

**DEVELOPMENT CONSENT AUTHORITY
DARWIN DIVISION**

NORTHERN TERRITORY PLANNING SCHEME 2020

AGENDA ITEM: 2 **MEETING DATE:** 23/05/2025 **FILE:** PA2025/0045

APPLICATION PURPOSE:	Residential Care Facility (15 beds) in a 4 storey building
SUBJECT SITE:	Lot 01229 Town of Darwin, 8 Mangola Court Larrakeyah
ZONE:	Zone HR (High Density)
SITE AREA:	726m ²
APPLICANT	Goldbox – Director Maria Pajarillo
PERSONS ON WHOSE BEHALF THE APPLICATION IS MADE	Habitat NT – Director Paul Winter
LANDOWNER	Skychest Pty Ltd - Director Craig Chesterfield
ANY PERSON WITH AN AGREEMENT TO ACQUIRE AN INTEREST IN THE LAND	None

1. PROPOSAL

The application is for a residential care facility comprising 9 dwellings (inclusive of 15 beds), one overnight carer dwelling and 2 support rooms in 4 storey building at Lot 01229 Town of Darwin, 8 Mangola Court Larrakeyah.

The 726m² lot is in Zone HR (High Density Residential) of the Northern Territory Planning Scheme (NTPS 2020). A location plan is provided at **Bookmark A**.

The proposed development comprises:

- Six x 2 bedroom dwellings and 3 x 1 bedroom dwellings provided across level one – level 3.
- One x 1 bedroom dwelling to be used for overnight carer accommodation provided at level 3.
- Two support rooms at levels 1 and 2 to be used for rehabilitation, medical and other support.
- 150m² of communal area space at ground level comprising seating area, bbq areas and landscaping.
- Seven car parking spaces (including 2 DDA spaces), one emergency vehicle / mini-bus space and 6 bicycle spaces at ground level.
- All building services are proposed on the north-eastern elevation and face Mangola Court.

The application also includes a landscape plan which proposes to plant a variety of trees, shrubs and grasses on the perimeter of the site.

Schedule 2 of the NTPS 2020 defines a residential care facility as *'the use of premises for supervised accommodation where the use integrates:*

- a) rehabilitation; and/or*
- b) medical; and/or*
- c) other support;*

facilities for residents who cannot live independently and/or require regular nursing or personal care, and may include where ancillary an office;

Development Assessment Services (DAS) consider the proposed development to be a residential care facility as:

- it comprises supervised accommodation through the inclusion of a one-bedroom dwelling to be used for overnight carer accommodation.
- integrates rehabilitation and medical facilities for residents through the inclusion of two support rooms at levels 1 and 2 to be used for rehabilitation, medical and other support.

A copy of the exhibited application is at **Bookmark B** and photos of the pink exhibition signs are at **Bookmark C**. The application was re-exhibited in response to a complaint received from a neighbour that the public exhibition signage was not visible from the street frontages.

Following the exhibition period, the applicant submitted amended plans, amended statement of effect and a corrected landowners authorisation form, responding to a deferral request made by DAS. A copy of the amended documentation is at **Bookmark D**.

The amended documentation was circulated to all public submitters and service authority for information purposes.

2. REASON FOR APPLICATION AND LEVEL OF ASSESSMENT

The proposed development requires consent under Clause 1.8 (When development consent is required) of the NTPS2020 because 'Residential Care Facility' is identified as *Impact Assessable* development in Zone HR and requires consent under clause 1.8 (1)(c)(i).

Zoning	Part 3 Overlay	Consent required by virtue of Overlay Requirement	Part 5 – General and Specific Development Requirements	Level of Assessment
Zone HR	Does not apply	No	5.2.1 General Height Control 5.2.4 Car Parking 5.2.5 Loading Bays 5.2.6 Landscaping 5.2.7 Setbacks for Development Adjacent to Land in Zones LR, LMR, MR or HR 5.3.7 End of Trip Facilities in Zones HR, CB, C, SC and TC 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures 5.4.7 Communal Open Space 5.4.8 Residential Building Design	Impact Assessable

			5.4.15 Residential Care Facility 5.4.17 Building Articulation 5.4.18 Fencing 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures 5.4.7 Communal Open Space 5.4.8 Residential Building Design 5.4.15 Residential Care Facility 5.4.17 Building Articulation 5.4.18 Fencing	
--	--	--	---	--

3. ASSESSMENT SYNOPSIS

This report concludes that the Authority should vary the requirements of Clauses 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures, 5.4.7 Communal Open Space, 5.4.17 Building Articulation and 5.4.18 Fencing, of the NTPS 2020 and approve the application subject to conditions on the development permit as detailed in section 9 of this report.

4. BACKGROUND

The site is located on the corner of Mangola Court and Smith Street and is surrounded by predominately residential apartment buildings located in Zone HR. There is a distinct landscape character with a high density of vegetation existing on site and on adjoining land. The site is currently vacant. Photos of the site are provided at **Bookmark C2**.

Relevant planning history for the site includes:

- DP15/0392 was issued on 14 July 2015 for the purpose of 10 x 2 bedroom multiple dwellings in a 6 storey building including ground level car parking. The permit lapsed in July 2017 as no works commenced on site.
- NR12/0007 was refused on 2 May 2012 for the purpose of 4 x1, 8 x2, 4 x3 and 1 x4 bedroom multiple dwellings in an 8 storey building.

5. PUBLIC EXHIBITION

The application was placed on public exhibition for a period of two weeks between the 14 February to 28 February 2025 and was re-exhibited from 7 March 2025 to 21 March 2025. The application was re-exhibited in response to a complaint received from a neighbour that the public exhibition signage was not visible from the street frontages. Five public submissions including one petition signed by 10 people were received under section 49(1) of the *Planning Act 1999*.

6. MATTERS TO BE TAKEN INTO ACCOUNT (SECTION 51 OF THE PLANNING ACT)

Pursuant to Section 51(1) of the *Planning Act 1999*, a consent authority must, in considering a development application, take into account any of the following relevant to the development:

(a) *any planning scheme that applies to the land to which the application relates*

Section 51 of the *Planning Act 1999* states that a consent authority must, in considering a development application, take into account a range of matters including any planning scheme that applies to the land.

As the application is *Impact Assessable* the exercise of discretion by the consent authority that applies is Clause 1.10(4) (Exercise of Discretion by the Consent Authority) of the NTPS2020. *In considering an application for a use or development identified as Impact Assessable the consent authority must take into account all of the following:*

- a) *any relevant requirements, including the purpose of the requirements, as set out in Parts 5 or 6;*
- b) *any Overlays and associated requirements in Part 3 that apply to the land;*
- c) *the guidance provided by the relevant zone purpose and outcomes in Part 4, or Schedule 4.1 Specific Use Zones; and*
- d) *any component of the Strategic Framework relevant to the land as set out in Part 2.*

An assessment of the relevant parts of NTPS2020 is as follows:

Part 2 – Strategic Framework

The Central Darwin Area Plan September 2019 (CDAP) (provided at **Bookmark H**) presents guidance and policy as themes that apply across the whole of Central Darwin, in addition to designated focus areas to address particular issues at specific locations.

The CDAP identifies the site for Residential Purpose on the Land Use Vision Map. In addition, CDAP identifies:

- Smith Street as a Green Links - Streets and pedestrian places with the potential for amenity and active transport enhancement and a High Amenity Boulevard - Road Reserve Upgrade incl. Tree Planting and Pavement Enhancements on the Movement and Transport: Potential Enhancements to Pedestrian / Cycleway Network Map.
- Smith Street as a Secondary Collector Transport Corridor and a Priority Pedestrian/Cycleway Network on the Movement and Transport – Transport Network Map.

A summary of the assessment of applicable themes is as follows:

Residential Theme:

The Residential Theme seeks to ‘*encourage appropriate housing options, neighbourhood and residential amenity to support the lifestyle of a diverse demographic*’. The proposed development responds to the objectives and acceptable responses as follows:

- The proposed development is for a residential care facility which contributes to providing a diverse range of dwelling types. Furthermore, the use is considered as a residential building in Schedule 2.2 (General Definitions) in the NTPS 2020.
- The surrounding land uses are primarily residential in nature with all adjoining properties developed as mid-rise residential apartment buildings. Vegetation and landscaping within building setbacks is a strong feature of the locality. The proposed development provides the following acceptable responses:
 - The proposed development has a maximum building height of 4 storeys which responds to the existing height of surrounding properties. In addition, the development incorporates landscaping setbacks to all boundaries which responds to the landscape features of the locality.
 - The development adjoins an existing pedestrian footpath along Smith Street and provides communal open space, habitable room windows and balconies which face Smith Street providing passive surveillance of the space.
- All dwellings have some windows that face either west or east, however, also have some windows that face south and north. The windows that face west and north are provided

a buffer through the provision of balconies. All dwellings have windows located on different external walls allowing for natural ventilation and maximising breezes.

Movement and Transport Theme

The Movement and Transport Theme seeks to *'provide an interconnected movement network that is safe and efficient for all users, balances the needs for vehicles with movement needs of pedestrians and cyclists, and does not impinge upon the aesthetics of the streetscape'*. The proposed development responds to the objectives and acceptable responses as follows:

- Access via Mangola Court ensures that the existing pedestrian/cycle paths along Smith Street are retained and minimise disruptions to pedestrian movements, providing pedestrian amenity.
- Provision of landscaping within the Smith Street setback contributes to creating a 'leafy' green link shared movement corridor.

Essential Infrastructure Theme

The Essential Infrastructure Theme seeks to *'provide for adequate power, water, sewerage, digital and telecommunications infrastructure'*. The proposed development responds to the objectives and acceptable responses as follows:

- The proposed services are incorporated into the building and will be screened from the streetscape via screening and landscaping.
- Comments from service authorities are recommended to be addressed through conditions and notes being applied to any permit issued.

Part 3 – Overlays

The site is not affected by any overlays.

Part 4 – Zoning

Clause 4.5 – Zone HR – High Density Residential

The purpose of Zone HR is to *'provide for a range of high rise housing options close to activity centres, public transport, open space and community facilities, where reticulated services can support high density residential development'*.

The proposed development supports the purpose of Zone HR as it is for a residential care facility that has a maximum height of 13.85 metres / 4 storeys. The proposal contributes to the providing housing diversity, on a site that is well located in the Darwin CBD with access to public transport, community services and employment opportunities.

Sub-clause 3 of Zone HR requires residential care facilities to be *'operated in a manner that is compatible with the amenity associated with high density residential development'*.

The definition of amenity in the *Planning Act 1999* states that *'amenity in relation to a locality or building, means any quality, condition or factor that makes or contributes to making the locality or building harmonious, pleasant or enjoyable'*.

The proposed development is consistent with the *'amenity associated with high density residential development'* for the following reasons:

- The proposed use is considered as a residential building in the NTPS 2020.
- The design, height, setbacks and appearance of the proposed development is compatible with the character of the area, will sit comfortably within the streetscape

and enhance the site's relationship with the public realm and effectively integrate into the character of the Larrakeyah.

- The building will be well-articulated through building expression as well as a mix of building materials including rendered blockwall, NRG board parapet painted rendered finish, vertical battens and blades, aluminium balustrades and colorbond custom orb wall cladding.
- Sufficient on-site car parking, safe access and appropriately designed accessways are provided in accordance with the requirements of Clause 5.2.4 Car Parking Spaces. In addition, space is provided for emergency vehicle or mini bus parking. *The DCA may query if the clearance height of the entry to the car parking area is adequate for emergency vehicle access.*
- Screening is proposed to the balconies that face towards the existing residential building to the south-east of the site, ensuring that overlooking and privacy impacts are minimised. All other habitable room windows and balconies are unscreened and are setback from adjoining residential buildings by at least 5.5 metres, which is considered adequate to avoid overlooking impacts.
- The facility will have one overnight support carers on site at all times. A dwelling to be used for overnight carer accommodation is located on level 3 and a general condition is recommended to be applied to the permit to ensure the use as shown on the endorsed plans is not altered.
- The noise levels generated by the development will not be significantly above that of the surrounding area. Residents are no more or less likely to generate excessive noise than the occupiers of the surrounding dwellings.

In relation to sub-clause 5, the proposed development provides clear pedestrian paths internally in the site and provides bicycle storage facilities, this promotes the accessibility and use of the surrounding walking, cycling and public transport networks.

In relation to sub-clause 6, the proposed design, site layout and landscaping:

- responds to microclimates, including breeze flow through ensuring all dwellings have windows located on different external walls allowing for natural ventilation and maximising breezes.
- reduces the appearance of building mass relative to its surroundings through its variable form, setbacks, landscaping and architectural treatments that provide articulation.
- creates attractive outdoor spaces and enhances the streetscape through providing landscaping in all boundary setbacks.
- minimise privacy and overlooking impacts through the provision of overlooking screening to balconies that face towards the existing residential buildings to the south-east of the site.

In relation to sub-clause 7, the site is connected to reticulated water, sewer, power and telecommunications in relation to servicing the development. Comments from service authorities are recommended to be addressed through conditions and notes being applied to any permit issued.

Part 5 – Development Requirements

The proposal has been assessed against the NTPS 2020 at **Bookmark G** and complies with all applicable clauses except Clauses 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures, 5.4.7 Communal Open Space, 5.4.17 Building Articulation and 5.4.18 Fencing.

An assessment of the applications non-compliances with the requirement of the NTPS2020 are considered herein.

Clause 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures

The purpose of the clause is to *'Ensure that residential buildings and ancillary structures are located in a manner that:*

- a) is compatible with the streetscape and surrounding development including residential buildings on the same site;*
- b) minimises adverse effects of building massing when viewed from adjoining land and the street;*
- c) avoids undue overlooking of adjoining properties; and*
- d) facilitates breeze penetration through and between buildings.*

Administratively, sub-clause 2(b) specifies that *'for all developments except dwellings-multiple in Zone MR or HR, where a lot has a boundary with a public street from which vehicular access to the lot is restricted by the controlling Agency or local government council, this boundary shall be considered a side or rear lot boundary for the purpose of calculation of the building setback'.*

The applicant provided email correspondence from the City of Darwin dated 2 April 2025 (refer to **Bookmark D4**) that advised *'City of Darwin does not support the use of Smith Street for vehicle access to this site'* and therefore the setback from the boundary facing Smith Street is considered a side boundary for the purpose of this clause.

With reference to sub-clause 6(a), the proposed development, specifically the ground level blockwork walls and gatehouse are setback between 2 – 2.5 metres from the Mangola Court lot boundary, where they are required to be setback 6 metres, and the level one – 3 balconies are setback 2.5 metres from the south-west lot boundary, where they are required to be setback 3 metres.

All other minimum building setbacks have been assessed as compliant with the requirements of the clause.

Administratively, sub-clause 3 specifies that *'the consent authority may consent to a development that is not in accordance with sub-clause 6-8 only if it is satisfied that the reduced setback is consistent with the purpose of this clause and it is appropriate to the site having regard to such matters as its location, scale and impact on adjoining and nearby property'.*

The proposed variation to the ground level primary street frontage setback is appropriate for the following reasons:

- The proposed blockwork walls are setback between 2 – 2.5 metres from the Mangola Court boundary and, where possible, a planter box has been provided along the boundary to assist with screening and filtering the blockwork walls when viewed from the streetscape.
- The proposed gatehouse is setback 2 metres from the Mangola Court boundary and are sympathetic to the streetscape as the varied materials and finishes provide articulation and minimise any appearance of building massing when viewed from Mangola Court.
- In addition, it is noted that the location of fire pump and booster and letterboxes are required to be located along the front boundary to be easily accessible. Landscaping of these elements is not feasible as it would prevent access.
- The proposed upper level balconies along the south-west boundary encroach 500mm into the required side setback. The proposed balconies are open structures and provide articulation and depth ensuring the development is not overly dominant when viewed from the adjoining property to the south-west.

