact Development Assessment Services on telephone (08) 8999 6046.

Yours faithfully



Sally Graetz
2023.12.19
17:31:20
+09'30'

Sally Graetz
Delegate

19 December 2023

Attachment

cc City of Palmerston

NORTHERN TERRITORY OF AUSTRALIA

Planning Act 1999 - sections 54 and 55

DEVELOPMENT PERMIT

DP23/0304

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Unit 13888
Unit 13892
Town of Palmerston
APT 2 11 TARAKAN CT, JOHNSTON
COMMON PROPERTY 11 TARAKAN CT, JOHNSTON

APPROVED PURPOSE

To use and develop the land for the purpose of dwelling-multiple (13 x 3 bedroom, 12 x 2 bedroom and 2 x 1 bedrooms) in 1 x 3 storey building, in accordance with the attached schedule of conditions and the endorsed plans.

VARIATIONS GRANTED

Clauses 5.2.4.4 Layout of car parking areas, 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures, 5.4.7 Communal Open Space, and 5.4.8.2 Building Design for Dwelling-multiple of the Northern Territory Planning Scheme 2020.

BASE PERIOD OF THE PERMIT

Subject to the provisions of sections 58, 59 and 59A of the *Planning Act 1999*, this permit will lapse two years from the date of issue.



Sally Graetz
2023.12.19
17:21:31
+09'30'

SALLY GRAETZ
Delegate
Development Consent Authority

19 December 2023

DEVELOPMENT PERMIT

DP23/0304

SCHEDULE OF CONDITIONS

CONDITIONS PRECEDENT

1. Prior to the endorsement of plans and prior to the commencement of works, a schematic plan demonstrating the on-site collection of stormwater and its discharge into the City of Palmerston stormwater drainage system, or an alternate approved connection shall be submitted to and approved by the City of Palmerston and the Land Development Unit, Department of Infrastructure, Planning and Logistics, to the satisfaction of the consent authority.
2. Prior to the endorsement of plans and prior to the commencement of works, the applicant is to specify on the plans the specific building treatments included to achieve the maximum recommended design sound levels of the *Australian Standard AS2107-2000 Acoustics – Recommended design sound levels for reverberation times for building interiors*, to the satisfaction of the consent authority.
3. Prior to the commencement of works, in principle approval from the City of Palmerston is required for the access to the site, to the satisfaction of the consent authority.
4. Prior to the commencement of works, details of waste servicing shall be submitted to and approved by the City of Palmerston, to the satisfaction of the consent authority.

GENERAL CONDITIONS

5. The works carried out under this permit shall be in accordance with the drawings endorsed as forming part of this permit.
6. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, sewerage, and electricity services to the development shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time. Please refer to notation 1 for further information.
7. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the consent authority.
8. All existing and proposed easements and sites for existing and required utility services must be vested in the relevant authority for which the easement or site is to be created.
9. Confirmation shall be provided to Development Assessment Services (in the form of an email addressed to the Power and Water Corporation) from a suitable qualified professional confirming that all new number labels have been correctly installed at the Customer's Metering Panel(s) and water meters (where applicable). Please provide a copy of an email addressed to both landdevelopmentnorth@powerwater.com.au and powerconnections@powerwater.com.au
10. Prior to the use/occupation of the development and connection of services (i.e. power and water), the owner of the land must apply for street addressing from the Surveyor-General of the Northern Territory. This will form the legal address and will be required to be placed on the meters within

the development in accordance with the allocation. An Occupancy Permit will not be able to be granted until such time as addressing is obtained.”

11. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of City of Palmerston, to the satisfaction of the consent authority.
12. The owner shall:
 - (a) remove disused vehicle and/ or pedestrian crossovers;
 - (b) provide footpaths/ cycleways;
 - (c) collect stormwater and discharge it to the drainage network; and
 - (d) undertake reinstatement works;all to the technical requirements of and at no cost to the City of Palmerston, to the satisfaction of the consent authority.
13. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to City of Palmerston, and Land Development Unit, Department of Infrastructure, Planning and Logistics, to the satisfaction of the consent authority.
14. Storage for waste disposal bins is to be provided to the requirements of City of Palmerston to the satisfaction of the consent authority.
15. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street, in accordance with the requirements of City of Palmerston, to the satisfaction of the consent authority.
16. Before the occupation of the development, the applicant is to demonstrate the building treatments to meet the maximum recommended design sound levels of the *Australian Standard AS2107-2000 Acoustics – Recommended design sound levels for reverberation times for building interiors* have been constructed, to the satisfaction of the consent authority.
17. Before the occupation of the development starts, the area(s) set-aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
 - (a) constructed;
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced with an all-weather-seal coat;
 - (d) drained;
 - (e) line marked to indicate each car space and all access lanes; and
 - (f) clearly marked to show the direction of traffic along access lanes and drivewaysto the satisfaction of the consent authority.

Car parking spaces, access lanes and driveways must be kept available for these purposes at all times.

18. All air conditioning condensers (including any condenser units required to be added or replaced in the future) are to be appropriately screened from public view and from view of neighbouring or nearby developments (or developments reasonably anticipated), located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the consent authority. The use of angled louvered slats for screening purposes is acceptable, however the slat screening must be designed with a panel to gap ratio, such that the condenser units are not readily visible from any angle.

19. All pipes, fixtures, fittings and vents servicing any building on the site must be concealed in service ducts or otherwise hidden from view to the satisfaction of the consent authority.
20. All balconies are to be internally drained and discharge is to be disposed of at ground level and in a manner consistent with stormwater disposal arrangements for the site to the satisfaction of the consent authority.
21. Before the occupation of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.
22. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.

Notes

1. The Power and Water Corporation advises that the Water and Sewer Services Development Section (waterdevelopment@powerwater.com.au) and Power Network Engineering Section (powerdevelopment@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing in order to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.
2. The Surveyor-General advises you should immediately make application for unit/street addresses to the Survey and Land Records unit on (08) 8995 5346 (surveylandrecords@nt.gov.au).
3. A "Permit to Work Within a Road Reserve" may be required from City of Palmerston before commencement of any work within the road reserve.
4. There are statutory obligations under the *Waste Management and Pollution Control Act 1998* (the Act), that require all persons to take all measures that are reasonable and practicable to prevent or minimise pollution or environmental harm and reduce the amount of waste. The proponent is required to comply at all times with the Act, including the General Environmental Duty under Section 12 of the Act. There is also a requirement to obtain an authorisation prior to conducting any of the activities listed in Schedule 2 of the Act. Guidelines to assist proponents to avoid environmental impacts are available on the Northern Territory Environment Protection Authority website at <http://ntepa.ntg.gov.au/waste-pollution/guidelines/guidelines>. The Act, administered by the Northern Territory Environment Protection Authority, is separate to and not reduced or affected in any way by other legislation administered by other Departments or Authorities. The Environment Operations Branch of the Environment Division may take enforcement action or issue statutory instruments should there be non-compliance with the Act.
5. All land in the Northern Territory is subject to the *Weeds Management Act 2001* (WM Act). The WM Act describes the legal requirements and responsibilities that apply to owners and occupiers of land regarding declared weeds. Section 9 general duties include the requirement to take all reasonable measures to prevent land being infested with a declared weed and to prevent a declared weed from spreading. There are additional duties including a prohibition on buying, selling, cultivating, moving or propagating any declared weed and the requirement to notify the Weed Management Branch of a declared weed not previously present on the land within 14 days of detection. Should you require further weed management advice contact the weed management branch by phone on (08) 8999 4567 or by email to weedinfo@nt.gov.au.

6. This development permit is not an approval to undertake building work. You are advised to contact a Northern Territory registered building certifier to seek a building permit as required by the Northern Territory *Building Act 1993* before commencing any demolition or construction works.
7. Any proposed works which fall within the scope of the *Construction Industry Long Service Leave and Benefits Act 2005* must be notified to NT Build by lodgement of the required Project Notification Form. Payment of any levy must be made prior to the commencement of any construction activity. NT Build should be contacted via email (info@ntbuild.com.au) or by phone on 08 89364070 to determine if the proposed works are subject to the Act.

DEVELOPMENT SUMMARY

Total site area 24,900M²
 Stage 1 Floor Area 4,455M²
 Stage 2 Floor Area 2,976M²
 Total Floor Area 7,431M²
 Plot Ratio .35
 Site Coverage 8%

Stage 1
 ... 48 Dwellings
 ... 99 Car parks

Stage 2
 ... 27 Dwellings
 ... 60 Car parks

Unit Title Subdivision
 25.05.2016

This document contains drawing numbers:
 2023/0324/01 to 2023/0324/09

Referred to in Permit No: DP23/0304

Issued by the consent authority on: 10 September 2024

All drawings contained within this document have been authorised by the delegate of the consent authority.