Clause 5.4.7 Communal Open Space

The purpose of this clause is *'ensure that suitable areas for communal open space are provided for dwellings-multiple, residential care facilities and rooming accommodation'*.

With reference to sub-clause 5, the proposed communal open space includes area that are less than 6 metres wide, and therefore does not comply.

Administratively, sub-clause 4 specifies that *'for zones and uses not covered by sub-clauses 2 and 3, the consent authority may consent to a development that is not in accordance with sub-clauses 5 and 6 if it is satisfied the communal open space has usable dimensions and is of a sufficient size for the development'*.

The proposed variation to the communal open space requirements is appropriate for the following reasons:

- The proposed area of communal open space complies with the minimum area requirements and is of a sufficient size for the scale of the development as demonstrated through the provision of grassed area, shade structures, bbq and seating.
- Whilst not a planning requirement under Part 5 of the NTPS 2020, all dwellings in this residential care facility are provided with a compliant private open space in the form of a balcony, which provides appropriate opportunities for outdoor activities.

Clause 5.4.17 Building Articulation

The purpose of the clause is to *'ensure that residential buildings mitigate the perception of building mass and bulking when viewed from adjoining properties and the street, and provide opportunities for cross-ventilation within building design'*.

With reference to sub-clause 4, the proposed north-eastern and south-western walls extent for a length greater than 15 metres without a step or recess.

Administratively, sub-clause 2 specifies that *'the consent authority may consent to a development that is not in accordance with sub-clause 4 only if it is satisfied it is consistent with the purpose of this clause'*.

The proposed variation to the building articulation requirements is appropriate for the following reasons:

- The proposed walls will be finished in a blockwall render with glazed windows and colorbond custom orb wall cladding, which provides texture and articulation, minimising the visual bulk. In addition, the windows are openable providing opportunities for cross-ventilation.

Clause 5.4.18.1 Fencing in Zones MR and HR

The purpose of the clause is to *'promote fencing in medium and high density areas that provides a positive interface with the public domain, while allowing necessary privacy for residents and neighboring properties'*.

With reference to sub-clause 4(b), the proposed fencing along the boundary abutting Smith Street, has a height of 2.3 metres and does not comply as the height is greater than 2 metres.

Administratively, sub-clause 1 specifies that *'the consent authority may consent to a use or development that is not in accordance with sub-clause 4 if it is satisfied the fence enhances the streetscape and allows for passive surveillance to the public domain'*.

The proposed variation to the height of the Smith Street boundary fence is appropriate for the following reasons:

- The proposed fencing is partially transparent which allows for passive surveillance from the communal open space area to the public domain.
- In addition, small shrubs are proposed to be planted along the boundary, which will both screen and filter the fence and reduce the dominance of the fence when viewed from Smith Street and also provide a natural transition from the public realm to the site.

Furthermore, Clause 5.4.15 Residential Care Facility is assessed in detail below to confirm that the proposed use is suitable and meets all the necessary criteria specified in the clause.

Clause 5.4.15 Residential Care Facility

The purpose of the clause is to *'ensure that a residential care facility is established in an appropriate location to meet the needs of its residents and is operated in a manner that:*

- a) adequately supports persons in care, staff and visitors;*
- b) does not unreasonably impact on the amenity of adjoining and nearby property; and*
- c) is commensurate with the scale of utilities and transport infrastructure provided in the locality'.*

The requirements listed under sub-clause 2 – 4 of the Clause are:

- 2. The facility provides rehabilitation, social, health and recreational facilities on-site or is located to ensure residents have convenient access to such facilities and the public transport network.*
- 3. The scale and day to day operation is compatible with the character and amenity of the zone.*
- 4. No greater demand or load is imposed on the services provided by a public utility organisation than that which is ordinarily required in the locality.*

In relation to sub-clause 2, the proposed development integrates rehabilitation and medical facilities through the inclusion of a medical examination room and consultation office at level 1 and an activity room and rehabilitation room at level 2. The proposed development also comprises communal open space at ground level which includes bbq areas and seating. In addition, the site is well located in the Darwin CBD with access to recreational facilities in the form of public open space and community centres and access to rehabilitation, social and health facilities in the form of community services and organisations and medical clinics.

In relation to sub-clause 3, as assessed above at Part 4 – Zoning, the scale and day to day operations of the proposed development is compatible with the character and amenity of Zone HR.

In relation to sub-clause 4, the site is connected to reticulated water, sewer, power and telecommunications and service authorities have raised no concerns in relation to servicing the development.

- (b) *any proposed amendments to such a planning scheme:*
- (i) *that have been or are on exhibition under Part 2, Division 3;*
 - (ii) *in respect of which a decision has not been made under Part 2, Division 5; and*
 - (iii) *that are relevant to the development proposed in the development application*

There are no proposed amendments to the Northern Territory Planning Scheme 2020 which affect this proposal.

- (c) *an interim development control order, if any, in respect of the land to which the application relates*

There are no interim development control orders relevant to the site.

- (d) *an environment protection objective within the meaning of the Waste Management and Pollution Control Act 1998 that is relevant to the land to which the application relates*

There are no environmental protection objectives relevant to the land.

- (e) *any submissions made under section 49, and any evidence or information received under section 50, in relation to the development application*

Five public submissions that included one petition signed by 10 people were received during the exhibition period under Section 49 of the *Planning Act 1999* with respect to the proposal. The amended plans and applicant's response to deferral was circulated to all submitters and no further comments were received. Any further comments received after the report is made public (online) will be tabled at the DCA hearing.

The submissions are summarised as followed:

- Incompatibility with HR Zoning.
- Increased traffic and parking congestion.
- Noise and disturbance to adjoining residents.
- Loss of privacy for adjoining properties and overlooking impacts.
- Increased demand on local infrastructure.
- Safety and emergency access concerns.
- Property values.
- Destruction of habitat to orange – footed scrub fowl.
- Incorrect designation of primary street frontage, Smith Street should be the designated as the primary street frontage.
- Concerns regarding the streetscape setback and visual disruption to the streetscape.
- Impacts on views of the green space along Smith Street.
- Impacts on natural breezeway and natural ventilation.
- Concerns regarding visual bulk and scale and out of character of the area.
- Overshadowing impacts.

See below each submission summarised:

Holly Supple-Gurruwiwi on behalf of residence of Larrakeyah (**Bookmark E1**), raised the following concerns:

- Incompatibility with HR Zoning.
- Increased traffic and parking congestion.
- Noise and disturbance to adjoining residents.
- Loss of privacy for adjoining properties and overlooking impacts.

- Increased demand on local infrastructure.
- Safety and emergency access concerns.
- Property devaluation.
- Destruction of habitat to orange – footed scrub fowl.

Andrea Calley (**Bookmark E2**), raised the following concerns:

- Incompatibility with HR Zoning.
- Increased traffic and parking congestion.
- Noise and disturbance to adjoining residents.
- Loss of privacy for adjoining properties and overlooking impacts.
- Increased demand on local infrastructure.
- Safety and emergency access concerns.
- Property devaluation.
- Destruction of habitat to orange – footed scrub fowl.

Georgina O'Connell (**Bookmark E3**) raised the following concerns:

- Incompatibility with HR Zoning.
- Increased traffic and parking congestion.
- Noise and disturbance to adjoining residents.
- Loss of privacy for adjoining properties and overlooking impacts.
- Increased demand on local infrastructure.
- Safety and emergency access concerns.
- Property devaluation.
- Destruction of habitat to orange – footed scrub fowl.

Pat O'Connell (**Bookmark E4**) raised the following concerns:

- Incompatibility with HR Zoning.
- Increased traffic and parking congestion.
- Noise and disturbance to adjoining residents.
- Loss of privacy for adjoining properties and overlooking impacts.
- Increased demand on local infrastructure.
- Safety and emergency access concerns.
- Property devaluation.
- Destruction of habitat to orange – footed scrub fowl.

William and Kelly Hunter (**Bookmark E5**) raised the following concerns:

- Incorrect designation of primary street frontage, Smith Street should be the designated as the primary street frontage.
- Concerns regarding the streetscape setback and visual disruption to the Smith streetscape.
- Impacts on views of the green space along Smith Street.
- Impacts on natural breezeway and natural ventilation.
- Concerns regarding visual bulk and scale and out of character of the area.
- Overshadowing impacts.
- Loss of privacy for adjoining properties and overlooking impacts.
- Property devaluation.

DAS response: The submitter's concerns are noted and where relevant and appropriate have been addressed through recommended conditions. Consideration of key issues are outlined below.

Incompatibility with HR Zoning:

The proposed use is one that is permissible within the zone and scope exists for a permit to be issued. The HR provisions contemplate circumstances when it will be appropriate for a permit to be issued for a residential care facility. The existence of discretion does not automatically mean that a permit should or will be issued. This is made clear in the zone outcomes for Zone HR which of relevance include:

3. *Hotel/motels, residential care facilities and rooming accommodation are operated in a manner that is compatible with the amenity associated with high density residential development.*
4. *Development integrates with walking, cycling and public transport networks to promote accessibility and use.*
5. *Innovative building design, site layout and landscaping that: (a) responds to microclimates, including breeze flow; (b) minimises privacy and overlooking impacts; (c) reduces the appearance of building mass relative to its surroundings; and (d) creates attractive outdoor spaces and enhances the streetscape.*
6. *An efficient pattern of land use with all lots connected to reticulated services, integrated with existing transport networks and with convenient access to open space, community and educational facilities.*

An assessment of the proposal's compliance with the Zone HR outcomes is at section 6(a) of this report.

Traffic impacts and parking congestion:

Safety and emergency access concerns:

Vehicles, whether they are related to this or other developments in the street, can only park on the street in accordance with any parking regulations. The number of vehicles that can park on the street and at what time will be dictated by the parking restrictions and the availability of on street car spaces. The development has provided parking to a level that exceeds the requirements of Clause 5.2.4.1 Car Parking Spaces. A total of 5 spaces are required for the proposed development. 7 on site spaces are provided. It is expected that the level of parking provided will cater for car ownership levels of the occupiers as well as some visitor parking.

At the request of the City of Darwin, a condition precedent is recommended to be applied to any permit issued requiring a comprehensive Traffic Impact Statement (TIS).

The proposed development provides adequate space for emergency vehicles to access and park in site.

Noise and disturbance to adjoining residents:

The proposed residential use will have noise impacts consistent with those normal to a residential zone. The noise levels generated by the development will not be significantly above that of the surrounding area. Residents are no more or less likely to generate excessive noise than the occupiers of the surrounding dwellings.

Loss of privacy for adjoining properties and overlooking impacts:

Screening is proposed to the balconies that face towards the existing residential building to the south-east of the site, ensuring that overlooking and privacy impacts are minimised.

All other habitable room windows and balconies are unscreened and are setback from adjoining residential buildings by at least 5.5 metres, which is considered adequate siting to avoid unreasonable overlooking impacts.

Increased demand on local infrastructure:

A concern in a number of submissions was the impact of development on infrastructure. The owner will be required to address infrastructure servicing demands as required by the relevant service authorities towards the upgrade of existing infrastructure.

Property devaluation:

Fluctuations in property prices are not a relevant consideration in assessing an application under the provisions of the *Planning Act 1999*, or the NTPS 2020.

Destruction of habitat to orange – footed scrub fowl:

All existing vegetation are proposed to be removed, noting that the site is in Zone HR and there are no specific vegetation protection requirements applicable to the site.

A landscape plan has been submitted as part of the application which proposes to plant a variety of trees, shrubs and ground covers, around the perimeter of the site. It is recommended that a condition is applied which requires the ongoing maintenance of any landscaping.

Incorrect designation of primary street frontage, Smith Street should be the designated as the primary street frontage:

Schedule 2 of the NTPS 2020 provides the following relevant definitions:

primary street means the street or where there is more than one street, the street with the wider carriageway or that which carries the greater volume of traffic but does not include any street where access is restricted by the controlling Agency

secondary street means – in the case of a site that has frontage to more than one public street – the street or streets that are not the primary street;

In this instance, the primary street is Mangola Court, as despite Smith Street having the wider carriageway and carrying the greater volume of traffic, the controlling Agency (City of Darwin) has restricted access from the site to Mangola Court.

In addition, sub-clause 2(b) of Clause 5.4.3 specifies that *‘for all developments except dwellings-multiple in Zone MR or HR, where a lot has a boundary with a public street from which vehicular access to the lot is restricted by the controlling Agency or local government council, this boundary shall be considered a side or rear lot boundary for the purpose of calculation of the building setback’*. As such, in this instance, as the controlling Agency has restricted access from the site to Mangola Court, Smith Street is considered a side setback.

Concerns regarding the streetscape setback and visual disruption to the Smith Street streetscape:

The DAS assessment concludes that the proposed development complies with the side setback requirements to Smith Street, the only non-compliant setbacks are in relation to the ground floor blockwork walls and gatehouse to Mangola Court and the level one – 3 balconies to the south-west boundary.

Impacts on views of the green space along Smith Street:

The proposed development is located entirely within the site and does not unreasonably impact on views of the green space along Smith Street. It is noted that in Zone HR, there is a maximum height limit of 8 storeys and the proposed development is only 4 storeys.

Impacts on natural breezeway and natural ventilation:

The DAS assessment concludes that the proposed development complies with the side and rear setback requirements (with the exception of the level one – 3 balcony setback to the south-west boundary) and as such there are not considered to be any unreasonable impacts on the natural breezeway and ventilation of adjoining properties.

Concerns regarding building height, visual bulk and scale and out of character of the area:

The design addresses bulk and scale through its variable form, setbacks, landscaping and architectural treatments that provides articulation and will create an appropriate level of visual interest and expression of form that will enhance the urban setting.

The height and scale of the development at four storeys are appropriate, given the focus for intensive development for the site zoned HR (High Density) and similar scale development having been approved and developed in the surrounding area.

Overshadowing:

Overshadowing is not a relevant consideration in assessing an application under the provisions of the *Planning Act 1999* or the *NTPS 2020*.

(f) a matter that the Minister has, under section 85, directed it to consider in relation to development applications generally

The Minister has made no direction in relation to the application.

(h) the merits of the proposed development as demonstrated in the application

The application submits that the proposal has the following merits:

The proposed development provides not only more diversity of residential uses but also the most updated living standard in the locality.

Addressing potential objections related to the perception of “Social” housing expectations is crucial. Emphasising the legal framework governed by the Act of Federal Parliament, which prohibits vilification and discrimination against disabled individuals, can be a key point in countering objections. Highlighting the facility’s purpose in providing essential care services for a small number of individuals, in accordance with

relevant regulations, may help dispel misconceptions and foster community understanding.

- (j) ***the capability of the land to which the proposed development relates to support the proposed development and the effect of the development on the land and on other land, the physical characteristics of which may be affected by the development***

The site is flat, not affected by Australian Noise Exposure Forecast (ANEF) 20-unit value or greater contour line and outside areas of identified storm surge. The overall height and scale of the proposed development is largely consistent with that anticipated in land zoned HR. Subsequently, the land is considered to have the capacity to support the proposed development.

- (k) ***the public facilities or public open space available in the area in which the land is situated and the requirement, if any, for the facilities, or land suitable for public recreation, to be provided by the developer***

There is no requirement for public facilities or public open space for the proposal, with facilities provided internally, including amenities and communal open space intended for building occupants.

- (m) ***the public utilities or infrastructure provided in the area in which the land is situated, the requirement for public facilities and services to be connected to the land and the requirement, if any, for those facilities, infrastructure or land to be provided by the developer for that purpose***

The proposal was circulated to the following authorities for comment:

Local Authority:

City of Darwin - Bookmark F1

The City of Darwin requests that conditions be applied to the permit to address the following:

- Dilapidation report.
- Access to the City of Darwin requirements.
- Stormwater management.
- Waste management plan
- Traffic Impact Statement
- Site Construction Management Plan.
- Works within the City of Darwin road reserve.
- Protection street trees.
- Building identification.

Conditions and notes are recommended to be applied to the permit to address the above listed requirements.

Service Authority:

Power and Water (Power Networks Network Engineering)– Bookmark F2

Power and Water (Power Networks Network Engineering) provided standard comments and in particular advised:

- that the existing overhead service does not have the capacity to meet the new power demand and advised that there is a package substation which can be upgraded to provide the capacity required.
- The developer shall engage accredited electrical consultant and contractor to design and construct the low voltage electricity network extension.
- The developer shall engage a licensed electrician to install customers internal electricity reticulation.

Conditions and notes are included on the permit to address the standard comments and above listed requirements.

Power and Water Corporation (Water) – Bookmark F3

Power and Water (Water) provided standard comments and in particular advised:

- The developer may need to upgrade the existing water and sewer service and should contact Services Development prior to start of construction.
- Power and Water require separate water meters where there are residential and non residential body corporate arrangements.

Conditions and notes are recommended to be applied to the permit to address the standard comments and above listed requirements.

Development Coordination Division, Department of Lands, Planning and Environment – Bookmark – Bookmark F4

The Environment Division advised:

- The information provided regarding the proposal does not appear to trigger licensing requirements of an Environment Protection Approval under the *Waste Management and Pollution Control Act 1998* (WMPC Act).
- There are statutory obligations under the WMPC Act that require all persons to take all measures that are reasonable and practicable to prevent or minimise pollution or environmental harm and reduce the amount of waste. The proponent is required to comply at all times with the WMPC Act, including the General Environmental Duty under section 12 of the WMPC Act. There is also a requirement to obtain an authorisation prior to conducting any of the activities listed in Schedule 2 of the WMPC Act.

The Heritage Branch advised:

- The search has found that there are no known Aboriginal or Macassan archaeological places and objects within the subject site, and the likelihood of unrecorded Aboriginal or Macassan archaeological places existing is unlikely. If archaeological places are discovered over the course of the work, establish an exclusion zone around the site and contact the Heritage Branch immediately.

- The search has found that there are no nominated, provisionally declared or declared heritage places or objects within the subject area.

Conditions and notes are recommended to be applied to the permit to address the comments received.

Telstra and NBNCo were circulated the application and no comments from these service authorities have been received

The deferral response including the amended development plans (**Bookmark D1**) and amended statement of effect (**Bookmark D2**) were circulated to all service authorities that provided comments to the original circulation and no additional comments or concerns were raised.

(n) the potential impact on the existing and future amenity of the area in which the land is situated

Amenity is considered in the context of the site and its surrounds along with the applicable planning controls. Of relevance, Sub-clause 3 of Zone HR requires residential care facilities to be '*operated in a manner that is compatible with the amenity associated with high density residential development*' and therefore detailed considered of the proposed developments potential amenity impacts are outlined above at Section 6(a) of this report.

(p) the public interest, including (if relevant) how the following matters are provided for in the application:

- (i) community safety through crime prevention principles in design;**
- (ii) water safety;**
- (iii) access for persons with disabilities**

In relation to community safety through crime prevention, the establishment of use of a vacant site will allow for continued passive surveillance of the street.

Access for persons with disabilities is expected to be reviewed as part of building requirements. It is noted that disabled car parking spaces are provided in the development.

Broader public interest in the application is also reflected in the public submissions received as discussed in a previous section.

(pa) for a proposed subdivision or consolidation of land in a Restricted Water Extraction Area – whether the subdivision or consolidation complies with the restrictions of sections 14A and 14B of the Water Act 1992 and the requirements of section 14C(1) of that Act;

Not applicable to this application.

(q) for a proposed subdivision of land on which a building is, or will be, situated – whether the building complies, or will comply, with any requirements prescribed by regulation in relation to the building (including, for example, requirements about the structural integrity and fire safety of the building)

Not applicable to this application.

- (r) ***any potential impact on natural, social, cultural or heritage values, including, for example, the heritage significance of a heritage place or object under the Heritage Act 2011***

There are no known natural, social, cultural or heritage values on the site or in the immediate surrounding area.

- (s) ***any beneficial uses, quality standards, criteria, or objectives, that are declared under section 73 of the Water Act 1992***

The following declared beneficial uses apply to the subject land for Darwin Harbour:

- Aquaculture, environment, cultural, rural stock and domestic [as per NR Maps].

It is the responsibility of the developer and land owner to ensure that land use does not result in a contravention of the *Water Act 1992*.

- (t) ***other matters it thinks fit***

No other matters are raised for consideration by the consent authority.

Section 51(2) of the *Planning Act 1999*

If a development proposal is required to be referred to the NT EPA under Part 4, Division 3 of the Environment Protection Act 2019, the consent authority must not make a decision under this Division in relation to a development application for the proposal unless:

- (a) the NT EPA has determined that an environmental impact assessment is not required under that Act for that proposal; or***
(b) if the NT EPA has determined that an environmental impact assessment is required – an environmental approval has been granted under that Act for the proposal and the decision is consistent with that approval; or
(c) the Environment Protection Act 2019 otherwise permits the making of the decision.

Comments received from Development Coordination Division, Department of Lands, Planning and Environment (Environment Division) did not raise any concerns under the *Environment Protection Act 2019*.

7. RECOMMENDATION

That, the Development Consent Authority vary the requirements of Clause 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures), Clause 5.4.7 (Communal Open Space), Clause 5.4.17 (Building Articulation) and Clause 5.4.18 (Fencing) of the Northern Territory Planning Scheme, and pursuant to section 53(a) of the *Planning Act 1999*, consent to the application to develop Lot 01229 Town of Darwin, 8 Mangola Court Larrakeyah for the purpose of Residential Care Facility (15 beds) in a 4 storey building, subject to the following conditions:

CONDITIONS PRECEDENT

1. Prior to the commencement of works (including site preparation), a comprehensive Traffic Impact Statement (TIS), to be prepared by a qualified traffic engineer in accordance with the Austroads Document Guide to Traffic Management Part 12: Traffic Impacts of Developments, in the report structure provided as Appendix of that document, with particular attention to vehicular, pedestrian, cyclist and public transport issues, intersection/road network performance and opportunities. The report

must also include swept path analysis for waste collection vehicles entering and exiting the site, as well as an assessment of sightlines for the proposed driveway access and adjacent block wall fence to ensure the safety of pedestrians and cyclists using the footpath adjacent to the subject site. The report should identify any necessary upgrades to the surrounding street network as a result of the implications of the development. The developer will be required to institute all required upgrade measures resulting from the traffic assessment at no cost to City of Darwin.

2. Prior to the commencement of works (including site preparation), an engineered plan completed by a suitably qualified civil engineer demonstrating the on-site collection of stormwater and its discharge into the local underground stormwater drainage system, shall be submitted to, and approved by the City of Darwin, to the satisfaction of the consent authority. The plan shall include details of site levels, and Council's stormwater drain connection point/s and connection details.
3. Prior to the commencement of works (including site preparation), the applicant is to prepare a Site Construction Management Plan (SCMP) to the requirements of the City of Darwin, to the satisfaction of the consent authority. The SCMP should specifically address the impact to Council owned public spaces and include a waste management plan for disposal of waste to Shoal Bay, traffic control for affected City of Darwin roads, haulage routes, storm water drainage & sediment control, use of City of Darwin land, and how this land will be managed during the construction phase.
4. Prior to the commencement of works (including site preparation), a Waste Management Plan demonstrating waste disposal, storage and removal in accordance with City of Darwin's Waste Management Guidelines, shall be submitted to and approved by the City of Darwin, to the satisfaction of the consent authority.
5. Prior to the commencement of works (including site preparation), the applicant is to prepare a dilapidation report covering infrastructure within the road reserve to the requirements of the City of Darwin, to the satisfaction of the consent authority.
6. Prior to the commencement of works (including site preparation), in principle approval is required for the crossover and driveway to the site from the City of Darwin road reserve, to the satisfaction of the consent authority.

GENERAL CONDITIONS

7. The works carried out under this permit shall be in accordance with the drawings endorsed as forming part of this permit.
8. The use and development as shown on the endorsed plans must not be altered without the further consent of the consent authority.
9. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage, electricity and telecommunication networks to the development shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time.
Please refer to notations 1, 2, 3 and 4 for further information.
10. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the consent authority.
11. Before the use or occupation of the development starts, the area(s) set-aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
 - a. constructed;
 - b. properly formed to such levels that they can be used in accordance with the plans;
 - c. surfaced with an all-weather-seal coat;

- d. drained;
 - e. line marked to indicate each car space and all access lanes; and
 - f. clearly marked to show the direction of traffic along access lanes and driveways to the satisfaction of the consent authority.
- Car parking spaces, access lanes and driveways must be kept available for these purposes at all times.
12. All works recommended by the traffic impact assessment are to be completed to the requirements of the City of Darwin, to the satisfaction of the consent authority.
 13. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to the City of Darwin, to the satisfaction of the consent authority.
 14. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of City of Darwin, to the satisfaction of the consent authority.
 15. The owner shall:
 - a. remove disused vehicle and/ or pedestrian crossovers;
 - b. provide footpaths/cycleways;
 - c. collect stormwater and discharge it to the drainage network; and
 - d. undertake reinstatement works;
 - e. all to the technical requirements of and at no cost to the City of Darwin, to the satisfaction of the consent authority.
 16. Upon completion of any works within or impacting upon existing road reserves, the infrastructure within the road reserve shall be rehabilitated to the standards and requirements of the City of Darwin and returned to the condition as documented in the dilapidation report.
 17. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street to the requirements of the City of Darwin, to the satisfaction of the consent authority.
 18. Waste bin enclosures, storage and pick-up shall be provided in accordance with City of Darwin's Waste Management Guidelines.
 19. All air conditioning condensers (including any condenser units required to be added or replaced in the future) are to be appropriately screened from public view and from view of neighbouring or nearby developments (or developments reasonably anticipated), located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the consent authority. The use of angled louvered slats for screening purposes is acceptable, however the slat screening must be designed with a panel to gap ratio, such that the condenser units are not readily visible from any angle.
 20. All balconies are to be internally drained and discharge is to be disposed of at ground level and in a manner consistent with stormwater disposal arrangements for the site to the satisfaction of the consent authority.
 21. All substation, fire booster and water meter arrangements are to be appropriately screened to soften the visual impact of such infrastructure on the streetscape, to ensure that the infrastructure is sympathetic to and blends in with the design of the building. Details will need to be resolved to the satisfaction of the consent authority in consultation with the Power and Water Corporation, and NT Fire and Emergency Services.

22. All pipes, fixtures, fittings and vents servicing any building on the site must be concealed in service ducts or otherwise hidden from view to the satisfaction of the consent authority.
23. Before the use/occupation of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.
24. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.

Notes

1. The Power and Water Corporation advises that the Water and Sewer Services Development Section (waterdevelopment@powerwater.com.au) and Power Network Engineering Section (powerdevelopment@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing in order to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.
2. Power and Water Corporation advise that prior to initial reviews and assessments being undertaken to determine Power and Water Corporations servicing requirements, the developer should submit an Expression of Interest (EoI) form via email to remotedevelopment@powerwater.com.au
3. All developers, including owner-builders, are required to comply with Commonwealth telecommunications requirements. Under Commonwealth law, developers are generally required to provide fibre-ready pit and pipe in their developments at their expense. Developers may be able to access an exemption from these arrangements in some circumstances. For more information visit www.infrastructure.gov.au/tind
4. If you choose nbn to service your development, you will need to enter into a development agreement with nbn. The first step is to register the development via <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments.html> once registered nbn will be in contact to discuss the specific requirements for the development. Nbn requires you to apply at least 3 months before any civil works commence. All telecommunications infrastructure should be built to nbn guidelines found at <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments/builders-designers.html>
5. Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by City of Darwin and all approved works shall be constructed at the applicant's expense, to the requirements of City of Darwin.
6. In accordance with City of Darwin By-Laws, prior to occupation, the applicant shall ensure that a building number is displayed in a position clearly visible from the street. The number must be visible against the background on which it is placed, to the satisfaction and at no cost to City of Darwin.
7. City of Darwin advises that all street trees shall be protected at all times during construction. Any tree on a footpath, which is damaged or removed during construction, shall be replaced, to the satisfaction of the General Manager Infrastructure, City of Darwin. A Tree Protection Zone (TPZ) shall be constructed for all existing trees to be retained within the development, in accordance with Australian Standards – AS 4970-2009 "Protection of Trees on Development Sites". Copies of AS 4970-2009 "Protection of Trees on Development Sites" can be obtained from the Australian Standards website.

8. There are statutory obligations under the *Waste Management and Pollution Control Act 1998* (the Act), that require all persons to take all measures that are reasonable and practicable to prevent or minimise pollution or environmental harm and reduce the amount of waste. The proponent is required to comply at all times with the Act, including the General Environmental Duty under Section 12 of the Act. There is also a requirement to obtain an authorisation prior to conducting any of the activities listed in Schedule 2 of the Act. Guidelines to assist proponents to avoid environmental impacts are available on the Northern Territory Environment Protection Authority website at <http://ntepa.ntg.gov.au/waste-pollution/guidelines/guidelines>. The Act, administered by the Northern Territory Environment Protection Authority, is separate to and not reduced or affected in any way by other legislation administered by other Departments or Authorities. The Environment Operations Branch of the Environment Division may take enforcement action or issue statutory instruments should there be non-compliance with the Act.
9. The permit holder is advised that it is an offence to disturb or destroy prescribed archaeological places without consent under the *Heritage Act 2011*. Should any heritage or archaeological material be discovered during the clearing operation, cease operation and please phone Heritage Branch of the Department of Lands, Planning and Environment.
10. This development permit is not an approval to undertake building work. You are advised to contact a Northern Territory registered building certifier to seek a building permit as required by the Northern Territory *Building Act 1993* before commencing any demolition or construction works.
11. Any proposed works which fall within the scope of the *Construction Industry Long Service Leave and Benefits Act 2005* must be notified to NT Build by lodgement of the required Project Notification Form. Payment of any levy must be made prior to the commencement of any construction activity. NT Build should be contacted via email (info@ntbuild.com.au) or by phone on 08 8936 4070 to determine if the proposed works are subject to the Act.

8. REASONS FOR THE RECOMMENDATION

1. Pursuant to section 51(1)(a) of the *Planning Act 1999*, the consent authority must take into consideration the planning scheme that applies to the land to which the application relates.