Digitally signed by David Burrow
 Date: 2024.09.10 16:39:52 +09'30'

Delegate

Drawing number 2023/0324/01
 Referred to in Permit No: DP23/0304

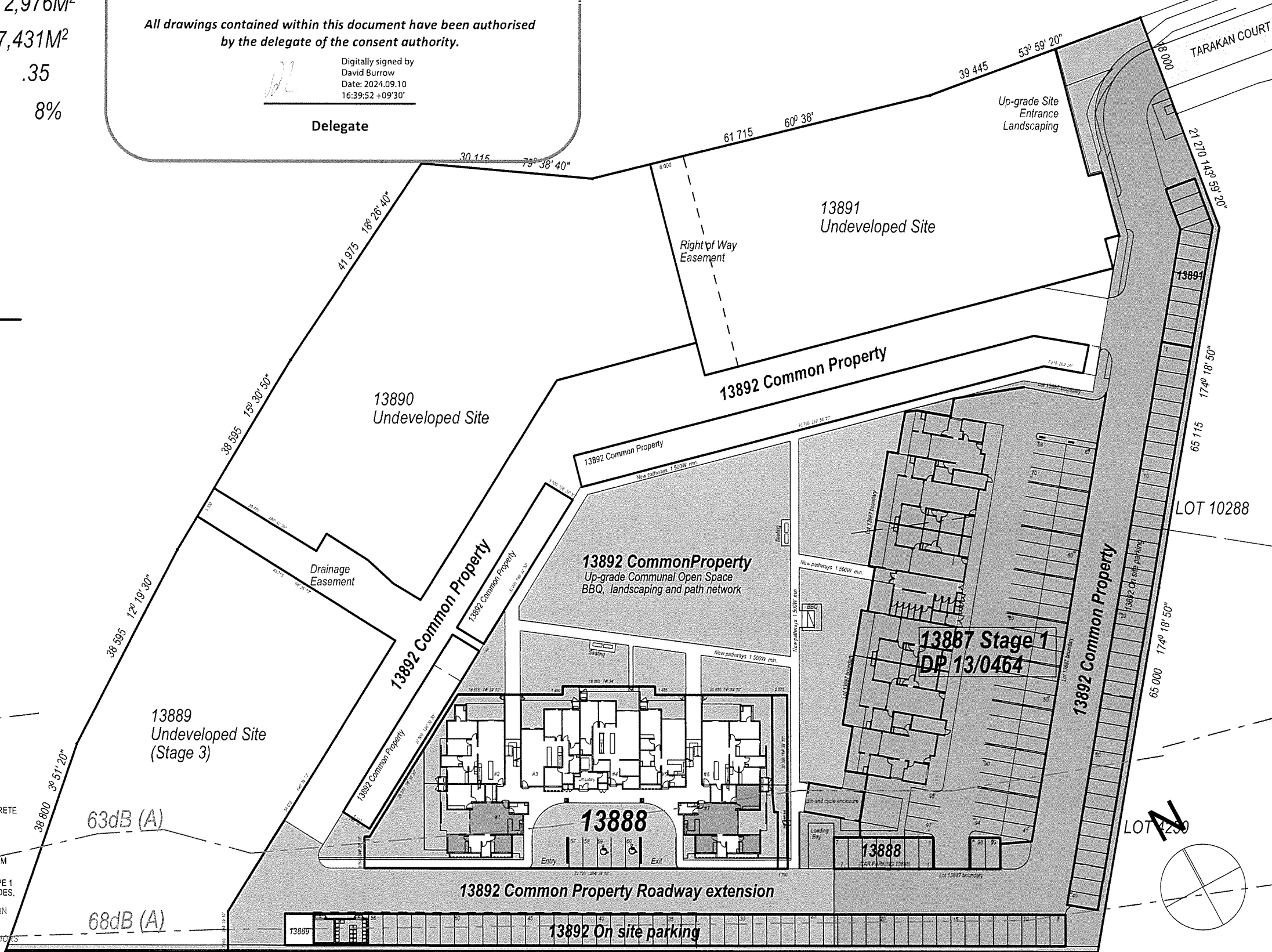
REV A 1.10.23: Boundary notes added
 REV B 7.10.23: Boundary lines enhanced
 REV C 5.11.23: DAS Response
 REV D 21.11.23: Parking boundaries
 REV E 4.2.24 Corrections site boundaries
 REV F 15.8.24 Noise contour ammendment & Spec.
 REV G 2.9.24 Note 2 added

68/63dB (A)
 "Johnston Subdivision Road Traffic Noise Assessment" refers
 GHD Darwin 2010

CONSTRUCTION TYPE LEGEND

WALLING: SERIES 200 SINGLE SKIN REINFORCED CONCRETE BLOCKWORK, RENDERED WITH PAINT FINISH
CEILING: 200MM THICK REINFORCED CONCRETE
WINDOWS: ALUMINIUM FACTORY GLAZED SLIDING WINDOWS AND DOORS, FULLY SEALED, 6.38MM W/LAM (VIRIDIAN) LAMINATED GLASS

Notes: 1. ALL EXTERNAL DOORS 42MM THICK NT TYPE 1 SOLID CORE, TYPE RAVEN SEALS TOP AND SIDES, DROP SEAL AT THE BASE
 2. BUILDING CONSTRUCTION TYPES SHALL BE IN COMPLIANCE WITH AS2107:2009 ACOUSTICS - RECOMMENDED DESIGN SOUND LEVELS FOR REVERBERATION TIMES FOR BUILDING INTERIORS



LAMBRICK TERRACE ROAD RESERVE

Site Development Plan
 1:750

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
 Project Name
 Lots 13888, 13892 (11) Tarakan Court, Johnston NT

Drawing Title: - Site Development Plan	
Scale: as noted	Date:
Status: #Project Status	Checked By:
Project No: 080601	Drawing No.: TK2R 00G
Plot Date:	2/09/2024

Drawing number 2023/0324/02

Referred to in Permit No: DP23/0304

REV A 2.9.24 Note 2 added

68/63dB (A)

"Johnston Subdivision Road Traffic Noise Assessment" refers GHD Darwin 2010

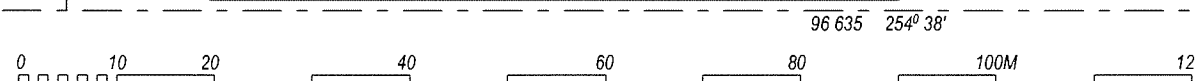
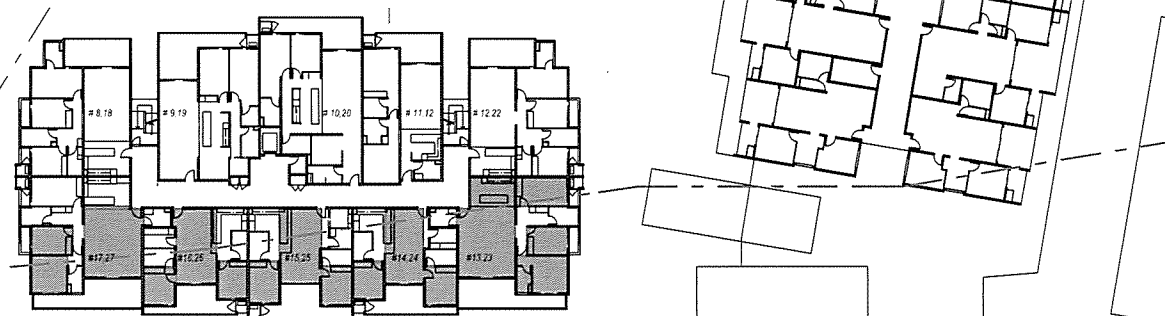
CONSTRUCTION TYPE LEGEND

- WALLING: SERIES 200 SINGLE SKIN REINFORCED CONCRETE BLOCKWORK, RENDERED WITH PAINT FINISH
- CEILING: 200MM THICK REINFORCED CONCRETE
- WINDOWS: ALUMINIUM FACTORY GLAZED SLIDING WINDOWS AND DOORS, FULLY SEALED, 6.38MM VLAM (VIRIDIAN) ACOUSTIC LAMINATED GLASS

- Notes:
1. ALL EXTERNAL DOORS 42MM THICK NT TYPE 1 SOLID CORE, TYPE RAVEN SEALS TOP AND SIDES, DROP SEAL AT THE BASE
 2. BUILDING CONSTRUCTION TYPES SHALL BE IN COMPLIANCE WITH AS2107-2000 ACOUSTICS - RECOMMENDED DESIGN SOUND LEVELS FOR REVERBERATION TIMES FOR BUILDING INTERIORS

63dB (A)

68dB (A)



The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
 Project Name
Lot 13888 (11) Tarakan Court, Johnston NT