The application proposes a residential care facility comprising 9 dwellings (inclusive of 15 beds), one overnight carer dwelling and 2 support rooms in 4 storey building.

Schedule 2 of the NTPS 2020 defines a residential care facility as *'the use of premises for supervised accommodation where the use integrates:*

- a) rehabilitation; and/or*
- b) medical; and/or*
- c) other support;*

facilities for residents who cannot live independently and/or require regular nursing or personal care, and may include where ancillary an office;

The proposed development is considered to be a residential care facility, in accordance with the Schedule 2 of the NTPS 2020 definition, as:

- it comprises supervised accommodation through the inclusion of a one-bedroom dwelling to be used for overnight carer accommodation.
- integrates rehabilitation and medical facilities for residents through the inclusion of two support rooms at levels 1 and 2 to be used for rehabilitation, medical and other support

Section 51 of the *Planning Act 1999* states that a consent authority must, in considering a development application, take into account a range of matters including any planning scheme that applies to the land.

The NT Planning Scheme 2020 (NTPS2020) applies to the land and a residential care facility require consent under Clause 1.8 (When development consent is required). It is identified as Impact Assessable under Clause 1.8(1)(c)(v), therefore Part 2: Strategic Framework (CDAP 2019), Part 4: Zone Purpose and Outcomes of Clause 4.5 – Zone HR (High Density Residential) and Part 5: Development Requirements, including Clauses 5.2.1 General Height Control, 5.2.4 Car Parking, 5.2.5 Loading Bays, 5.2.6 Landscaping, 5.3.7 End of Trip Facilities in Zones HR CB C SC and TC, 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures, 5.4.7 Communal Open Space, 5.4.8 Residential Building Design, 5.4.15 Residential Care Facility and 5.4.17 Building Articulation 5.4.18 Fencing, need to be considered.

As the application is Impact Assessable the exercise of discretion by the consent authority that applies is Clause 1.10(4) (Exercise of Discretion by the Consent Authority) of the NTPS2020.

In considering an application for a use or development identified as Impact Assessable the consent authority must take into account all of the following:

- a) any relevant requirements, including the purpose of the requirements, as set out in Parts 5 or 6;*
- b) any Overlays and associated requirements in Part 3 that apply to the land;*
- c) the guidance provided by the relevant zone purpose and outcomes in Part 4, or Schedule 4.1 Specific Use Zones; and*
- d) any component of the Strategic Framework relevant to the land as set out in Part 2.*

An assessment of the relevant parts of NTPS2020 is as follows:

Part 2 – Strategic Framework

The Central Darwin Area Plan September 2019 (CDAP) presents guidance and policy as themes that apply across the whole of Central Darwin, in addition to designated focus areas to address particular issues at specific locations.

The CDAP identifies the site for Residential Purpose on the Land Use Vision Map. In addition, CDAP identifies:

- Smith Street as a Green Links - Streets and pedestrian places with the potential for amenity and active transport enhancement and a High Amenity Boulevard - Road Reserve Upgrade incl. Tree Planting and Pavement Enhancements on the Movement and Transport: Potential Enhancements to Pedestrian / Cycleway Network Map.
- Smith Street as a Secondary Collector Transport Corridor and a Priority Pedestrian/Cycleway Network on the Movement and Transport – Transport Network Map.

A summary of the assessment of applicable themes of CDAP is as follows:

The Residential Theme seeks to '*encourage appropriate housing options, neighbourhood and residential amenity to support the lifestyle of a diverse demographic*'. The proposed development responds to the objectives and acceptable responses as follows:

- The proposed development is for a residential care facility which contributes to providing a diverse range of dwelling types.
- The surrounding land uses are primarily residential in nature with all adjoining properties developed as mid-rise residential apartment buildings. Vegetation and landscaping within building setbacks is a strong feature of the locality. The proposed development provides the following acceptable responses:
 - The proposed development has a maximum building height of 4 storeys which responds to the existing height of surrounding properties. In addition, the development incorporates landscaping setbacks to all boundaries which responds to the landscape features of the locality.
 - The development adjoins an existing pedestrian footpath along Smith Street and provides habitable room windows and balconies which face Smith Street providing passive surveillance of the space.
- All dwellings have some windows that face either west or east, however, also have some windows that face south and north. The windows that face west and north are provided a buffer through the provision of balconies. All dwellings have windows located on different external walls allowing for natural ventilation and maximising breezes.

The Movement and Transport Theme seeks to '*provide an interconnected movement network that is safe and efficient for all users, balances the needs for vehicles with movement needs of pedestrians and cyclists, and does not impinge upon the aesthetics of the streetscape*'. The proposed development responds to the objectives and acceptable responses as follows:

- Access via Mangola Court ensures that the existing pedestrian/cycle paths along Smith Street are retained and minimise disruptions to pedestrian movements, providing pedestrian amenity.
- Provision of landscaping within the Smith Street setback contributes to creating a 'leafy' green link shared movement corridor.

The Essential Infrastructure Theme seeks to *'provide for adequate power, water, sewerage, digital and telecommunications infrastructure'*. The proposed development responds to the objectives and acceptable responses as follows:

- The proposed services are incorporated into the building and will be screened from the streetscape via screening and landscaping.
- Comments from service authorities are recommended to be addressed through conditions and notes being applied to any permit issued.

Part 3 – Overlays

The site is not affected by any overlays.

Part 4 – Zoning

The site is located in Zone HR – High Density Residential pursuant to Clause 4.5 of Part 4 of the NTPS 2020.

The purpose of Zone HR is to *'provide for a range of high rise housing options close to activity centres, public transport, open space and community facilities, where reticulated services can support high density residential development'*.

The proposed development supports the purpose of Zone HR as it is for a residential care facility that has a maximum height of 13.856 metres / 4 storeys. The proposal contributes to the providing housing diversity, on a site that is well located in the Darwin CBD with access to public transport, community services and employment opportunities.

Sub-clause 3 of Zone HR requires residential care facilities to be *'operated in a manner that is compatible with the amenity associated with high density residential development'*.

The definition of amenity in the Planning Act 1999 states that *'amenity in relation to a locality or building, means any quality, condition or factor that makes or contributes to making the locality or building harmonious, pleasant or enjoyable'*.

The proposed development is consistent with the *'amenity associated with high density residential development'* for the following reasons:

- The proposed use is considered as a residential building in the NTPS 2020.
- The design, height, setbacks and appearance of the proposed development is compatible with the character of the area, will sit comfortably within the streetscape and enhance the site's relationship with the public realm and effectively integrate into the character of the Larrakeyah.
- The building will be well-articulated through building expression as well as a mix of building materials including rendered blockwall, NRG board parapet painted rendered finish, vertical battens and blades, aluminium balustrades and colorbond custom orb wall cladding.
- Sufficient on-site car parking, safe access and appropriately designed accessways are provided in accordance with the requirements of Clause 5.2.4 Car Parking Spaces. In addition, space is provided for emergency vehicle or mini bus parking.
- Screening is proposed to the balconies that face towards the existing residential building to the south-east of the site, ensuring that overlooking and privacy impacts are minimised. All other habitable room windows and balconies are unscreened and are setback from adjoining residential buildings by at least 5.5 metres, which is considered adequate to avoid overlooking impacts.
- The facility will have one overnight support carers on site at all times. A dwelling to be used for overnight carer accommodation is located on level 3 and a general

condition is applied to the permit to ensure the use as shown on the endorsed plans is not altered (except with further consent of the Authority).

- The noise levels generated by the development will not be significantly above that of the surrounding area. Residents are no more or less likely to generate excessive noise than the occupiers of the surrounding dwellings.

In relation to sub-clause 5, the proposed development provides clear pedestrian paths internally in the site and provides bicycle storage facilities, this promotes the accessibility and use of the surrounding walking, cycling and public transport networks.

In relation to sub-clause 6, the proposed design, site layout and landscaping:

- responds to microclimates, including breeze flow through ensuring all dwellings have windows located on different external walls allowing for natural ventilation and maximising breezes.
- reduces the appearance of building mass relative to its surroundings through its variable form, setbacks, landscaping and architectural treatments that provide articulation.
- creates attractive outdoor spaces and enhances the streetscape through providing landscaping in all boundary setbacks.
- minimise privacy and overlooking impacts through the provision of overlooking screening to balconies that face towards the existing residential building to the south-east of the site.

In relation to sub-clause 7, the site is connected to reticulated water, sewer, power and telecommunications in relation to servicing the development. Comments from service authorities are addressed through conditions and notes being applied to the permit.

Part 5: Development Requirements

The assessment of the Development Assessment Services (DAS) concludes that the proposed development complies with all relevant development requirements of the NTPS 2020 except for Clause 5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures), Clause 5.4.7 (Communal Open Space), Clause 5.4.17 (Building Articulation) and Clause 5.4.18 (Fencing). This is discussed at Reason 2 below.

2. Pursuant to Clause 1.10 (Exercise of Discretion by the Consent Authority), subclause 5 of the NT Planning Scheme 2020, the consent authority may consent to a proposed development which is not in accordance with a requirement set out in Parts 3, 5 or 6 only if it is satisfied that the variation is appropriate having regard to:
 - (a) The purpose and administration clauses of the requirement; and
 - (b) The considerations listed under Clause 1.10(3) or 1.10(4).

Clause 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures

The purpose of the clause is to *'Ensure that residential buildings and ancillary structures are located in a manner that:*

- a) is compatible with the streetscape and surrounding development including residential buildings on the same site;*
- b) minimises adverse effects of building massing when viewed from adjoining land and the street;*
- c) avoids undue overlooking of adjoining properties; and*
- d) facilitates breeze penetration through and between buildings.*

Administratively, sub-clause 2(b) specifies that *'for all developments except dwellings-multiple in Zone MR or HR, where a lot has a boundary with a public street from which vehicular*

access to the lot is restricted by the controlling Agency or local government council, this boundary shall be considered a side or rear lot boundary for the purpose of calculation of the building setback. City of Darwin email correspondence dated 2 April 2025 advised *'City of Darwin does not support the use of Smith Street for vehicle access to this site'* and therefore the setback from the boundary facing Smith Street is considered a side boundary for the purpose of this clause.

With reference to sub-clause 6(a), the proposed development, specifically the ground level blockwork walls and gatehouse are setback between 2 – 2.5 metres from the Mangola Court lot boundary, where they are required to be setback 6 metres, and the level one – 3 balconies are setback 2.5 metres from the south-west lot boundary, where they are required to be setback 3 metres.

All other minimum building setbacks have been assessed as compliant with the requirements of the clause.

Administratively, sub-clause 3 specifies that *'the consent authority may consent to a development that is not in accordance with sub-clause 6-8 only if it is satisfied that the reduced setback is consistent with the purpose of this clause and it is appropriate to the site having regard to such matters as its location, scale and impact on adjoining and nearby property'*.

The proposed variation to the building setbacks is appropriate for the following reasons:

- The proposed blockwork walls are setback between 2 – 2.5 metres from the Mangola Court boundary and, where possible, a planter box has been provided along the boundary to assist with screening and filtering the blockwork walls when viewed from the streetscape.
- The proposed gatehouse is setback 2 metres from the Mangola Court boundary and are sympathetic to the streetscape as the varied materials and finishes provide articulation and minimise any appearance of building massing when viewed from Mangola Court.
- In addition, it is noted that the location of fire pump and booster and letterboxes are required to be located along the front boundary to be easily accessible. Landscaping of these elements is not feasible as it would prevent access.
- The proposed upper level balconies along the south-west boundary encroach 500mm into the required side setback. The proposed balconies are open structures and provide articulation and depth ensuring the development is not overly dominant when viewed from the adjoining property to the south-west.

Clause 5.4.7 Communal Open Space

The purpose of this clause is *'ensure that suitable areas for communal open space are provided for dwellings-multiple, residential care facilities and rooming accommodation'*.

With reference to sub-clause 5, the proposed communal open space includes area that are less than 6 metres wide, and therefore does not comply.

Administratively, sub-clause 4 specifies that *'for zones and uses not covered by sub-clauses 2 and 3, the consent authority may consent to a development that is not in accordance with sub-clauses 5 and 6 if it is satisfied the communal open space has usable dimensions and is of a sufficient size for the development'*.

The proposed variation to the communal open space requirements is appropriate for the following reasons:

- The proposed area of communal open space complies with the minimum area requirements and is of a sufficient size for the scale of the development as demonstrated through the provision of grassed area, shade structures, bbq and seating.
- Whilst not a planning requirement under Part 5 of the NTPS 2020, all dwellings in this residential care facility are provided with private open space in the form of a balcony.

Clause 5.4.17 Building Articulation

The purpose of the clause is to *'ensure that residential buildings mitigate the perception of building mass and bulking when viewed from adjoining properties and the street, and provide opportunities for cross-ventilation within building design'*.

With reference to sub-clause 4, the proposed north-eastern and south-western walls extent for a length greater than 15 metres without a step or recess.

Administratively, sub-clause 2 specifies that *'the consent authority may consent to a development that is not in accordance with sub-clause 4 only if it is satisfied it is consistent with the purpose of this clause'*.

The proposed variation to the building articulation requirements is appropriate for the following reasons:

- The proposed walls will be finished in a blockwall render with glazed windows and colorbond custom orb wall cladding, which provides texture and articulation, minimising the visual bulk. In addition, the windows are openable providing opportunities for cross-ventilation.

Clause 5.4.18.1 Fencing in Zones MR and HR

The purpose of the clause is to *'promote fencing in medium and high density areas that provides a positive interface with the public domain, while allowing necessary privacy for residents and neighboring properties'*.

With reference to sub-clause 4(b), the proposed fencing along the boundary abutting Smith Street, has a height of 2.3 metres and does not comply as the height is greater than 2 metres.

Administratively, sub-clause 1 specifies that *'the consent authority may consent to a use or development that is not in accordance with sub-clause 4 if it is satisfied the fence enhances the streetscape and allows for passive surveillance to the public domain'*.

The proposed variation to the height of the Smith Street boundary fence is appropriate for the following reasons:

- The proposed fencing is partially transparent which allows for passive surveillance from the communal open space area to the public domain.
- In addition, small shrubs are proposed to be planted along the boundary, which will both screen and filter the fence and reduce the dominance of the fence when viewed from Smith Street and also provide a natural transition from the public realm to the site.

Clause 5.4.15 (Residential Care Facility) is assessed in detail below to confirm that the proposed use is suitable and meets all the necessary criteria specified in the clause.

Clause 5.4.15 Residential Care Facility

The purpose of the clause is to *'ensure that a residential care facility is established in an appropriate location to meet the needs of its residents and is operated in a manner that:*

- a) adequately supports persons in care, staff and visitors;*
- b) does not unreasonably impact on the amenity of adjoining and nearby property; and*
- c) is commensurate with the scale of utilities and transport infrastructure provided in the locality'.*

The requirements listed under sub-clause 2 – 4 of the Clause are:

- 2. The facility provides rehabilitation, social, health and recreational facilities on-site or is located to ensure residents have convenient access to such facilities and the public transport network.*
- 3. The scale and day to day operation is compatible with the character and amenity of the zone.*
- 4. No greater demand or load is imposed on the services provided by a public utility organisation than that which is ordinarily required in the locality.*

In relation to sub-clause 2, the proposed development integrates rehabilitation and medical facilities through the inclusion of a medical examination room and consultation office at level 1 and an activity room and rehabilitation room at level 2. The proposed development also comprises communal open space at ground level which includes bbq areas and seating. In addition, the site is well located in the Darwin CBD with access to recreational facilities in the form of public open space and community centres and access to rehabilitation, social and health facilities in the form of community services and organisations and medical clinics.