Drawing Title:
- Site Development Plan First and Second Floors

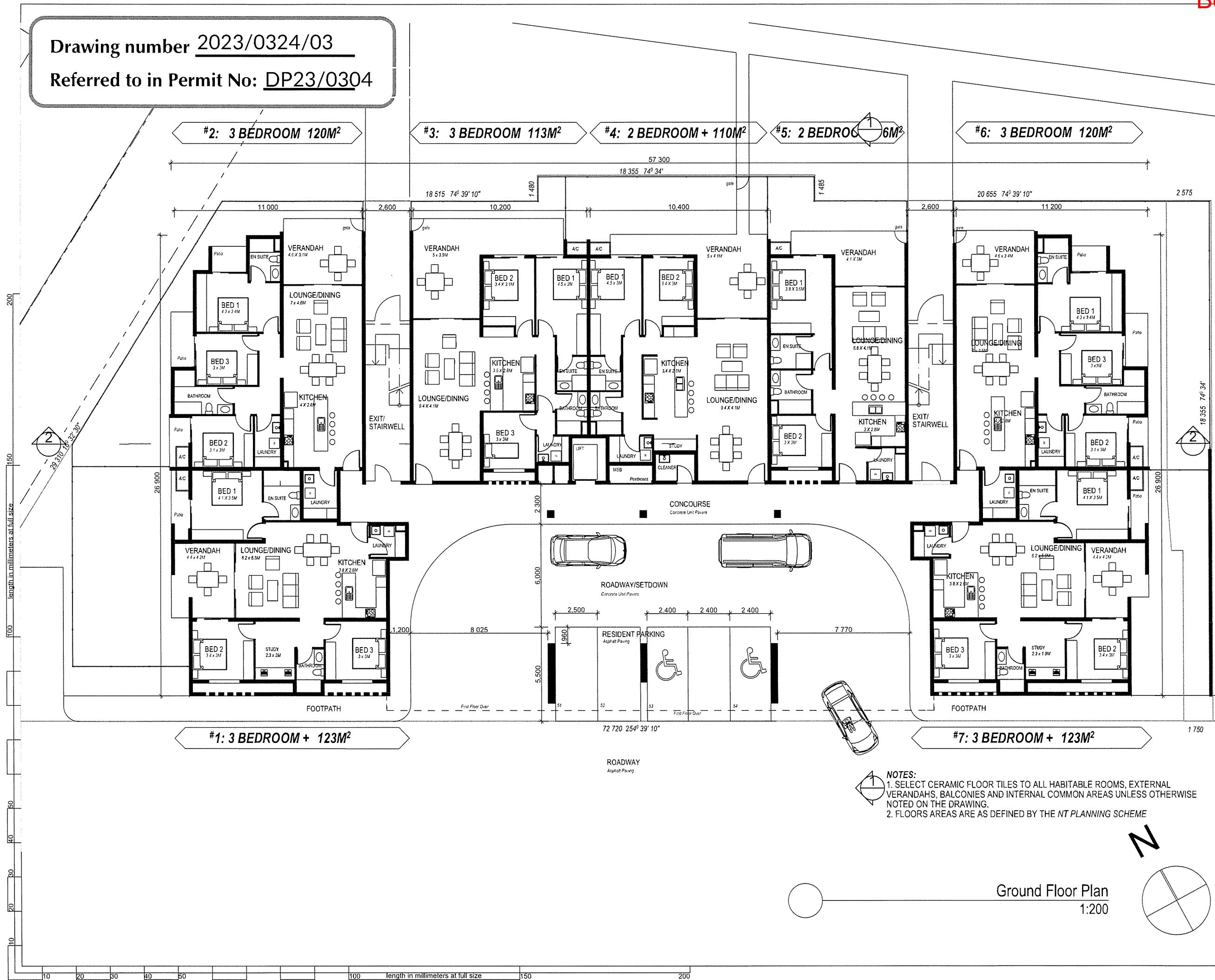
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Status: #Project Status Checked By:

Project No: **080601** Drawing No.: **TK2R 18A**

Plot Date: 2/09/2024

Drawing number 2023/0324/03
 Referred to in Permit No: DP23/0304



- NOTES:**
1. SELECT CERAMIC FLOOR TILES TO ALL HABITABLE ROOMS, EXTERNAL VERANDAHS, BALCONIES AND INTERNAL COMMON AREAS UNLESS OTHERWISE NOTED ON THE DRAWING.
 2. FLOORS AREAS ARE AS DEFINED BY THE NT PLANNING SCHEME

Ground Floor Plan
 1:200

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
 Project Name
Lot 13888 (11) Tarakan Court, Johnston NT

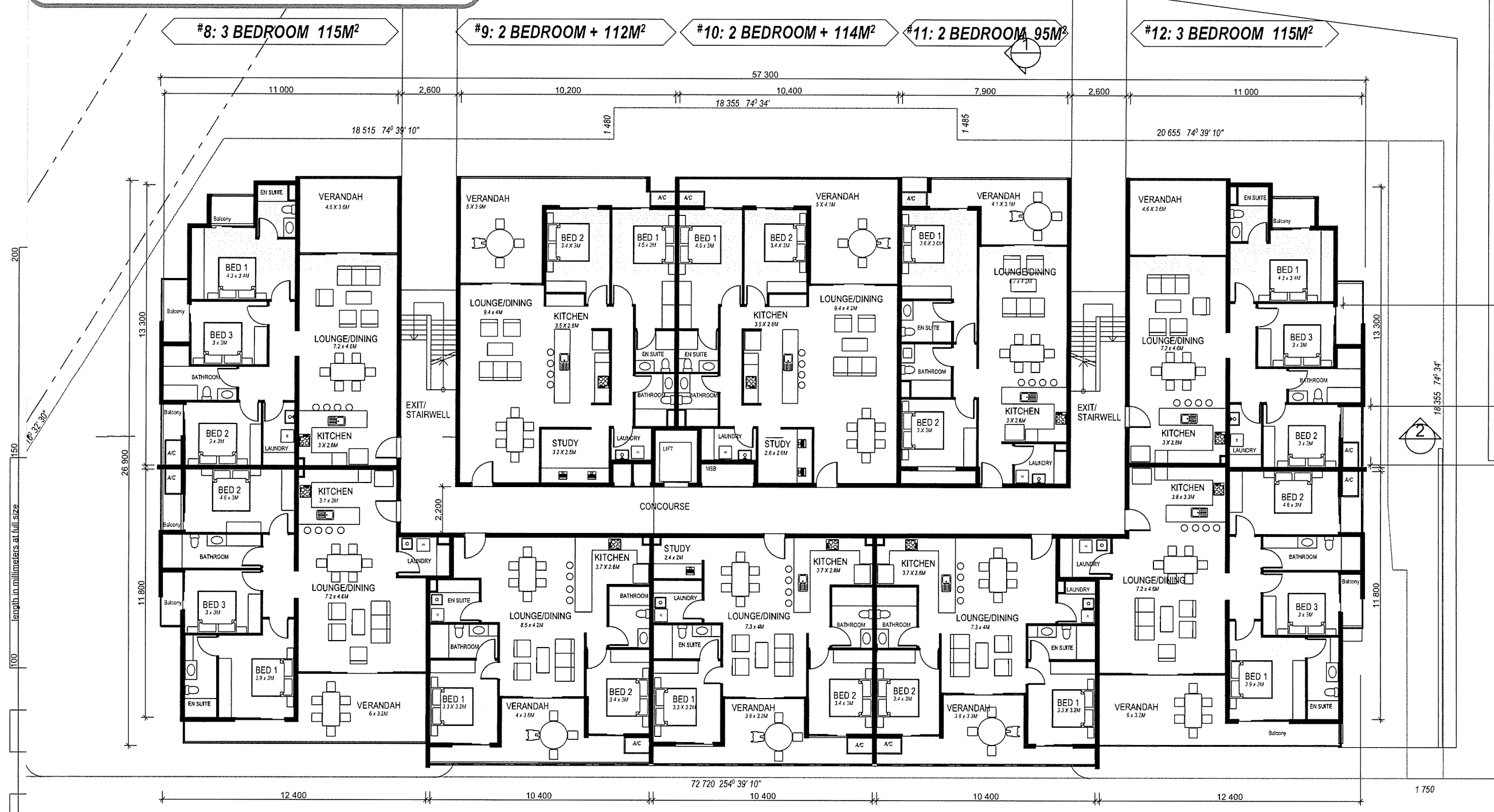
Drawing Title:
 - Ground Floor Plan

Scale: as noted Date:
 Status: #Project Status Checked By:

Project No: **080601** Drawing No.: **TK2R 04**

PLOT DATE: 24/09/2023

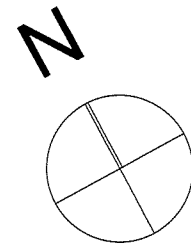
Drawing number 2023/0324/04
 Referred to in Permit No: DP23/0304



#8: 3 BEDROOM 115M² #9: 2 BEDROOM + 112M² #10: 2 BEDROOM + 114M² #11: 2 BEDROOM 95M² #12: 3 BEDROOM 115M²

#17: 3 BEDROOM + 122M² #16: 2 BEDROOM + 90M² #15: 2 BEDROOM + 92M² #14: 2 BEDROOM 188M² #13: 3 BEDROOM 122M²

NOTES:
 1. SELECT CERAMIC FLOOR TILES TO ALL HABITABLE ROOMS, EXTERNAL VERANDAHS, BALCONIES AND INTERNAL COMMON AREAS UNLESS OTHERWISE NOTED ON THE DRAWING.
 2. FLOORS AREAS ARE AS DEFINED BY THE NT PLANNING SCHEME



First Floor Plan
 1:200

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
 Project Name
 Lot 13888 (11) Tarakan Court,
 Johnston NT

Drawing Title
 - First Floor Plan

Scale: as noted Date:
 Status: #Project Status Checked By:

Project No:
080601 Drawing No.:
TK2R 05

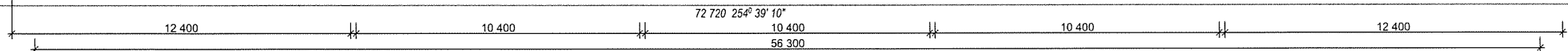
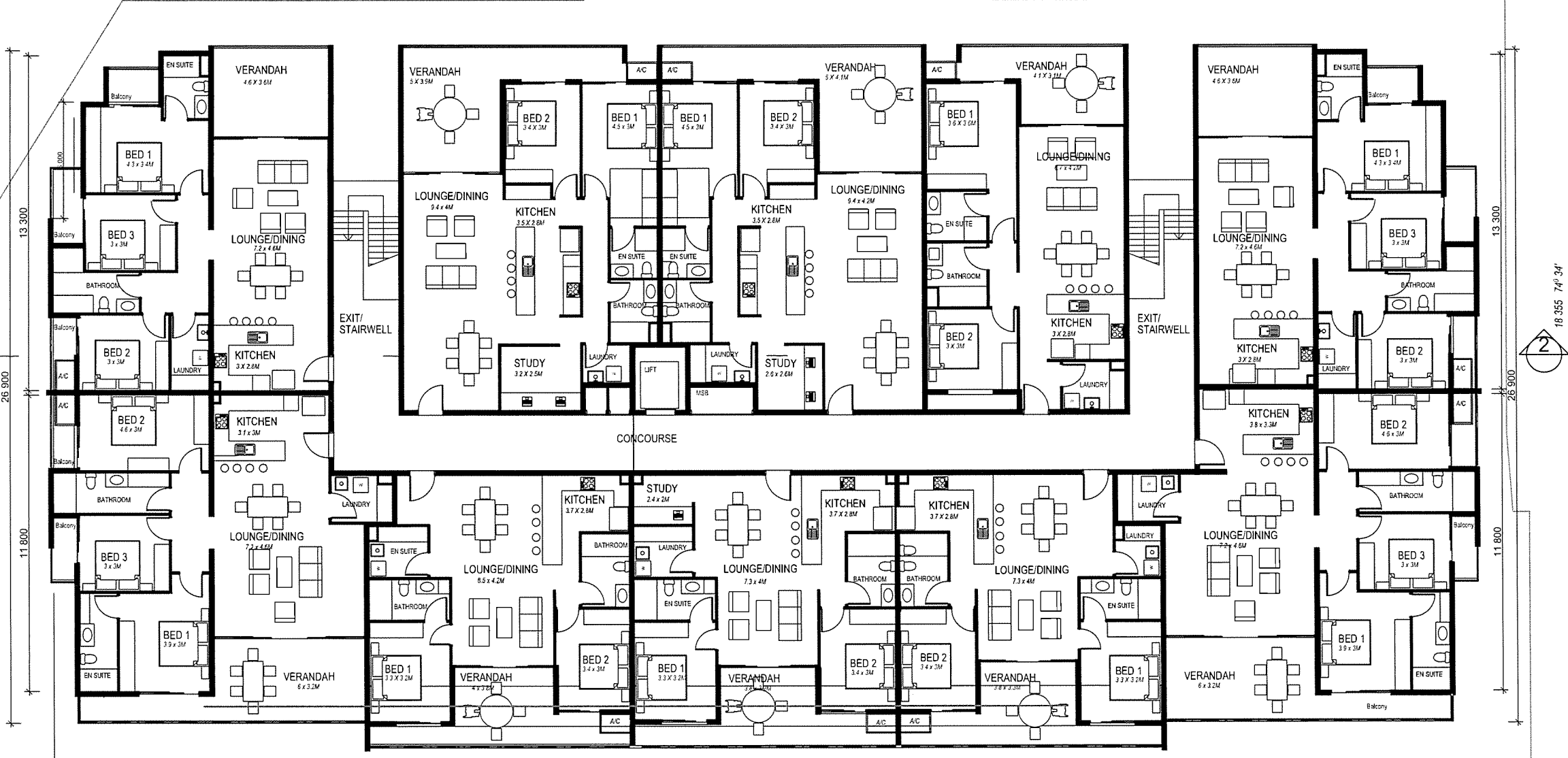
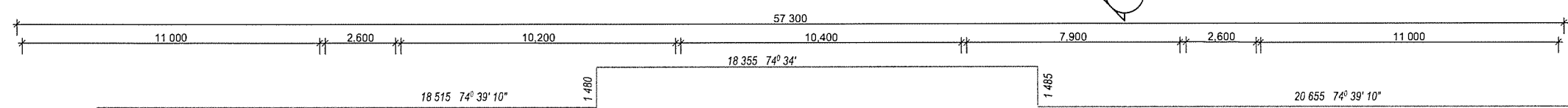
Plot Date: 24/09/2023

200
150
100
50
40
30
20
10
length in millimeters at full size

100 150 200
length in millimeters at full size

Drawing number 2023/0324/05
 Referred to in Permit No: DP23/0304

#8: 3 BEDROOM 115M² #9: 2 BEDROOM + 112M² #10: 2 BEDROOM + 114M² #11: 2 BEDROOM 95M² #12: 3 BEDROOM 115M²



#17: 3 BEDROOM + 122M² #16: 2 BEDROOM + 90M² #15: 2 BEDROOM + 92M² #14: 2 BEDROOM 88M² #13: 3 BEDROOM 122M²

NOTES:
 1. SELECT CERAMIC FLOOR TILES TO ALL HABITABLE ROOMS, EXTERNAL VERANDAHS, BALCONIES AND INTERNAL COMMON AREAS UNLESS OTHERWISE NOTED ON THE DRAWING.
 2. FLOORS AREAS ARE AS DEFINED BY THE NT PLANNING SCHEME

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
 Project Name
Lot 13888 (11) Tarakan Court, Johnston NT

Drawing Title:
- Second Floor Plan





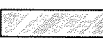

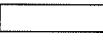

Scale: as noted	Date:
Status: #Project Status	Checked By:
Project No: 080601	Drawing No.: TK2R 06
Plot Date:	24/09/2023

Second Floor Plan
 1:200

length in millimeters at full size

length in millimeters at full size

LEGEND

- 
Feature trees:
Syzyglum fibrosum
Allosyncarpia ternata
Diospyros maritima
- 
Small shade trees:
Leptospermum madidum
Petalostigma pubescens
Elaeocarpus amhemicus
- 
Mass planted area:
Grevillea formosa
Codiaem variegatum
Thryallis glauca
Ixora minima
Pratia pedunculata
Altermathera tricolour
Viola hederacea
Cyca revoluta (30L)
Phyllanthus multiforis
 Forest mulch
- 
 Irrigated lawn grass
- 
 Existing landscaping
- 
 Concrete unit paving
- 
 New asphalt roadway
- 
 Existing Building and external works

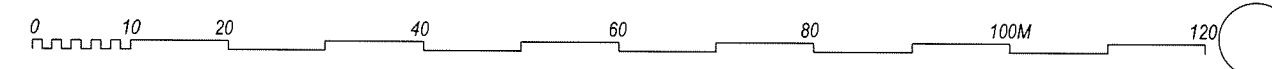
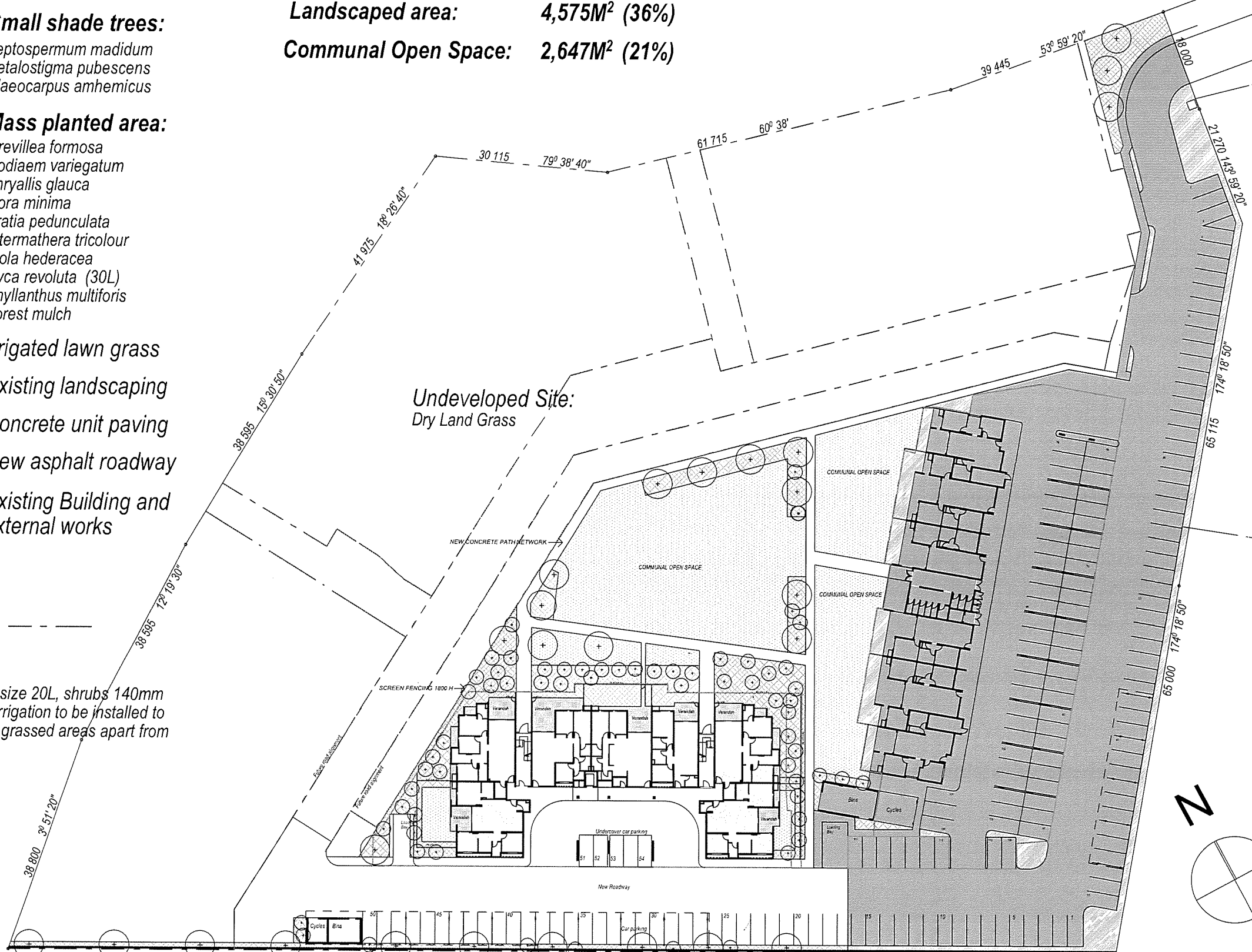
Total site area: 24,900M²
(Lot 20186)
Developed site area: 12,730M²
Landscaped area: 4,575M² (36%)
Communal Open Space: 2,647M² (21%)