In relation to sub-clause 3, as assessed above at Part 4 – Zoning, the scale and day to day operations of the proposed development is compatible with the character and amenity of Zone HR.

In relation to sub-clause 4, the site is connected to reticulated water, sewer, power and telecommunications and service authorities have raised no concerns in relation to servicing the development.

3. Pursuant to section 51(1)(e) of the *Planning Act 1999*, the consent authority must take into consideration any submissions made under section 49, and any evidence or information received under section 50, in relation to the development application

Five public submissions, including one petition signed by 10 people, were received during the exhibition period under Section 49 of the *Planning Act 1999* with respect to the proposal. The submitters concerns are noted and where appropriate have been addressed through the inclusion of permit conditions and / or notes. An assessment of the key concerns is provided below:

Incompatibility with HR Zoning:

The proposed use is one that is permissible within the zone and scope exists for a permit to be issued. The HR provisions contemplate circumstances when it will be appropriate for a permit to be issued for a residential care facility. The existence of discretion does not

automatically mean that a permit should or will be issued. This is made clear in the zone outcomes for Zone HR which of relevance include:

3. *Hotel/motels, residential care facilities and rooming accommodation are operated in a manner that is compatible with the amenity associated with high density residential development.*
4. *Development integrates with walking, cycling and public transport networks to promote accessibility and use.*
5. *Innovative building design, site layout and landscaping that: (a) responds to microclimates, including breeze flow; (b) minimises privacy and overlooking impacts; (c) reduces the appearance of building mass relative to its surroundings; and (d) creates attractive outdoor spaces and enhances the streetscape.*
6. *An efficient pattern of land use with all lots connected to reticulated services, integrated with existing transport networks and with convenient access to open space, community and educational facilities.*

The proposed developments compliance with the Zone HR outcomes is assessed at reason one.

Traffic impacts and parking congestion:

Safety and emergency access concerns:

Vehicles, whether they are related to this or other developments in the street, can only park on the street in accordance with any parking regulations. The number of vehicles that can park on the street and at what time will be dictated by the parking restrictions and the availability of on street car spaces. The development has provided parking to a level that exceeds the requirements of Clause 5.2.4.1 Car Parking Spaces. A total of 5 spaces are required for the proposed development. 7 on site spaces are provided. It is expected that the level of parking provided will cater for car ownership levels of the occupiers as well as some visitor parking.

At the request of the City of Darwin, a condition precedent is applied the permit requiring a comprehensive Traffic Impact Statement (TIS) to be prepared and all recommendations implemented.

The proposed development provides adequate space for emergency vehicles to access and park in site.

Noise and disturbance to adjoining residents:

The proposed residential use will have noise impacts consistent with those normal to a residential zone. The noise levels generated by the development will not be significantly above that of the surrounding area. Residents are no more or less likely to generate excessive noise than the occupiers of the surrounding dwellings.

Loss of privacy for adjoining properties and overlooking impacts:

Screening is proposed to the balconies that face towards the existing residential building to the south-east of the site, ensuring that overlooking and privacy impacts are minimised.

All other habitable room windows and balconies are unscreened and are setback from adjoining residential buildings by at least 5.5 metres, which is considered adequate siting to avoid unreasonable overlooking impacts.

Increased demand on local infrastructure:

The owner will be required to address infrastructure servicing demands as required by the relevant service authorities, conditions are applied to the permit in relation to all service authority requirements.

Property devaluation:

Fluctuations in property prices are not a relevant consideration in assessing an application under the provisions of the Planning Act 1999, or the NTPS 2020.

Destruction of habitat to orange – footed scrub fowl:

All existing vegetation is proposed to be removed, noting that the site is in Zone HR and there are no specific vegetation protection requirements applicable to the site.

A landscape plan has been submitted as part of the application which proposes to plant a variety of trees, shrubs and ground covers, around the perimeter of the site. A condition is applied to the permit which requires the planting and ongoing maintenance of any landscaping.

Incorrect designation of primary street frontage, Smith Street should be the designated as the primary street frontage:

Schedule 2 of the NTPS 2020 provides the following relevant definitions:

primary street means the street or where there is more than one street, the street with the wider carriageway or that which carries the greater volume of traffic but does not include any street where access is restricted by the controlling Agency

secondary street means – in the case of a site that has frontage to more than one public street – the street or streets that are not the primary street;

In this instance, the primary street is Mangola Court, as despite Smith Street having the wider carriageway and carrying the greater volume of traffic, the controlling Agency (City of Darwin) has restricted access to the site to Mangola Court.

In addition, sub-clause 2(b) of Clause 5.4.3 specifies that *‘for all developments except dwellings-multiple in Zone MR or HR, where a lot has a boundary with a public street from which vehicular access to the lot is restricted by the controlling Agency or local government council, this boundary shall be considered a side or rear lot boundary for the purpose of calculation of the building setback’*. As the controlling Agency has restricted access from the site to Mangola Court, Smith Street is therefore considered a side setback.

Concerns regarding the streetscape setback and visual disruption to the Smith Street streetscape:

The DAS assessment concludes that the proposed development complies with the side setback requirements to Smith Street, the only non-compliant setbacks are in relation to the ground floor blockwork walls and gatehouse to Mangola Court and the level one – 3 balconies to the south-west boundary.

Impacts on views of the green space along Smith Street:

The proposed development is located entirely within the site and does not unreasonably impact on views of the green space along Smith Street. It is noted that in Zone HR the maximum height limit is 8 storeys and the proposed development is only 4 storeys.

Impacts on natural breezeway and natural ventilation:

The DAS assessment concludes that the proposed development complies with the side and rear setback requirements (with the exception of the level one – 3 balcony setback to the south-west boundary) and as such there are not considered to be any unreasonable impacts on the natural breezeway and ventilation of adjoining properties.

Concerns regarding building height, visual bulk and scale and out of character of the area:

The design addresses bulk and scale through its variable form, setbacks, landscaping and architectural treatments that provides articulation and will create an appropriate level of visual interest and expression of form that will enhance the urban setting.

The height and scale of the development at four storeys are appropriate, given the focus for intensive development for the site zoned HR (High Density) and similar scale development having been approved and developed in the surrounding area.

Overshadowing:

Overshadowing is not a relevant consideration in assessing an application under the provisions of the *Planning Act 1999* or the NTPS 2020.

4. Pursuant to section 51(1)(j) of the *Planning Act 1999*, the consent authority must take into consideration the capability of the land to which the proposed development relates to support the proposed development and the effect of the development on the land and on other land, the physical characteristics of which may be affected by the development.

The site is flat, not affected by Australian Noise Exposure Forecast (ANEF) 20-unit value or greater contour line and outside areas of identified storm surge. The overall height and scale of the proposed development is largely consistent with that anticipated in land zoned HR. Subsequently, the land is considered to have the capacity to support the proposed development.

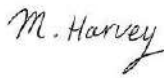
5. Pursuant to section 51(1)(m) of the *Planning Act 1999*, the consent authority must take into consideration the public utilities or infrastructure provided in the area in which the land is situated, the requirement for public facilities and services to be connected to the land and the requirement, if any, for those facilities, infrastructure or land to be provided by the developer for that purpose

The application was circulated to the relevant authorities and comments received from these authorities are addressed by conditions and / or notations applied to the permit.

6. Pursuant to section 51(1)(n) of the *Planning Act 1999*, the consent authority must take into consideration the potential impact on the existing and future amenity of the area in which the land is situated

The definition of amenity in the *Planning Act 1999* states that '*amenity in relation to a locality or building, means any quality, condition or factor that makes or contributes to making the locality or building harmonious, pleasant or enjoyable*'.

Amenity is considered in the context of the site and its surrounds along with the applicable planning controls. Of relevance, sub-clause 3 of Zone HR requires residential care facilities to be '*operated in a manner that is compatible with the amenity associated with high density residential development*' and a detailed assessment of the proposal's compliance with the Zone HR outcomes is at reason one.



AUTHORISED:

.....
SENIOR PLANNER – DARWIN
DEVELOPMENT ASSESSMENT SERVICES



General Lines

Town Planning Zones

- A - Agriculture
- CV - Caravan Park
- CB - Central Business
- C - Commercial
- CL - Community Living
- CP - Community Purpose
- CN - Conservation
- DV - Development
- RR - Rural Residential
- GI - General Industry
- HT - Heritage
- HR - High Density Residential
- H - Horticulture
- LI - Light Industry
- M - Main Road
- MR - Medium Density Residential
- LMR - Low-Medium Density Residential
- CA - No Planning Scheme Controls
- OR - Organised Recreation
- PM - Proposed Main Road
- PS - Public Open Space
- RW - Railway
- RD - Restricted Development
- R - Rural
- RL - Rural Living
- SC - Service Commercial
- LR - Low Density Residential
- S - Specific Use
- TC - Tourist Commercial
- U - Utilities
- WM - Water Management
- FD - Future Development
- RJ - Residential Jabiru
- PSJ - Public Open Space Jabiru
- ORJ - Organised Recreation Jabiru
- CJ - Commercial Jabiru
- SCJ - Service Commercial Jabiru
- TCJ - Tourist Commercial Jabiru

Created by NHVH

CPJ - Community Purpose Jabiru
Bottom Left: 130° 49' 47" -12° 27' 17"
FDJ - Future Development Jabiru
Top Right: 130° 50' 00" -12° 27' 09"
IJ - Industrial Jabiru
Approximate Scale: 1:1,700
Datum: GDA 1994

Data for information purposes only
- accuracy not guaranteed
Road Labels
Road Centrelines
Highway
Copyright Northern Territory of Australia
Other Road

Cadastre

6/1/2025



WWW.HABITATNT.CO

DAS

Subject: Letter of Authority

City of Darwin - Larrakeyah

This letter is to authorise Paul Winter of Habitat NT and MS Pajarilo to act on our behalf in the development application for Lot 1229, 137 Smith Street Larrakeyah

Please contact the undersigned at any time to discuss.

A handwritten signature in black ink, appearing to be "Craig Chesterfield", is written over a light blue rectangular background.

Craig Chesterfield

Director

Skyring

0477 715 680





9 January 2025

Development Consent Authority
GPO Box 1680
Darwin NT 0801

**Address: Lot 1229 (8) Mangola Court Larrakeyah
Town of Darwin**

Introduction

Goldbox has been engaged on behalf of the owner of the property to prepare a development application for the purpose of **Residential Care Facility** in a **4-storey building** on land zoned HR (High Density Residential). The proposed Development Permit seeks consent for a Residential Care Facility for participants who need High Physical Support (**HPS**) to deliver more variation of land use and provide higher living standard via a NDIS standard compliance design.

Details of the Proposal

This application is for the construction of Residential Care Facility in a four-storey building including ground floor parking, fencing and communal open space with landscaping. The proposal also indicates an allocated area for on-site parking and services. The open plan design creates a sense of space with sufficient ventilation. A new 6-metre-wide sealed access road will be constructed to allow vehicle access to the facility. Fencing, Planting and landscaping will be provided to common to provide screening and privacy. Underground stormwater drainage will be appropriately provided throughout the lot to prevent water flow into neighbouring blocks and other Lots. Other items included in this proposal are enclosed fire rated stairway, elevator, new bin enclosure, letterboxes and power water enclosure to be located at the entry point of the property. The proposed development is for a residential care facility. Internally the building will be divided into separate stand-alone living spaces, an overnight accommodation space for **OOA** (carers accommodation), a support room for visiting therapists and laundry facilities and very extensive common area facilities together making a care facility in use and functionality.

From the Planning Scheme - "Residential Care Facility" is defined as - the use of premises for supervised accommodation where the use integrates: (a) rehabilitation; and/or (b) medical; and/or (c) other support.

The definition of **High Physical Support (HPS)** (as per NDIS Specialist Disability Accommodation Design Standard Edition 1.1 Issue Date 25th October 2019) is housing that has been designed to incorporate a high level of physical access provision for people with significant physical impairment and requiring very high levels of support.

The proposed development meets these requirements in that a Residential Care Facility is defined as the use of premises for supervised accommodation where the use integrates various types of support. It is important to note the design includes separate self-contained rooms, this is to support and allow individuals to commence a new self-managed and independent life in the future. It is a critical component of the design, noting initially each participant is not independent they are HPS participants and require constant care (be it physical wheelchair, or mental) The integration typically involves:

a. Rehabilitation

The facility provides a structured environment to support individuals in their rehabilitation efforts. This can include services and activities aimed at restoring or improving physical, mental, or social functioning. A carer lives on site 24/7 on a rotation basis. The carer is qualified to provide the necessary care and attention needed to achieve support for each participant. In addition, the participants are supported by all other allied health agencies. The development includes rooms large enough for support teams to conduct care within the privacy of the participants own unit (which can be used by professionals to support these activities) and includes a communal support room for group activities or larger one on one activities and includes different areas within the development to further promote these functions, such as vegetable patch, communal area for any form of activities (star gazing, stretching, strengthening exercise area etc). To assist with individual movements each bedroom has structural roof supports to enable a hoist to be installed to assist the carers or professional health providers to move the participant from the bed to chair / ablutions etc.

b. Medical

Medical support within the facility involves the provision of healthcare services and assistance to residents. This could encompass on-site medical care, access to healthcare professionals, and coordination of medical services as needed. It is common practice to drive the participants to the health care provider in a minibus and would more than likely involve all 3 participants simultaneously, reducing the traffic flow to the neighbours.

c. Other Support

Beyond rehabilitation and medical care, the facility offers additional forms of support. This might include social support, assistance with daily activities, counselling, and other services aimed at enhancing the well-being and overall quality of life for residents. The clear aim is to provide the residents with an “out” a way to live on their own, teach and provide them confidence to prepare their own meals, wash themselves, do their own laundry, maintain their own yard, entertain guests and family and do all this in a semi-independent environment (ie still watched initially, slowly reducing the supervision until both care and resident are confident to live on their own). The location is critical (within suburbia) to allow integration with neighbours, make friends with neighbours, be invited to their house next door, not be in an environment where next door is another NDIS participant.

In essence, a Residential Care Facility is a specialized living arrangement that goes beyond basic accommodation. It is designed to cater to the specific needs of residents by providing a holistic and supportive environment that integrates rehabilitation, medical care, and other forms of support based on the individual requirements of the residents.

Property information & Zoning

This application seeks a development permit for new Residential Care Facility at Larrakeyah. The vacant lot is relatively flat and has some existing vegetation. The total area of the property is 726 sqm. There are no easements identified. The site is bounded by a single street frontage Mangola Courtt on the western side of the property. The site is also bounded by Smith Street at the northern side, Lot 1230 at the southern side and Lot 1237 at the eastern side of the property. The land is suitable for the purpose of the development and has neighbouring developments of similar type and scale. The property is zoned HR (High Density Residential) in accordance with NT Planning Scheme. The proposed development for Residential Care Facility in this zone is Impact assessable, therefore the proposed development requires consent pursuant to clause 1.8 (1)(b)(c) and thus a development permit is required pursuant to Section 44(a) of the Northern Territory Planning Act 1999.