Drawing number 2023/0324/06
Referred to in Permit No: DP23/0304

NOTES:
 1. All tree min. size 20L, shrubs 140mm
 2. Permanent irrigation to be installed to all planted and grassed areas apart from Unit yards

Undeveloped Site:
 Dry Land Grass

length in millimeters at full size



Landscape Plan
 1:750

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
 Project Name
Lot 13888 (11) Tarakan Court, Johnston NT

Drawing Title:
 - Landscape Plan

Scale: as noted

Date:

Status: #Project Status

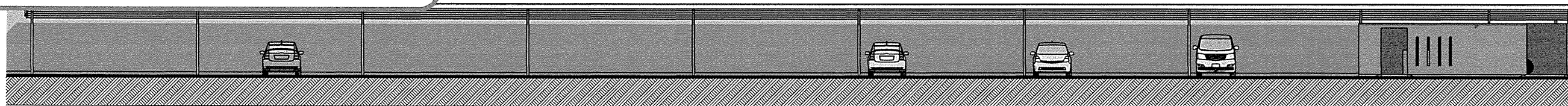
Checked By:

Project No:
080601

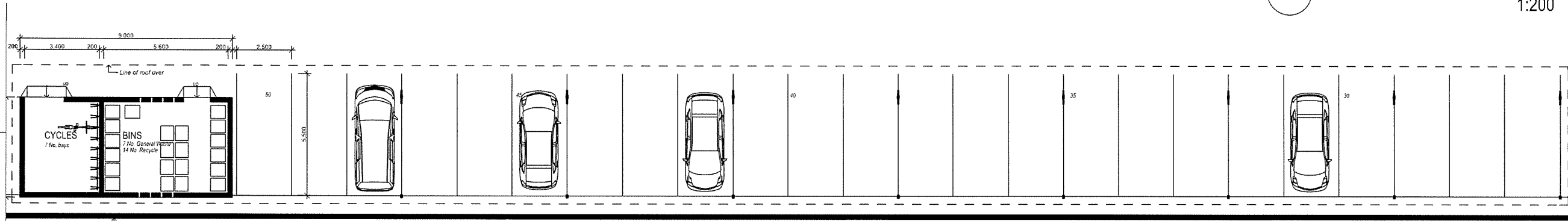
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TK2R 03

Plot Date: 24/09/2023

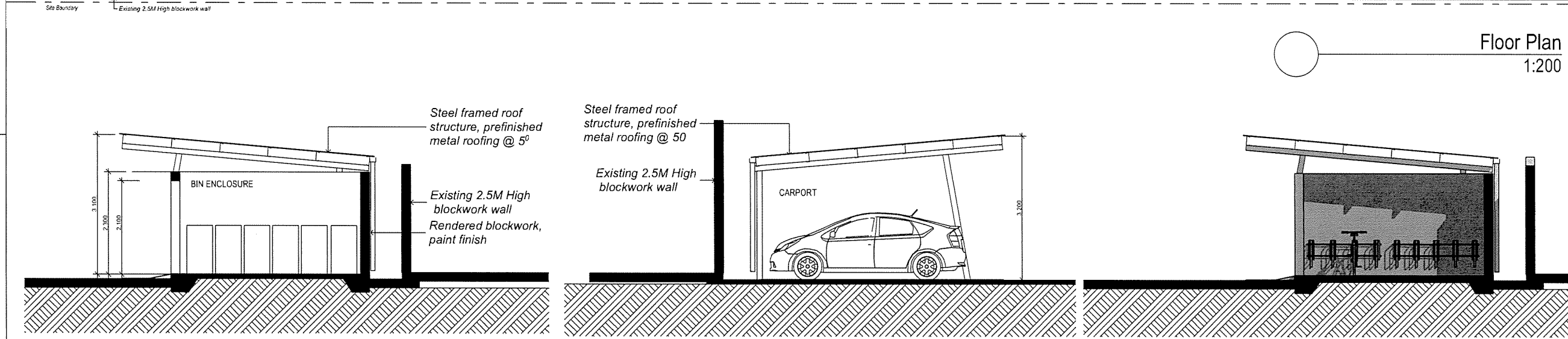
Drawing number 2023/0304/07
 Referred to in Permit No: DP23/0304



North Elevation
1:200



Floor Plan
1:200



Section thru Bin Enclosure
1:100

Carport Typical Section
1:100

Section thru Bike Enclosure
1:100



length in millimeters at full size

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
 Project Name
Lot 13888 (11) Tarakan Court, Johnston NT

Drawing Title
- Carport

Scale: 1:100
 Carports, Carports 2
 Status: #Project Status
 Checked By:

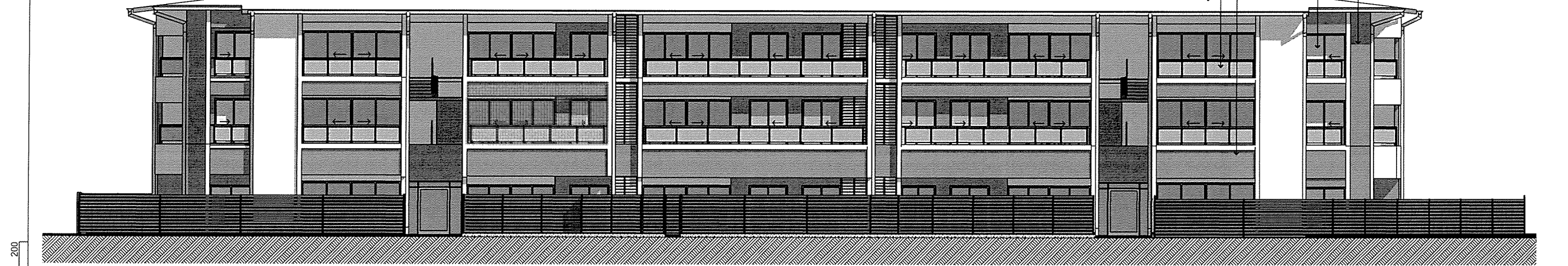
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 Drawing No.: **TK2R 11**

Plot Date: 24/09/2023

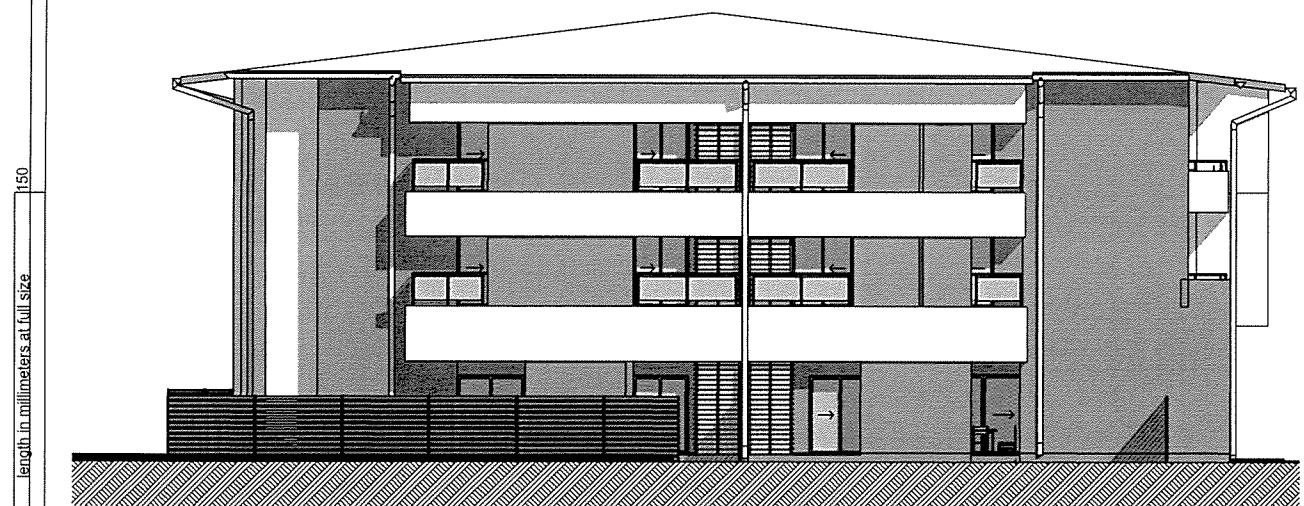
Drawing number 2023/0324/08

Referred to in Permit No: DP23/0304

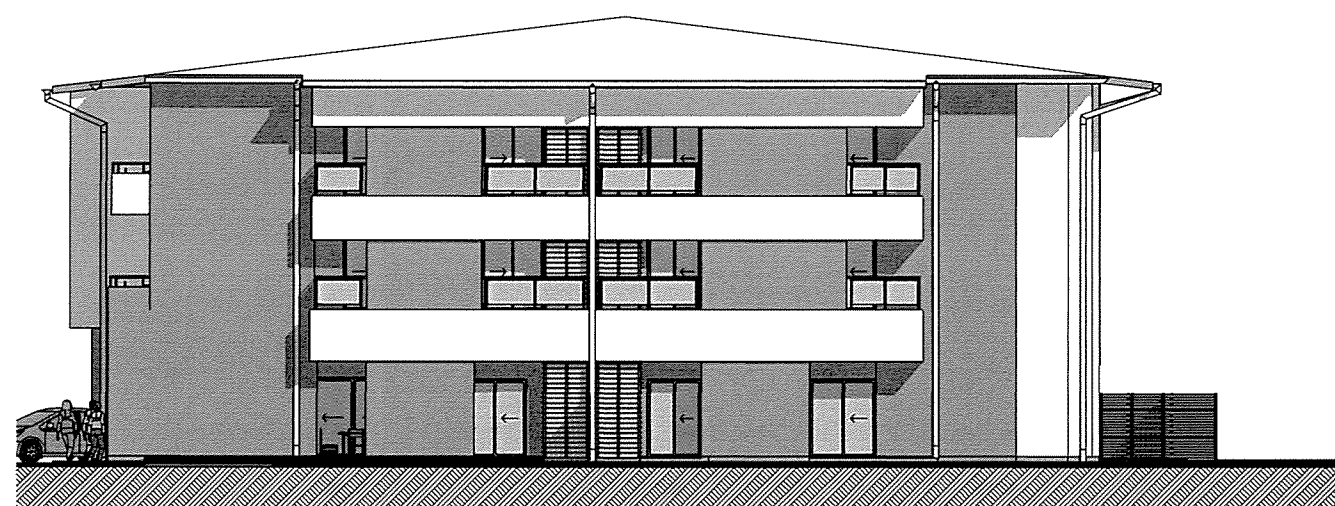
METAL ROOFING, COLORBOND FINISH
 ALUMINIUM FRAMED GLAZED BALUSTRADE
 CONCRETE SPANDREL, RENDER AND PAINT FINISH
 ALUMINIUM FRAMED DOORS AND WINDOWS,
 POWDERCOAT FINISH
 BLOCKWORK EXTERNAL WALLING,
 RENDER AND PAINT FINISH



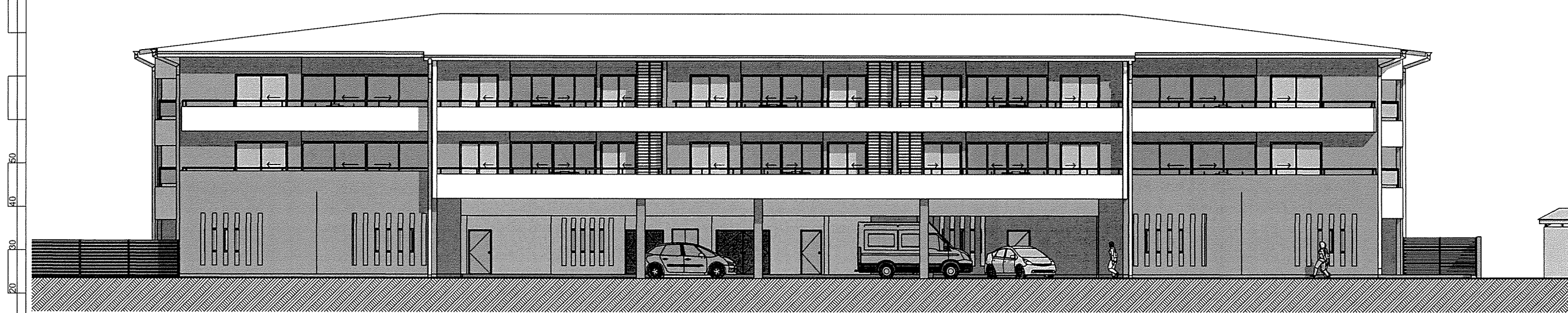
North Elevation
1:200



West Elevation
1:200



East Elevation
1:200



South Elevation
1:200

200
150
100
50
40
30
20
10

10 20 30 40 50 100 150 200 length in millimeters at full size

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

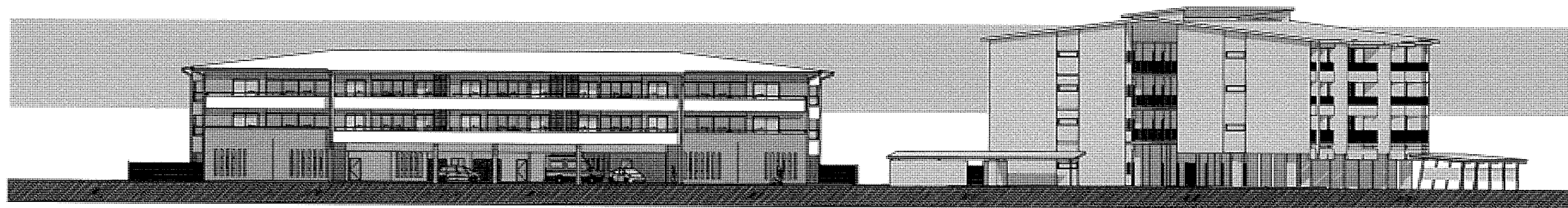
Client
 Project Name
**Lot 13888 (11) Tarakan Court,
 Johnston NT**

Drawing Title:
 - Elevations

Scale: as noted Date:
 Status: #Project Status Checked By:

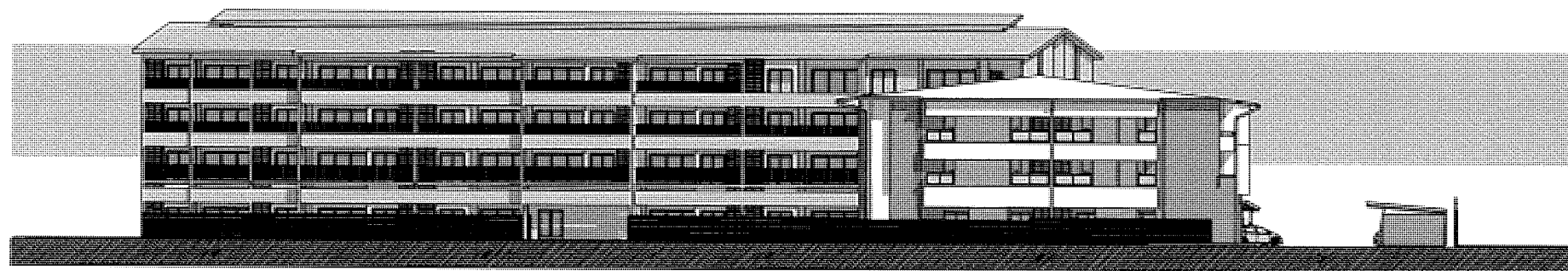
Project No: **080601** Drawing No.: **TK2R 08**

Plot Date: 24/09/2023



○ Site Elevation South
1:450

Drawing number 2023/0324/09
Referred to in Permit No: DP23/0304



○ Site Elevation West
1:450



○ Site Elevation North
1:450

200
150
100
50
40
30
20
10
length in millimeters at full size

10 20 30 40 50 100 150 200 length in millimeters at full size

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Project Name
**Lot 13888 (11) Tarakan Court,
Johnston NT**

Drawing Title
- Site Elevations

Scale: as noted	Date:
Status: #Project Status	Checked By:
Project No: 080601	Drawing No.: TK2R 10
Plot Date:	24/09/2023



Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046

Facsimile No: (08) 8980 0700

In reply please quote: PA2024/0125

Mr Kelvin Bruce Baldey
212/416 St Kilda Rd
MELBOURNE VIC 3004

Dear Mr Baldey

**NOTICE OF CONSENT (SECTION 53B OF THE PLANNING ACT 1999)
UNIT 13892 (COMMON PROPERTY) & UNIT 13889 (APT 3) (11) TARAKAN COURT,
JOHNSTON, TOWN OF PALMERSTON**

The Development Consent Authority has determined, to vary the requirements of Clauses 5.2.4.4 (Layout of car parking areas), 5.4.3 (Building Setbacks of Residential Buildings), and 5.4.8.2 (Building Design for Dwelling-multiple) of the Northern Territory Planning Scheme 2020, and pursuant to section 53(a) of the Planning Act 1999, grant consent to the proposal to use and develop the abovementioned land for the purpose of dwelling-multiple (12 x 3 bedroom, 12 x 2 bedroom and 3 x 1 bedrooms) in 1 x 3 storey building, subject to the conditions specified on the attached Development Permit DP24/0180.

Reasons for the Determination

1. Pursuant to section 51(1)(a) of the *Planning Act 1999*, the consent authority must take into consideration the planning scheme that applies to the land to which the application relates.

The NT Planning Scheme 2020 applies to the land and dwelling-multiple requires consent under Clause 1.8 (When development consent is required). It is identified as *Merit Assessable* under Clause 1.8(1)(b)(ii)(2), therefore the zone purpose and outcomes of Clause 4.4 Zone MR (Medium Density Residential), and Clauses 5.2.1 (General Height Control), 5.2.4 (Car Parking), 5.2.6 (Landscaping), 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures), 5.4.4 (Extensions and Structures Ancillary to a Dwelling-group or Dwelling-Multiple Development), 5.4.6 (Private Open Space), 5.4.7 (Communal Open Space), 5.4.8 (Residential Building Design), 5.4.17 (Building Articulation), 5.4.18 (Fencing), and 5.4.19 (Residential Plot Ratio) need to be considered.