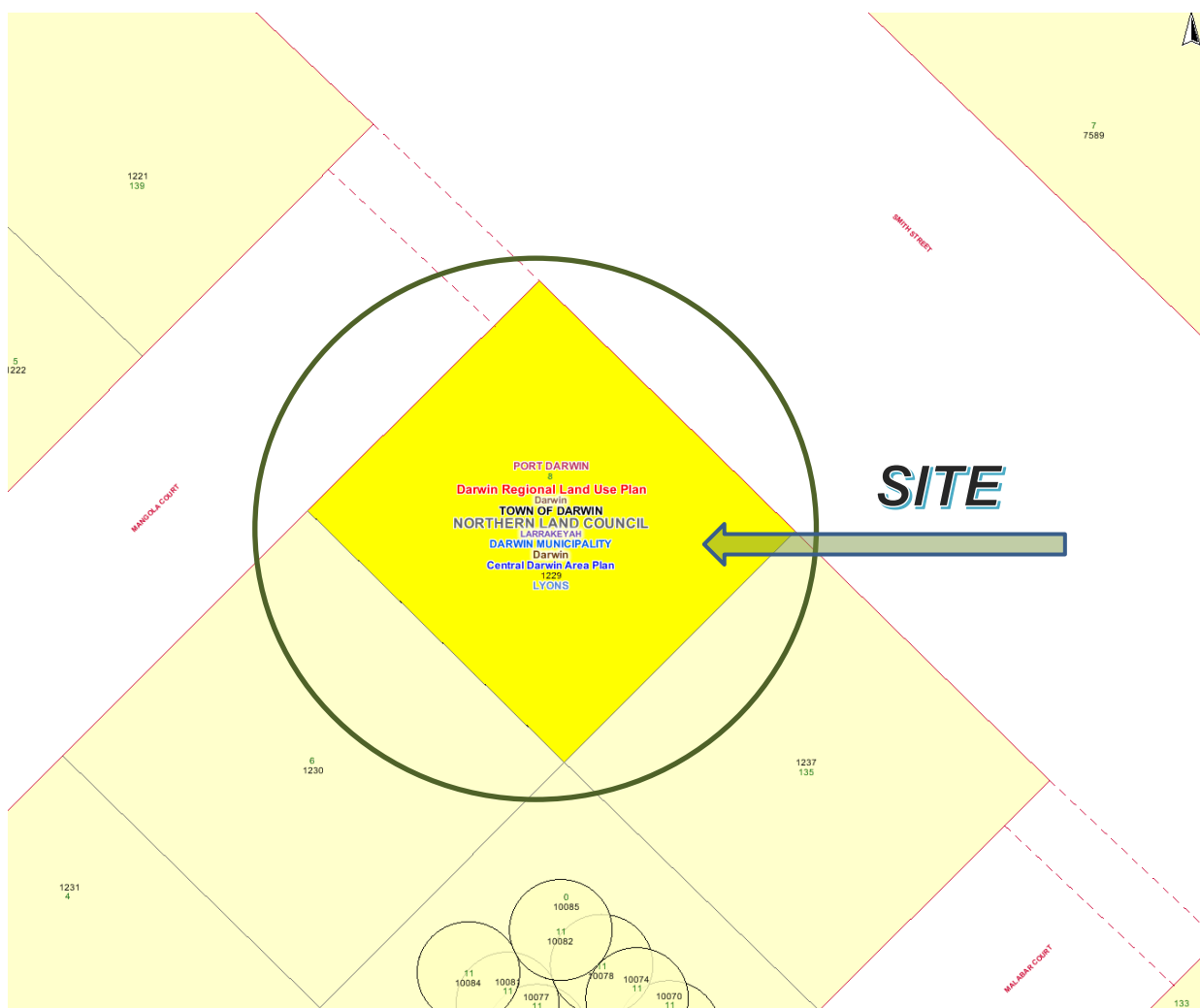




Figure 2: Google map showing existing site

Zone HR – High Density Residential

Zone Purpose

Provide for a range of high-rise housing options close to activity centres, public transport, open space and community facilities, where reticulated services can support high density residential development.

Zone Outcomes

1. High density residential developments generally not exceeding eight **storeys** in height that maximise the utilisation of the reticulated services and the development potential of the **site**.
2. **Home based businesses** and **dwelling-community residence** are conducted in a manner consistent with residential **amenity**.
3. **Hotel/motels, residential care facilities** and **rooming accommodation** are operated in a manner that is compatible with the **amenity** associated with high density residential development.
4. Non-residential activities, such as **education establishment, leisure and recreation, medical clinic, place of worship, and restaurant**:
 - (a) are integrated with residential uses;
 - (b) avoid adverse impacts on the local road networks;
 - (c) are managed to minimise unreasonable impacts to the **amenity** of surrounding residents; and
 - (d) are of a scale, intensity and nature that reflects the predominantly residential character of the zone.
5. Development integrates with walking, cycling and public transport networks to promote accessibility and use.
6. Innovative building design, **site** layout and landscaping that:
 - (a) responds to microclimates, including breeze flow;
 - (b) minimises privacy and overlooking impacts;
 - (c) reduces the appearance of building mass relative to its surroundings; and
 - (d) creates attractive outdoor spaces and enhances the streetscape.
7. An efficient pattern of land use with all lots connected to reticulated services, integrated with existing transport networks and with convenient **access** to open space, community and educational facilities.

The land is zoned HR and therefore subject to all the relevant clauses of the NT Planning Scheme 2020 that apply for the land within zone HR (High Density Residential). The proposed development is consistent with the primary purpose which is to provide for a range of high-rise housing options close to activity centres, public transport, open space and community facilities, where reticulated services can support high density residential development.

The proposed development is also consistent with zone outcomes. The height requirements is only 4 storey. The proposed development is operated in a manner that is compatible with the amenity associated with high density residential development. Existing buildings at Mangola Court comprises of mix of high-density residential dwellings at varying heights and densities, the lots immediately adjacent to the subject lot of this application are mostly also zoned HR. Therefore, the proposed development is unlikely to impact other land.

The proposed development is also conveniently located directly across the street from a park and within a few kilometres from the Cullen Bay Marina, Mindil Beach, schools, medical centres and shops. The Site is conveniently serviced by public transport and is located near a major arterial road being Smith Street and Mitchell Street.

The character, architectural style and scale of the proposed development is consistent with the existing developments in immediately adjacent lots. The design, size and design of the proposed building is consistent and compatible with the surrounding area ensuring the development does not unduly affect adjoining or nearby allotments by blocking of breeze paths or natural light. The provision of building projections such as the balconies coupled with the varied use of building materials and finishes (metal balustrading, rendered external walls, wall tile features, and circular columns etc.) also minimises the any potential massing or visual bulk.

Overlays & Strategic Framework

There are no overlays applicable to the site. The Darwin Regional Land Use Plan applies to the land.

STATEMENT OF EFFECT

46(3)(a) an assessment demonstrating how the proposed development will comply with any planning scheme that applies to the land;

Development Requirements

Clause 5.2.1 – General Height Control

The proposed development has an approximately maximum heights of 13.752 meters measured from ground level to the apex of the roof. The proposed development is a 3-storey plus basement building.

Complies.

Clause 5.2.4 Car Parking

Clause 5.2.4.1 Car Parking Spaces

Purpose

Ensure that sufficient off-street car parking, constructed to a standard and conveniently located, are provided to service the proposed use of a site.

Administration

1. This clause does not apply where alternative car parking space requirements are established under clause 5.9 (Location specific development requirements).

2. The consent authority may consent to a use or development that is not in accordance with sub-clause 4 if it is satisfied a reduction of the number of car parking spaces is appropriate with regard to: (a) the zoning of the land, the use or development or proposed use or development of the land, and the possible future use or development of the land;

(b) the provision of car parking spaces in the vicinity of the land;

(c) the availability of public transport in the vicinity of the land; and

(d) the potential impact on the surrounding road network and the amenity of the locality and adjoining property; or if the use or development relates to a heritage place and the Minister responsible for the administration of the Heritage Act 2011 supports the Northern Territory Planning Scheme 2020 Part 5-5 reduced provision of car parking spaces in the interest of preserving the significance of the heritage place.

3. The consent authority may require the provision of car parking spaces for any ancillary use or development in addition to that specified for the primary use or development in the table to this clause.

Requirements

4. Use and development is to include the minimum number of car parking spaces specified in the table to this clause (rounded up to the next whole number).

Table Clause 5.2.4.1: Minimum number of required parking spaces	
Use or Development	Minimum Number of Car Parking Spaces Required
Residential care facility	1 for every 4 beds Plus 4 for every 100m ² of net floor area used for administrative purposes

The NT Planning scheme specifications for carparking for a residential care facility includes:

1. One carpark per 4 beds – proposed plan includes 18 beds = 4.5 car places
2. Four carparks per 100m² of administrative area – the proposed plan shows no administrative area, the plan shows a carers accommodation not an office or an admin area.

The proposed design includes 10 carparking spots at the basement/ground level.

Further, car parking considerations for professional health providers who must attend the facility can park on street as there are no restrictions of car spaces on street. The inclusion of a minibus which would more than likely not remain on site as it would be used at multiple other care facilities as a ferry system, the carparking would possibly be used by the carer continuously and only making space for deliveries and drop off during inclement weather. There is also the availability of public transport within the vicinity of the proposed development for visitor or health providers without private transport. The parking layout ensures that a carparking area is appropriately designed, constructed, and maintained for its intended purpose.

The proposal is surplus the number of car parking spaces required for Residential Care Facility use and therefore complies.



Figure 2: Vicinity map showing public transportation

Clause 5.2.4.4 Layout of car parking areas

Purpose

Ensure that a car parking area is appropriately designed, constructed and maintained for its intended purpose.

Administration

1. *This clause does not apply to a car parking area where the car parking is required in association with a dwelling-single, dwelling-independent or a home based business.*
2. *A car parking area may be used for the purpose of a market if:*
 - (a) *a market is Permitted in the zone; and*
 - (b) *the market operates outside of the operating hours of the use for which the car parking area is established.*
3. *The consent authority may consent to a car parking area that is not in accordance with sub-clause 6 if it is satisfied that the non-compliance will not unreasonably impact on the amenity of the surrounding locality.*
4. *The consent authority may consent to a car parking area that is not in accordance with sub-clauses 7 and 8 if it is satisfied that the design and construction is safe and functional with regard to the location of the development.*
5. *The consent authority may consent to a car parking area that is not in accordance with sub-clause 9 if it is satisfied that the non-compliance will not result in adverse impacts on the local road network or internal functionality of the car parking area.*

Requirements

6. *A car parking area is to:*
 - (a) *be not less than 3m from any lot boundary abutting a road; and*

(b) provide landscaping to the setback area to a minimum depth of 3m immediately adjacent to any lot boundary abutting a road, using species designed to lessen the visual impact of the car parking area when viewed from the road.

7. A car parking area is to be constructed and maintained to be:

(a) of a suitable gradient for safe and convenient parking; and

(b) sealed and well drained in urban areas, or dust suppressed in non-urban areas.

8. The layout of a car parking area is to:

(a) be functional and provide separate access to every car parking space;

(b) allow a vehicle to enter from and exit to a road in a forward gear;

(c) be in accordance with the dimensions set out in the diagram to this clause; and

(d) ensure parking spaces at the end of and perpendicular to a driveway are 3.5m wide or so that the driveway projects 1m beyond the last parking space.

9. The number of access points to the road is to be limited, and access points to car parking areas are to:

(a) have driveways with a minimum width of 6m for two-way traffic flow or 3.5m for one-way traffic flow; and

(b) maximise sight lines for drivers entering or exiting the car parking area.

The proposed development has a single 6.00-meter-wide access driveway for two-way traffic flow. Allows for entry and exit to the road in forward gear. The area between the car parking and driveway from the road will be landscaped with screen plants to lessen their visual impact. Sightlines are sufficient and the proposed car parking areas are not less than 3m from the main entry road with landscaping for screening and all parking dimensions are in accordance with the NTPS.

Clause 5.2.5 Loading Bays

No loading bays required.

Clause 5.2.6 Landscaping

Clause 5.2.6.1 Landscaping in Zones other than Zone CB

The purpose of the clause is to ensure appropriate landscaping that is attractive, water efficient and contributes to a safe environment, is provided to development to enhance the streetscape and overall amenity of the locality. Administration

1. Landscaping may include provision of paved areas and areas for entertainment and recreational activities.

2. The consent authority may consent to landscaping that is not in accordance with sub-clauses 5, 6 and 7 only if it is satisfied it is consistent with the purpose of this clause and the zone purpose and outcomes, and is appropriate to the site having regard to the amenity of the streetscape, and the potential impact on the amenity of the locality and adjoining property.

3. Where landscaping is required by this Scheme it should be designed so that:

(a) planting is focused on the area within the street frontage setbacks side setbacks, communal open space areas and uncovered car parking areas;

The proposed planting is focused on street frontage, private open space areas and areas along property boundaries.

(b) it maximises efficient use of water and is appropriate to the local climate;

The proposed landscaping plants are predominantly native vegetation and adaptable to local climate. A controlled irrigation system will be installed throughout the site to ensure save use of water during dryer periods of the season.

(c) it takes into account the existing streetscape, or any landscape strategy in relation to the area;

The development of a vacant site which involves landscape towards the front boundary will improve the aesthetical presentation of the development when viewed from the street. The proposed new landscaping provides a buffer between the built form and its natural surrounds.

(d) significant trees and vegetation that contribute to the character and amenity of the site and the streetscape are retained;

The site is vacant with some existing vegetation. However, the plants that are within the new development will be removed except for existing trees along the perimeter which some can be maintained if possible. The selected new plant species which include shade trees will contribute to the character and amenity of the site.

(e) energy conservation of a building is assisted having regard to the need for shade and sunlight at varying times of the year;

All external walls and roof sheeting will be light in colour, reducing the solar absorption and demand on the mechanical systems. Colorbond steel is proposed for the roof sheeting in heat reflective light colour finish. Eaves and shade awnings are incorporated into the design. Windows are sufficiently incorporated into the building, enabling cross flow ventilation, and reducing the reliance on mechanical cooling and ventilation. The adaptation of balconies, awnings to the building facade and planting of shade trees contribute towards passive cooling.

(f) the layout and choice of plants permits surveillance of public and communal areas; and

The site layout accommodates larger trees to the boundaries and screening where privacy is required to private open space. Due to the nature of the development, the communal spaces are visible and provide opportunity for surveillance. The common area towards the front of the site is open and landscaped with plant species that enable casual surveillance of the public realm.

(g) it facilitates on-site infiltration of stormwater run-off.

The site will be landscaped to allow for on-site infiltration of stormwater run-off. The grassed and landscaped areas provided throughout the site will also facilitate onsite infiltration of stormwater run-off.

4. The quality and extent of the landscaping consented to must be maintained for the life of the development.

5. Other than in Zones CB, C and TC, not less than 30% (which may include communal open space) of a site that is used for rooming accommodation, dwellings-group, dwellings-multiple and residential care facility is to be landscaped. $30\% \text{ of } 726\text{m}^2 = 217.8\text{m}^2$

The proposed landscaping constitutes approximately $218\text{m}^2 = 30\%$ of the site with planting focused on the areas towards the street frontage, boundaries and communal open space. The proposed development will be provided with trees and vegetations surrounding the property. Proposed landscaping will be provided at the front, sides, and rear boundaries of the property to screen, complement and enhance the existing streetscape.

7. In Zones MR and HR, side and rear setbacks are to include planting to the length of the setback of no less than 2m deep, except for areas that are used for private open space.