These clauses have been considered and it is found that the proposal complies with the relevant requirements of the Planning Scheme except for Clauses 5.2.4.4 (Layout of car parking areas), 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures), and 5.4.8.2 (Building Design for Dwelling-multiple).

2. Pursuant to Clause 1.10 (Exercise of Discretion by the Consent Authority), subclause 5 of the NT Planning Scheme 2020, the consent authority may consent to a proposed development which is not in accordance with a requirement set out in Parts 3, 5 or 6 only if it is satisfied that the variation is appropriate having regard to:
- The purpose and administration clauses of the requirement; and
 - The considerations listed under Clause 1.10(3) or 1.10(4).

It is considered that a variation to the affected clauses is appropriate in this instance because:

Clause 5.2.4.4 Layout of car parking areas

The purpose of this clause is to, *ensure that a car parking area is appropriately designed, constructed and maintained for its intended purpose.* The proposal has been found not to be in accordance with Clause 5.2.4.4 as the plans include a 1.2m setback from Lambrick Avenue to car parking spaces, when a 3m setback and landscaping is required. Administratively, the consent authority may vary this requirement, “...if it is satisfied that the non-compliance will not unreasonably impact on the amenity of the surrounding locality.”

The proposed car parking area would be located behind an existing 2.5m blockwork wall, and will not be visible from the affected frontage. Subsequently, no unreasonable impact on the amenity of the locality is expected. Landscaping is also proposed within the 1.2m setback.

Clause 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures

The purpose of this clause is to, *Ensure that residential buildings and ancillary structures are located in a manner that:*

- is compatible with the streetscape and surrounding development including residential buildings on the same site;*
- minimises adverse effects of building massing when viewed from adjoining land and the street;*
- avoids undue overlooking of adjoining properties; and*
- facilitates breeze penetration through and between buildings.*

The proposal complies with all building setback requirements except for the secondary street setback to Lambrick Avenue and the rear boundary setback (western boundary).

A 4.5m setback to Lambrick Avenue and a 3m setback to the rear boundary is required for residential buildings and ancillary structures. The following setbacks are proposed:

- 1.2m setback to the carport from a secondary street (0.9m to the carport roof where 2.1m is required); and
- 1.6m setback to the main building from the rear boundary.

Administratively, the consent authority may consent to a development that is not in accordance with this requirement, only “...if it is satisfied that the reduced setback is consistent with the purpose of this clause and it is appropriate to the site having regard to such matters as its location, scale and impact on adjoining and nearby property.”

The site has an existing 2.5m boundary fence constructed along its frontage with Lambrick Avenue, partially obscuring any direct views of the proposed development. The carport height nearest the fence is also 2.5m in height, increasing to 3.2m. A bin enclosure is also located within the setback, however it is contained within the carport structure and wholly obscured by the existing fence. Subsequently, the carport and bin enclosure are unlikely to cause any undue impact on any adjoining or nearby property. Landscaping is also proposed within the 1.2m setback.

The reduced setback in the rear/western boundary is limited to a corner of the main building. Subsequently, the proposed development is considered unlikely to cause any undue impact on any adjoining or nearby properties from building massing, breeze penetration or overlooking.

Clause 5.4.8.2 Building Design for Dwelling-multiple.

The purpose of this clause is to, *"Promote site-responsive design of dwellings-multiple that provides a sympathetic interface with the streetscape and surrounding dwellings, is climatically appropriate and provides a pleasant living environment for the occupants."*

The proposal complies with all requirements of this clause except sub-clause 13. All units except Units 1, 5, 7 and 23 are assessed as not meeting requirement 13, below:

"13. Balconies are to provide at least: (a) One side without an external wall; and (b) One side without an external wall for more than 50% of the length of that side."

Administratively, the consent authority may consent to a development that is not in accordance with this requirement, only *"...if it is satisfied that the balcony design allows for sufficient breeze penetration and limits the appearance of building massing when viewed from the public domain"*.

Whilst the balconies to units 2, 3, 4, 6 and 8 - 22 are enclosed on either end by solid walls rather than achieving 50% open to one side, each balcony is substantially larger than the minimum 12m² private open space required, each providing at least 18m². Most balconies propose a corner design with a large opening, facilitating breeze penetration within the building. Any unit with an external wall proposes 2.3m x 0.9m adjustable solid louvers. This includes units 8-13 17-23 and 27. The balcony balustrades incorporate a mixture of levels of permeability that balance pleasant views while maintaining privacy. The building is compliant with all other setbacks except in the north western corner.

Overall the balcony design allows for sufficient breeze penetration and sufficiently limits the appearance of building massing when viewed from the public domain.

The considerations listed under Clause 1.10(4) have been given regard to and it has been found that the proposal complies with all relevant requirements of the NT Planning Scheme 2020, except for the Clauses as identified above.

3. Pursuant to section 51(1)(j) of the *Planning Act 1999*, the consent authority must take into consideration the capability of the land to which the proposed development relates to support the proposed development and the effect of the development on the land and on other land, the physical characteristics of which may be affected by the development.

The land has no identifiable land capability issues that would impact on the development.

4. Pursuant to section 51(1)(m) of the *Planning Act 1999*, the consent authority must consider the public utilities or infrastructure provided in the area in which the land is situated, the requirement for public facilities, and services to be connected to the land and the requirement, if any, for those facilities, infrastructure or land to be provided by the developer for that purpose.

The application was referred to the relevant service authorities and subsequent comments have been addressed by way of standard conditions and/or notations on the Development Permit as appropriate.

The Transport and Civil Services Division (TCSD), Department of Infrastructure, Planning and Logistics requested a Transport Impact Report in accordance with the *Austroroad Guide to Traffic Management Part 12 Integrated Transport Assessment for Development*.

At the meeting, Mr Baldey, representing the Applicant, recorded their disagreement with the requirement for a Traffic Impact Report. The consent authority noted that the requirement for a traffic impact assessment to be undertaken for such development was consistent with similar Development Permits, and determined to keep the requirement requested by TCSD as a condition of any subsequent Development Permit.

In addition, Mr Baldey also queried the reference to “including foundations” in Condition 22. This condition was requested by TCSD. The consent authority does not consider the inclusion of footings within the wording of the condition to detract from the purpose of the condition. Subsequently, the consent authority determined to keep the condition’s wording as requested by TCSD.

At the meeting, Mr Tickner, representing City of Palmerston, reiterated comments made in its submission, noting that the sequencing/staging of the whole Lot was not secured within the Development Permit. The absence of a staging plan or Development Permit for the whole of the Lot raised concerns of potential complexities with coordinating the provision of infrastructure and/or services. In particular, the provision of sealed vehicle access way to the proposed development relied upon other development permits being undertaken first. To mitigate the risk of these other development permits not being completed prior to the proposed development being constructed, the consent authority determined to include a condition precedent requiring amended plans showing a complete sealed access from Tarakan Court to the proposed development prior to the endorsement of plans.

5. Pursuant to section 51(1)(n) of the *Planning Act 1999*, the consent authority must take into consideration the potential impact on the existing and future amenity of the area in which the land is situated.

Whilst the development will result in a change to the appearance of the site, it is consistent with that expected in Zone MR (Medium Density Residential) as a *Merit Assessable* development, including the overall height, scale and residential use proposed. The development is noted as being similar in scale and appearance to the existing 4 storey building within the same unit complex and what was approved through DP23/0304 in 2023. Overall the development is not anticipated to adversely impact the existing or future amenity of the area.

Right of Review

Applicants are advised that a right of review to the Northern Territory Civil and Administrative Tribunal exists under Part 9 of the *Planning Act 1999*. An application for a review under section 114 against a determination of a development application must be made within 28 days of the service of this notice.

The Northern Territory Civil and Administrative Tribunal can provide information regarding the Notice of Review form and fees payable. The address for lodgement of a Notice of Review is: Northern Territory Civil and Administrative Tribunal, PO Box 41860 CASUARINA NT 0810 or Level 1, The Met Building, 13 Scaturchio Street, CASUARINA NT 0810 (Telephone: 08 8944 8720 or Facsimile 08 8922 7201 or email AGD.ntcat@nt.gov.au).

There is no right of review by a third party under section 117 of the *Planning Act 1999* in respect of this determination as there were no submissions received under section 49 of the Act.

Notice of Consent – DP24/0181 – Unit 13892 (Common Property) & Unit 13889 (Apt 3) (11) Tarakan Court, Johnston, Town of Palmerston

If you have any queries in relation to this Notice of Consent or the attached Development Permit, please contact Development Assessment Services on telephone (08) 8999 6046.

Yours faithfully



Digitally signed by
David Burrow
Date: 2024.08.23
15:00:24 +09'30'

DAVID BURROW
Delegate
Development Consent Authority.
23 August 2024

Attachment

cc City of Palmerston.

NORTHERN TERRITORY OF AUSTRALIA

Planning Act 1999 - sections 54 and 55

DEVELOPMENT PERMIT

DP24/0181

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Unit 13889
Unit 13892
Town of Palmerston
APT 3 11 TARAKAN CT, JOHNSTON
COMMON PROPERTY 11 TARAKAN CT, JOHNSTON

APPROVED PURPOSE

To use and develop the land for the purpose of dwelling-multiple (12 x 3 bedroom, 12 x 2 bedroom and 3 x 1 bedrooms) in 1 x 3 storey building, in accordance with the attached schedule of conditions and the endorsed plans.

VARIATIONS GRANTED

Clauses 5.2.4.4 (Layout of car parking areas), 5.4.3 (Building Setbacks of Residential Buildings), and 5.4.8.2 (Building Design for Dwelling-multiple) of the Northern Territory Planning Scheme 2020, and pursuant to section 53(a) of the Planning Act 1999.

BASE PERIOD OF THE PERMIT

Subject to the provisions of sections 58, 59 and 59A of the *Planning Act 1999*, this permit will lapse two years from the date of issue.



Digitally signed
by David Burrow
Date: 2024.08.23
15:03:09 +09'30'

DAVID BURROW
Delegate
Development Consent Authority.
23 August 2024

DEVELOPMENT PERMIT

DP24/0181

SCHEDULE OF CONDITIONS

CONDITIONS PRECEDENT

1. Prior to the endorsement of plans and prior to the commencement of works, amended plans to the satisfaction of the consent authority must be submitted to and approved by the consent authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and must be generally in accordance with the plans submitted with the application but modified to show:
 - (a) Sealed vehicle access from Tarakan Court to the proposed development.
2. Prior to the endorsement of plans and prior to the commencement of works, a schematic plan demonstrating the on-site collection of stormwater and its discharge into the City of Palmerston stormwater drainage system, or an alternate approved connection shall be submitted to and approved by the City of Palmerston and the Land Development Unit, Department of Infrastructure, Planning and Logistics, to the satisfaction of the consent authority.
3. Prior to the endorsement of plans and prior to the commencement of works, the applicant must specify on the plans the specific building treatments included to achieve the maximum recommended design sound levels of the Australian Standard AS2107-2000 'Acoustics – Recommended design sound levels for reverberation times for building interiors,' to the satisfaction of the consent authority.
4. Prior to the endorsement of plans and prior to the commencement of works, a traffic impact assessment report is to be prepared by a suitably qualified traffic engineer, identifying any necessary upgrades to the surrounding street network to the requirements of the Transport and Civil Services Division of the Department of Infrastructure, Planning and Logistics, to the satisfaction of the consent authority.
5. Prior to the commencement of works, in principle approval from the City of Palmerston is required for the access to the site, to the satisfaction of the consent authority.
6. Prior to the commencement of works, details of waste servicing shall be submitted to and approved by the City of Palmerston, to the satisfaction of the consent authority.

GENERAL CONDITIONS

7. The works carried out under this permit shall be in accordance with the drawings endorsed as forming part of this permit.
8. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, sewerage, electricity services and telecommunications to the development shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time. Please refer to notation 1 for further information.
9. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the consent authority.

10. All existing and proposed easements and sites for existing and required utility services must be vested in the relevant authority for which the easement or site is to be created.
11. Confirmation shall be provided to Development Assessment Services (in the form of an email addressed to the Power and Water Corporation) from a suitable qualified professional confirming that all new number labels have been correctly installed at the Customer's Metering Panel(s) and water meters (where applicable). Please provide a copy of an email addressed to both landdevelopmentnorth@powerwater.com.au and powerconnections@powerwater.com.au
12. Prior to the use/occupation of the development and connection of services (i.e. power and water), the owner of the land must apply for street addressing from the Surveyor-General of the Northern Territory. This will form the legal address and will be required to be placed on the meters within the development in accordance with the allocation. An Occupancy Permit will not be able to be granted until such time as addressing is obtained.
13. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of City of Palmerston, to the satisfaction of the consent authority.
14. The owner shall:
 - (a) remove disused vehicle and/ or pedestrian crossovers;
 - (b) provide footpaths/ cycleways;
 - (c) collect stormwater and discharge it to the drainage network; and
 - (d) undertake reinstatement works;all to the technical requirements of and at no cost to the City of Palmerston, to the satisfaction of the consent authority.
15. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to City of Palmerston, and Land Development Unit, Department of Infrastructure, Planning and Logistics, to the satisfaction of the consent authority.
16. Storage for waste disposal bins is to be provided to the requirements of City of Palmerston to the satisfaction of the consent authority.
17. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street, in accordance with the requirements of City of Palmerston, to the satisfaction of the consent authority.
18. Before the occupation of the development, the applicant is to demonstrate the building treatments to meet the maximum recommended design sound levels of the Australian Standard AS2107-2000 Acoustics – Recommended design sound levels for reverberation times for building interiors have been constructed, to the satisfaction of the consent authority.
19. All works recommended by the traffic impact assessment report are to be completed to the requirements of the Transport and Civil Services Division of the Department of Infrastructure, Planning and Logistics, to the satisfaction of the consent authority.
20. No temporary access for construction purposes shall be permitted from the Stuart Highway road reserve. Construction and delivery vehicles shall not be parked on the Stuart Highway road reserve.

21. Any proposed work (including the provision or connection of services) within, or impacting upon the Lambrick Avenue road reserve shall be in accordance with the standards and specifications of the Transport and Civil Services Division, Department of Infrastructure, Planning and Logistics. Design documents must be submitted to the Director Corridor Management, Transport and Civil Services Division for Road Agency Approval and no works are to commence prior to approval and receipt of a "Permit to Work Within a Road Reserve".
22. Upon completion of any works within or impacting upon the Lambrick Avenue road reserve, the road reserve shall be rehabilitated to the standards and requirements of the Department of Infrastructure, Planning and Logistics.
23. The developer shall have carried out, as part of stage works, and in accordance with AS3671-1989, "Acoustics – Road Traffic Noise Intrusion – Building Siting and Construction" an assessment by a suitably qualified person of the development's present and predicted future exposure to road traffic noise levels, and where required provide appropriate noise attenuation measures to the satisfaction of the Authority. All noise attenuation works deemed necessary shall be carried out by and at the full cost of the developer and shall be wholly contained (including foundations) within the subject lot.
24. Before the occupation of the development starts, the area(s) set-aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
- constructed;
 - properly formed to such levels that they can be used in accordance with the plans;
 - surfaced with an all-weather-seal coat;
 - drained;
 - line marked to indicate each car space and all access lanes; and
 - clearly marked to show the direction of traffic along access lanes and driveways to the satisfaction of the consent authority.
- Car parking spaces, access lanes and driveways must be kept available for these purposes at all times.
25. All air conditioning condensers (including any condenser units required to be added or replaced in the future) are to be appropriately screened from public view and from view of neighbouring or nearby developments (or developments reasonably anticipated), located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the consent authority. The use of angled louvered slats for screening purposes is acceptable, however the slat screening must be designed with a panel to gap ratio, such that the condenser units are not readily visible from any angle.
26. All pipes, fixtures, fittings and vents servicing any building on the site must be concealed in service ducts or otherwise hidden from view to the satisfaction of the consent authority.
27. All balconies are to be internally drained and discharge is to be disposed of at ground level and in a manner consistent with stormwater disposal arrangements for the site to the satisfaction of the consent authority.
28. Before the occupation of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.
29. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.

Notes

1. The Power and Water Corporation advises that the Water and Sewer Services Development Section (waterdevelopment@powerwater.com.au) and Power Network Engineering Section (powerdevelopment@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing in order to determine the Corporation's servicing requirements, and the need for upgrading of onsite and/or surrounding infrastructure.
2. The Surveyor-General advises you should immediately make application for unit/street addresses to the Survey and Land Records unit on (08) 8995 5346 (surveylandrecords@nt.gov.au).
3. A "Permit to Work Within a Road Reserve" may be required from City of Palmerston before commencement of any work within the road reserve.
4. There are statutory obligations under *the Waste Management and Pollution Control Act 1998* (the Act), that require all persons to take all measures that are reasonable and practicable to prevent or minimise pollution or environmental harm and reduce the amount of waste. The proponent is required to comply at all times with the Act, including the General Environmental Duty under Section 12 of the Act. There is also a requirement to obtain an authorisation prior to conducting any of the activities listed in Schedule 2 of the Act.

Guidelines to assist proponents to avoid environmental impacts are available on the Northern Territory Environment Protection Authority website at <http://ntepa.ntg.gov.au/waste-pollution/guidelines/guidelines>. The Act, administered by the Northern Territory Environment Protection Authority, is separate to and not reduced or affected in any way by other legislation administered by other Departments or Authorities. The Environment Operations Branch of the Environment Division may take enforcement action or issue statutory instruments should there be non-compliance with the Act.

5. All land in the Northern Territory is subject to *the Weeds Management Act 2001* (WM Act). The WM Act describes the legal requirements and responsibilities that apply to owners and occupiers of land regarding declared weeds. Section 9 general duties include the requirement to take all reasonable measures to prevent land being infested with a declared weed and to prevent a declared weed from spreading. There are additional duties including a prohibition on buying, selling, cultivating, moving or propagating any declared weed and the requirement to notify the Weed Management Branch of a declared weed not previously present on the land within 14 days of detection. Should you require further weed management advice contact the weed management branch by phone on (08) 8999 4567 or by email to weedinfo@nt.gov.au.
6. Any floodlighting or security lighting provided on site is to be shielded in a manner to prevent the lighting being noticeable or causing nuisance to Lambrick Avenue traffic.
7. This development permit is not an approval to undertake building work. You are advised to contact a Northern Territory registered building certifier to seek a building permit as required by *the Northern Territory Building Act 1993* before commencing any demolition or construction works.
8. Any proposed works which fall within the scope of *the Construction Industry Long Service Leave and Benefits Act 2005* must be notified to NT Build by lodgement of the required Project

Notification Form. Payment of any levy must be made prior to the commencement of any construction activity. NT Build should be contacted via email (info@ntbuild.com.au) or by phone on (08) 89364070 to determine if the proposed works are subject to the Act.