The side and rear setbacks are where the communal open space located and provided with landscaping and planting.

Clause 5.2.7 Setbacks for Development Adjacent to Land in Zones LR, LMR, MR or HR

Not applicable

Clause 5.3.7 End of Trip Facilities in Zones HR, CB, C, SC and TC

Ensure that new commercial and high-density **residential buildings** provide sufficient safe, quality and convenient **end of trip facilities** to enable active travel choices by residents, visitors, workers and customers for the proposed use of the **site**.

1. The consent authority may **consent** to a use or development with fewer bicycle parking spaces, lockers and/or showers and changing facilities than required by sub-clauses 2-6 if satisfied that either:
 - (a) there are alternative **end of trip facilities** (on or off the **site**), where:
 - i. the same function is provided which can accommodate the same number of bicycles and/or users required by the clause;
 - ii. **access** to the alternative **end of trip facilities** is safe and convenient for users;
 - iii. the alternative **end of trip facilities** are sheltered and secure; and
 - iv. the size and layout of alternative storage areas allows for safe and comfortable storage and **access** to bicycles and/or personal items; or
 - (b) it would be unreasonable to provide the **end of trip facilities** as required by this clause with regard to, but not limited to, the location of the development and likely commute distances; or
 - (c) it would be unreasonable to provide shower and changing facilities for a small development, where the development becomes unfeasible should such facilities be required.

Requirements

2. All new buildings in Zones HR, CB, C, SC and TC should provide bicycle parking facilities with a number of bicycle parking spaces calculated at the rate specified in the table to this clause (rounded up to the nearest whole number).
3. All bicycle parking facilities and associated bicycle parking devices should be designed in accordance with Australian Standard AS2890.3 – Bicycle Parking and must:
 - (a) be located in a convenient and safe location with adequate security for the storage of bicycles;
 - (b) have an appropriate mix of long and short term, wall and floor mounted bicycle parking;
 - (c) where secure parking is provided, provide e-bike charging facilities, as necessary;
 - (d) not require **access** via steps;
 - (e) be protected from the weather;
 - (f) enable the wheels and frame of a bicycle to be locked to the device without damaging the bicycle;
 - (g) be located outside pedestrian movement paths;
 - (h) be easily accessible from the road;
 - (i) be arranged so that parking and manoeuvring motor vehicles will not damage adjacent bicycles;
 - (j) be protected from manoeuvring motor vehicles and opening car doors;
 - (k) be as close as possible the cyclist's ultimate destination;
 - (l) be well lit by appropriate existing or new lighting; and
 - (m) be sympathetic in design, material and colour to compliment the surrounding environment.
4. A locker should accompany every secure bicycle parking space provided, and should be:
 - (a) of suitable volume and dimensions to allow storage of clothing, cycling helmets and other personal items;
 - (b) well ventilated, secure and lockable; and
 - (c) located close to shower and changing facilities.
5. All new **non-residential buildings, hotels/motels, and serviced apartments** in Zones HR, CB, C, SC and TC should provide sufficient and accessible shower and changing facilities for staff with the number of showers calculated at the rate specified in the table to this clause.
6. Shower and changing facilities must be secure facilities capable of being locked, and should:
 - (a) be located as close as practical to the associated bicycle parking facilities;
 - (b) provide one change space per shower; and
 - (c) Provide for separate male and female facilities where more than one shower is provided.

The bicycle parking facility with secured bike racks is provided within the storage areas and protected by weather under a roofed area. All applicable requirements mentioned above to be met with safe ingress and egress to be provided on site. A secured and lockable locker is also provided within the storage area. However, the shower area is provided in the OOA room @ first and third floor for carers.

Specific Development Requirements:

Clause 5.4.3 – Building Setbacks of Residential Buildings and Ancillary Structures

The purpose of this clause is to ensure residential buildings and ancillary structures are located in a manner that:

- (a) is compatible with the streetscape and surrounding development including residential buildings on the same site;*
- (b) minimises adverse effects of building massing when viewed from adjoining land and the street;*
- (c) avoids undue overlooking of adjoining properties; and*
- (d) facilitates breeze penetration through and between buildings*

2. In this clause:

- (a) an ancillary structure includes an outbuilding (excluding shade sails), balcony, portico and the like, which may or may not include external walls; and*

3. The consent authority may consent to a development that is not in accordance with sub-clause 6-8 only if it is satisfied that the reduced setback is consistent with the purpose of this clause, and it is appropriate to the site having regard to such matters as its location, scale and impact on adjoining and nearby property.

4. If a building setback plan in Schedule 9 does not establish a specific setback to a nominated boundary, residential buildings and ancillary structures are to be set back from that boundary in accordance with sub-clause 6(a) or clause 5.4.3.3 as appropriate.

6. Subject to clause 5.2.7, building setbacks of residential buildings and ancillary structures are to be set back from lot boundaries in accordance with:

- (a) the relevant table to this clause; or*
- (b) any setbacks established in a building setback plan that is included in Schedule 9.*

The proposal complies with the front building setbacks. The building setbacks along Mangola Court is 6.00 meters and balconies at 4.0 meters. The left and right-side setbacks are 2.0 & 2.5 meters respectively. The rear setback is 3.0 meters.

The proposed façade towards Mangola Court is designed with varying building setback depths, open balconies and different wall/roof materials to minimise the expanses of walls and massing of the building. The placement of building walls and outdoor areas are designed in such a way that they are located reasonably as dictated by the shape and orientation of the site.

The proposal provides a significantly lower, less-dense residential development outcome than that otherwise facilitated by the Planning Scheme, with setback variations to the front and side boundaries warranted given the Zone and setback objectives of the Planning Scheme.

The proposed development minimise adverse effects of building massing when viewed from adjoining land and the streets by varying wall/roof heights, different house design and layouts. Also limiting development to four storey only and including landscaped yards to avoid the appearance of a monotonous building design. The Proposed Development seeks to minimise the expanses of walls by varying building heights, building setbacks and facade elevations. These also greatly minimise visual bulk when viewed from adjoining land and the street. Furthermore, the provision of building projections such as the balconies coupled with the varied use of building materials and finishes (glass balustrading, rendered external walls, custom orb features, square and circular columns etc.) also minimises the any potential massing or visual bulk.

The proposed development has been designed and is suitable and consistent/compatible with existing onsite and surrounding developments. Much care and consideration has been given to the design given the location of the building and taking into consideration the surrounding environment.

The proposed development is consistent with the purpose of the clause - minor variation of the planning scheme sought.

Table B to Clauses 5.4.3: Minimum building setbacks for residential buildings, ancillary structures and balconies in Zones MR and HR				
Lot Boundary	Minimum Setback for first four storeys above ground level	Propose Setbacks	Minimum setback for roofline	Propose setback for roofline
Primary street frontage – Mangola Ct	6m for residential buildings and ancillary structures / 3m for balconies	Ground Floor: 5.5 m 1st Floor: 6.0 m / 4.0m 2nd Floor: 6.0 m / 4.0 m 3rd Floor: 6.0 m / 4.0 m Complies	2.1m - provided that no supporting member is located within 6m of the boundary	4.0 m Complies
Secondary street frontage	4.5 m for residential buildings and ancillary structures 1.5m for balconies	NA	2.1m - provided that no supporting member is located within 4.5m of the boundary	NA
Side and rear lot boundaries	3m for residential buildings, ancillary structures and balconies	Left Side / Right Side / Rear Ground Floor: 1.5 m / 2.5 m / 3.0 m 1st Floor to 3rd Floor 2.0 m / 2.5 m / 2.5 m Does not comply	2.1m	Left Side: 1.5 m Right Side: 1.5 m Does not comply Rear: 2.5 m Complies

Clause 5.4.7 Communal Open Space

Purpose

Ensure that suitable areas for communal open space are provided for dwellings-multiple, residential care facilities and rooming accommodation.

Administration

1. This clause does not apply to dwelling-multiple where each dwelling has direct and independent access to private open space at ground level.
2. The consent authority may consent to a dwelling-multiple comprising serviced apartments in Zone TC that is not in accordance with sub-clauses 5 and 6 only it is satisfied it is consistent with the purpose of this clause and that the private open space associated with each dwelling provides appropriate opportunities for outdoor activities.

3. The consent authority may consent to a development in Zone C or Zone CB that is not in accordance with sub-clauses 5 and 6 if appropriate recreational space for the occupants of the development is provided, having regard to the following matters:

(a) whether the communal open space has usable dimensions and is of a sufficient size for the density of the development;

(b) the development is in proximity to adequate public open space or sufficient amenities; and

(c) whether there is an appropriate increase in private open space provided (over that which is required by Clause 5.4.6), for each dwelling in the development.

4. For zones and uses not covered by sub-clauses 2 and 3, the consent authority may consent to a development that is not in accordance with sub-clauses 5 and 6 if it is satisfied the communal open space has usable dimensions and is of a sufficient size for the development.

Requirements

5. A minimum of 15% of the site, being not less than 6m wide at any point, is to be communal open space.

6. Communal open space is to be designed to:

(a) be clearly delineated from private and public open space;

(b) maintain reasonable privacy of nearby dwellings;

(c) provide recreational facilities for occupants; address the projected needs of children;

(d) include landscaping and shade where located outdoors;

(e) minimise safety issues, including through lighting and passive surveillance;

(f) minimise the effects of any on-site traffic circulation and car parking areas; and

(g) be capable of efficient maintenance and management.

The total area of the Lot is $726 \text{ m}^2 \times 15\% = 108.9 \text{ m}^2$ the minimum required total area of communal open space. The Proposed Development provides an approximate area of 110 m^2 of communal open space with landscaping.

The communal open space is located at a very convenient and easily accessible area at the right (south) side and rear (east) side of the Lot. However, due to the limited space available, it is less than 6 meters in depth. The rear area is 3 meter wide by 26.2 meters long and continuing to the right side is 2.5 meter wide by 16 meters long.

Notwithstanding the size available, it still provides for a generous and functional area for recreational use by the occupants of the Development. It is landscaped to provide adequate shade in order to enable the use of the area for passive recreational activities. Trees will also provide sun shading to activity areas. Fencing and landscape will be provided to clearly distinguish the communal open space. The proposed development through good lighting, suitable gradient, and properly designed drainage and vehicle movements ensures a safe communal area.

A variation is being sought due to the minimum length requirements however, the communal open space has usable dimensions and is of a sufficient size for the development given the special requirements for the occupants of the residential care facility.

In addition to that, the Proposed Development is located immediately opposite a parkland, nearby playgrounds and sports oval which can be used by the future occupants. Several alternative recreation facilities are available nearby, which are located within walking distance from the Proposed Development.

Clause 5.4.8 Residential Building Design

Clause 5.4.8.1 Building Design for Dwelling-group, Rooming Accommodation and Residential Care Facility

The purpose of this clause is to promote site-responsive designs for dwelling-group, dwelling-multiple, rooming accommodation and residential care facility, which provide a pleasant living environment for the occupants and a sympathetic interface with adjoining lots, to minimise unreasonable impacts on the privacy and amenity of surrounding residents.

Requirements:

(a) locate development on the site for correct solar orientation;

The building is orientated to minimize sun exposure to the western sun providing buffers such as balconies and awnings. The proposed units will each have good natural lighting and ventilation. All habitable rooms are provided with awnings and verandahs from living areas. The living areas have a northern orientation to maximise northern sun during the cooler winter months.

(b) minimise expanses of walls by varying building heights, building setbacks and façades;

Minimising expanses of blank walls by varying building heights, building setbacks and facades: The roof line and height of the building varies. This affords the building more street appeal. The building is much articulated in all sides. the setbacks of the of the building varies thereby making it very aesthetically pleasant and greatly minimising visual bulk when viewed from adjoining land and the street. In addition to the above, the provision of building projections such as the balconies coupled with the varied use of building materials and finishes (metal balustrading, rendered/tiled external walls, tile features, circular columns etc.) also minimises any potential massing or visual bulk.

(c) locate air conditioners where they are accessible for servicing;

Air conditioning will be located and accessed at the balconies and will be properly screened from street views.

(d) conceal service ducts, pipes, air conditioners, air conditioning plants etc;

All pipe runs will be concealed in internal ducts or above ceiling.

(e) avoid overlooking of private open spaces and habitable rooms of adjacent residences on the same and adjacent sites;

The verandahs and outdoor areas are orientated to avoid interactions and enable privacy between units.

(f) locate bedrooms and private open spaces away from noise sources;

All habitable rooms overlooking neighbouring properties are located minimum 2.5 meters from the property line. Privacy between private open spaces and habitable rooms are achieved using structural walls and varying wall setbacks.

(g) control its own noise sources and minimise the transmission of noise between dwellings;

The proposed units will be separately built and adequately setback from all perimeter boundaries on site. The proposed fencing and landscaping along boundaries will enable the proposed development to control noise sources and transmissions. Active areas are located separately from passive areas. Bedrooms are mostly located away from the balconies and screened by structural walls.

(h) where close to high noise sources (such as busy roads and airport flight paths), be of appropriate acoustic design and construction;

There are no high noise sources in the immediate vicinity of the site.

(i) balance the achievement of visual and acoustic privacy with passive climate control features;

The provision of different kinds and location of windows and doors throughout will ensure visual privacy is maintained whilst encouraging cross ventilation throughout the building. Spaces such as balconies, foyers & hallways are extensions to the units that provide visual barriers to the internal areas. Balconies and awnings also provide additional shading to the internal areas.

(j) allow breeze penetration and circulation;

The proposed building is reasonably setback from all boundaries with adequate breeze way to encourage breeze penetration throughout the development. Every unit will also have sufficient operable windows allowing cross ventilation.

(k) minimise use of reflective surfaces; and

The proposed building will have non-reflective and light coloured prefinished roofs and walls. All external claddings will have colours and materials that are combinations of light and medium hues.

(l) provide internal drainage of balconies and coving on the edge of balconies.

Not Applicable

Complies

5.4.15 Residential Care Facility

The proposed development creates 2 Onsite Overnight Assistance spaces (large enough for 2 carers), a communal support room for group activities or larger one on one activities together with large living spaces to each unit and private open space to ensure all resident can access high standard rehabilitation, social, health and recreational facilities on-site.

Purpose

Ensure that a residential care facility is established in an appropriate location to meet the needs of its residents and is operated in a manner that:

(a) adequately supports persons in care, staff and visitors;

Larrakeyah is located near the Darwin CBD, a few kilometres to Casuarina and Palmerston, and which results in short travelling to any of these locations to facilitate medical or health appointments. Residents will travel to and from appointments via a health providers minibus as the resident requires HPS (and is not expected to be able to use public transport) and cannot drive. Bus services would be pre-arranged by appointments, more than likely an attempt to have all 5 residents attend appointments at the same time – like hydrotherapy pool.

(b) does not unreasonably impact on the amenity of adjoining and nearby property; and

The proposed development façade will be similar in size, shape and bulk from the road and adjoining properties. Both sides of the building are significantly articulated in order to minimise building massing and visual bulk when viewed from adjoining land and the street.

A Residential Care Facility model can have several positive impacts, reducing potential issues such as congestion, noise, and parking challenges. Some potential impacts that might be reduced:

Traffic Congestion:

With a smaller facility catering to a limited number of residents, there is likely to be a reduction in traffic flow compared to potentially more residents such as families. This can contribute to smoother traffic in the surrounding area.

Parking Demand:

As mentioned, a standard multi-level residential accommodating a larger number of residents would likely require more parking spaces. A Residential Care Facility with fewer residents would consequently have a lower demand for parking, potentially easing congestion and parking-related issues in the neighborhood.

Noise Levels:

A smaller residential care facility is likely to generate less noise compared to a standard multi-level residential accommodating more residents. This can have positive effects on the overall noise levels in the vicinity, contributing to a quieter and more peaceful neighborhood.

Community Impact:

The reduced size of the care facility can contribute to a smaller community impact. With fewer residents, the facility may integrate more seamlessly into the existing neighbourhood without causing disruption to the community.

Aesthetics and Space Utilization:

A reduced residential facility may have a more modest physical footprint, contributing to the preservation of the neighborhood's aesthetics. This can be particularly important in residential areas where maintaining the character of the surroundings is valued.

Resource Consumption:

With fewer residents, resource consumption, such as water and electricity usage, may be lower compared to a larger complex. This can align with sustainability goals and minimize the environmental impact of the facility.

Overall, opting for a Residential Care Facility with a smaller capacity can mitigate potential negative impacts on traffic, parking, noise, and community dynamics, fostering a more harmonious integration into the existing neighborhood

(c) is commensurate with the scale of utilities and transport infrastructure provided in the locality.

The proposed development has similar utility requirements to existing adjacent properties which is standard within the vicinity. There are several transport infrastructures already in place to sustain the area.

Administration

1. The consent authority may approve an application for a residential care facility that is not in accordance with sub-clauses 2-4 only if it is satisfied it is consistent with the purpose of this clause and the zone purpose and outcomes, and it is appropriate to the site having regard to such matters as its location, nature, scale and impact on surrounding amenity.

Requirements

2. The facility provides rehabilitation, social, health and recreational facilities on-site or is located to ensure residents have convenient access to such facilities and the public transport network.

The design includes sufficient inhouse support in the privacy of the participants room (to be used if the participant is unable to travel) or the use of the therapy room or library which will assist the carers to facilitate allied health support such as occupational therapists, counselling, behavioural therapist, speech pathologist or therapy in general. Whilst the area is small it is aimed to be used by the sole participant, the impact is:

The reduced numbers in the Residential Care Facility are suitable to the scale of development for several reasons, primarily related to the facility's purpose, functionality, and the specific needs it aims to address. Here's how the reduced numbers align with the scale of development:

Individualized Care:

With a smaller number of residents, the facility can provide more individualized and focused care. This is particularly important in settings where participants may require specialized services, such as occupational therapy, counselling, or behavioral therapy.

Flexible Support Room Design:

The inclusion of a support room designed for use by only 5-6 participants, individual or combined is a practical approach. It ensures that the space is utilized efficiently, offering a private and personalized environment for therapy sessions or other support services.

Tailored Allied Health Support:

The facility's design considers the need for allied health support services, and by limiting the number of participants using the support room at any given time, it enhances the effectiveness of these services. It allows for a more tailored and focused approach to each individual's needs.

Intimate Community Environment:

A smaller number of residents contributes to the creation of a more intimate and closely-knit community environment. This can enhance the sense of community among residents and facilitate more personalized interactions between residents and staff.

Efficient Resource Utilization:

The reduced capacity ensures efficient use of resources, both in terms of staff time and facility space. This can contribute to a more cost-effective and sustainable operation, aligning with the scale of development.

Improved Quality of Life:

The smaller scale allows for a better quality of life for residents. With fewer people sharing communal spaces, there is potential for a more peaceful and comfortable living environment.

The reduced numbers in the Residential Care Facility are suitable to the scale of development by enabling a more individualized, efficient, and focused approach to care. The design elements, such as the support room and the limitation on the number of participants using it simultaneously, reflect a thoughtful consideration of the residents' needs and contribute to a more tailored and effective care environment.

The design elements described above, including private accommodations for carers and a thoughtfully designed communal open space, can contribute significantly to facilitating rehabilitation in a Residential Care Facility by:

Personalized Living Spaces for Carers:

Carers having their own private rooms allows them to rest, recharge, and be well-prepared for their caregiving responsibilities. This ensures that they can provide optimal care and support to residents, contributing to the overall effectiveness of rehabilitation programs.

Communal Open Space for Well-Being:

The communal open space, with various features like a covered area, star gazing deck, BBQ area, communal gardening/veggie patch, stretching area, and grassed open area, creates an environment that supports residents' well-being. Engaging in outdoor activities and enjoying different facets of space can contribute to physical and mental health.

Therapeutic and Recreational Opportunities:

The presence of a stretching area, communal gardening, and other features provides opportunities for therapeutic and recreational activities. These activities can be tailored to individual rehabilitation plans, incorporating exercises, gardening therapy, and other interventions that promote physical and mental well-being.

Privacy and Community Look:

The boundary fencing not only enhances participants' privacy but also contributes to a sense of security. Feeling secure in their living environment is crucial for individuals undergoing rehabilitation. Additionally, maintaining a community look helps integrate the facility into the surrounding neighbourhood, fostering a sense of belonging.

Holistic Rehabilitation Approach:

The combination of private living spaces for carers and a well-designed communal area allows for a holistic approach to rehabilitation. It considers not only the medical and therapeutic aspects but also the importance of social interaction, outdoor activities, and a pleasant living environment in the recovery process.

Reduced Stress and Enhanced Comfort:

Creating a comfortable and aesthetically pleasing environment, both in private and communal spaces, can contribute to reduced stress levels among residents. Reduced stress is beneficial for rehabilitation outcomes, as it can positively impact mental and physical health.

In summary, the design features of the Residential Care Facility, including private carer accommodations and a thoughtfully designed communal open space, work together to create an environment that supports and enhances rehabilitation. The holistic approach considers the physical, emotional, and social aspects of well-being, contributing to a comprehensive and effective rehabilitation program for the residents.

3. The scale and day to day operation is compatible with the character and amenity of the zone.

The daily activities outlined for the Residential Care Facility play a crucial role in defining the scale of development and ensuring compatibility with the character and amenity of the zone. The day-to-day operations align with the scale:

Personalized Care and Assistance:

The daily activities, such as assisting residents with bathing, meal preparation, and clothing, indicate a personalized and hands-on approach to care. This level of individualized attention is often associated with smaller-scale developments, as it ensures that each resident's unique needs are met.

Integration of Health Professionals:

The commitment to having residents see at least one health professional within a 24-hour period aligns with the scale of development. This level of attention suggests a close collaboration between the facility and healthcare providers, which is often more feasible in a smaller-scale setting where individualized care plans can be more easily managed.

On-Site Activities:

The emphasis on participating in all daily activities at the care facility suggests a comprehensive approach to residents' well-being. Smaller-scale developments are often better equipped to facilitate a variety of on-site activities, promoting social engagement and a sense of community among residents.

Coordination of Off-Site Health Professionals:

The carers' role in coordinating attendance to off-site health professionals indicates a high level of involvement in residents' healthcare. This kind of hands-on coordination is often more manageable in smaller-scale developments where communication is more direct and individualized.

Compatibility with Character and Amenity:

The nature of the daily activities, which involve providing essential care and facilitating health-related activities, contributes to the overall compatibility with the character and amenity of the zone. Smaller-scale developments often integrate more seamlessly into residential areas, minimizing disruptions to the existing neighborhood.

Community Integration:

The daily activities promote a sense of community among residents. This community-centric approach is generally more achievable in smaller-scale developments, where residents and staff can engage more closely on a daily basis.

The daily activities outlined for the Residential Care Facility are indicative of a smaller-scale development that prioritizes personalized care, community engagement, and the seamless integration of health-related services. This approach aligns with the character and amenity of the zone, fostering a supportive and inclusive living environment for the residents.

The exclusion of a reception/front desk in the design of the Residential Care Facility has several implications on the scale and overall character of the development:

Reduced Physical Footprint:

Without the need for a reception/front desk area, the physical footprint of the facility is likely to be smaller. This reduction in space aligns with a more modest scale, making the facility less imposing and more in harmony with a residential setting. It should be noted the site can accommodate 4 dwellings (quadplex), which would have a much larger impact than the proposed care facility.

Lower Administrative Overhead:

The absence of a dedicated reception area suggests a streamlined administrative structure. This is consistent with the smaller scale of the facility, as it implies that administrative functions can be managed efficiently without the need for extensive front-of-house facilities.

Enhanced Residential Feel:

The deliberate choice to exclude a reception/front desk contributes to maintaining a low-key atmosphere. This enhances the residential feel of the facility, making it blend more naturally with its surroundings and reinforcing the sense of a home rather than a commercial institution.

Direct Interaction with Carers:

The decision for visitors, family, and healthcare providers to use the carer as the primary point of contact enhances direct interaction. This personal approach aligns with the scale of a smaller facility, where individualized communication and coordination are more feasible.

Cost-Efficiency:

The omission of a reception area may result in cost savings related to construction, maintenance, and staffing. This aligns with the practical considerations of a smaller-scale development where cost-effectiveness is often a priority.

Community Integration:

The absence of a front desk contributes to a more integrated and community-oriented approach. Visitors and healthcare providers interacting directly with carers fosters a sense of community and promotes a less institutionalized feel, which is characteristic of smaller-scale residential care facilities.

The exclusion of a reception/front desk aligns with the deliberate approach to maintain a low-key and residential atmosphere in the care facility. This choice is reflective of the facility's smaller scale, promoting a more personalized, cost-efficient, and community-integrated model of care.

4. No greater demand or load is imposed on the services provided by a public utility organisation than that which is ordinarily required in the locality.

No additional load on services as the zone is HR and the design requires less load on services than already provided. The scale of proposed building is compatible with the character and amenity of the locality. As there are only 18 beds/ residents living in the proposed care facility, there is no requirement for additional power, water and waste management comparing to a family living in a standard HR residential apartment.

Clause 5.4.17 Building Articulation

*Ensure that **residential buildings** mitigate the perception of building mass and bulking when viewed from adjoining properties and the street, and provide opportunities for cross-ventilation within building design.*

*1. This clause applies to all sides of **residential buildings** that are longer than 15m, except the ground floor of buildings in Zone CB.*

*2. The consent authority may **consent** to a development that is not in accordance with sub-clause 4 only if it is satisfied it is consistent with the purpose of this clause.*

*3. The length of the building excludes verandahs, balconies, porches and carports integrated into the **residential building** design.*

Requirements

4. A step or recess to the building line of no less than 1m by 1m is required for every 15m of building length, or part thereof.

The proposed development facade along the frontage to the street and rear complies with the requirement. However, the northern & southern sides are more than 15 meters long. The walls longer than 15 meters were provided with feature tiles and colours. Different materials have been integrated to make sure there will be no building massing and bulking.

A request for a variation & consideration is being sought since these lengths are broken to different wall steps creating different wall setbacks to boundaries.

Clause 5.4.18 Fencing

Promote fencing in medium and high-density areas that provides a positive interface with the public domain, while allowing necessary privacy for residents and neighboring properties.

All fences adjacent to road boundaries or boundaries adjoining public open space are to be constructed so that:

(a) the maximum height is 2m above ground level measured at the relevant site boundary; and

(b) the area of materials that is not visually permeable does not exceed an area equivalent to the length of the site boundary (excluding driveways) multiplied by 1.2m.

5. Fencing within 1.5m of driveways, pedestrian entries, and street corners is to be visually permeable above 0.6m (unless there is truncation provided within these areas to the same distance).

6. Where the development abuts land in Zones LR or LMR, development is to provide a solid screen fence to a minimum height of 1.8m to that boundary

The proposed development at the front facade fencing as shown on the plans. The fence at the left side boundary is 1800 high cyclone fencing. The south boundary and east boundary existing fencing to remain. Fencing and screening of driveways, pedestrian entries are vertical tubular fencing.

46(3)(b) an assessment demonstrating how the proposed development will comply with an interim development control order, if any, applying to the land;

Not applicable.

46(3)(c) if a public environmental report or an environmental impact statement has been prepared or is required under the Environmental Assessment Act in relation to the proposed development, a copy of the report or statement and the results of any assessment of the report or statement under that Act by the Minister administering that Act;

Not applicable.

46(3)(d) an assessment demonstrating the merits of the proposed development;

The proposed development provides not only more diversity of residential uses but also the most updated living standard in the locality.

Addressing potential objections related to the perception of “Social” housing expectations is crucial. Emphasising the legal framework governed by the Act of Federal Parliament, which prohibits vilification and discrimination against disabled individuals, can be a key point in countering objections. Highlighting the facility’s purpose in providing essential care services for a small number of individuals, in accordance with relevant regulations, may help dispel misconceptions and foster community understanding.

46(3)(e) a description of the physical characteristics of the land and a detailed assessment demonstrating the land's suitability for the purposes of the proposed development and the effect of development on that land and other land;

As the allotment is relatively flat, the proposed development will be consistent with the contours of the land ensuring minimal cutting or filling. The proposed development will not alter or affect existing water runoff from the land. The locality is mainly high -rise residential and commercial area. The proposed care facility to the site will provide more diversity of uses into the area with a similar built form and no extensive demand on the existing reticulated services.

46(3)(f) a statement specifying the public facilities or public open space available in the area in which the land is situated, whether land for public facilities or public open space is to be provided by the developer and whether it is proposed that facilities or open space be developed by the developer;

Not applicable.

46(3)(g) a statement specifying the public utilities or infrastructure provided in the area in which the land is situated, the requirement for public facilities and services to be connected to the land and whether public utilities or infrastructure are to be provided by the developer or land is to be provided by the developer for the provision of public utilities or infrastructure;

The subject land within the suburb is already connected to reticulated power, water and sewer services. The proposed use will not impact the capacity of services available to the subject land, and specific servicing requirements will be subject to satisfaction of Power and Water Corporation. Appropriate measures will be taken to ensure all stormwater is directed into Council's established drainage system and within the proposed development if applicable.

46(3)(h) an assessment of the potential impact on the existing and future amenity of the area in which the land is situated;

As previously stated, the proposed development will facilitate the growing need for NDIS disability services under residential requirements specifically structured to provide NDIS Participants with access to establish essential daily living and to ensure that they can lead an active and positive lifestyle despite their disability. The proposed development will provide support and services to the residential activities of the surrounding area. The growing needs for the proposed development will sustain the future amenity of the area.

The proposed development has been designed and is suitable to the surrounding area in terms of its purpose. The shape, bulk, size and building materials will remain consistent and compatible with the surrounding area ensuring the development does not unduly affect adjoining or nearby allotments. There are existing landscaping and boundary fencing which will provide suitable buffer between adjoining and nearby properties. The proposed development has no potential impact on the existing and future amenity of the land but maintains and enhances the streetscape and good neighbourhood character of the residential area whilst providing the required housing facilities.

46(3)(i) an assessment of the benefit or detriment to the public interest of the development;

The proposed development will only maintain and enhance the requirement of the land and residential area without unduly affecting nearby properties, ensuring no detriment to the public interest. The proposed development is consistent with the form and function of anticipated development within the applicable zone and as such will have no adverse impact will be imposed on the streetscape or overlooking of adjoining properties. The proposed development is suitably sized, located and zoned to accommodate the current and future needs of the building and its surrounding neighbourhood. It will complement and enhance the residential character of the land without unduly affecting nearby properties, ensuring no detriment to the public interest of the development. The proposed development will provide a new facility that will add and cope with the growing demand of NDIS services that also best meets the needs of people coming from surrounding suburbs.

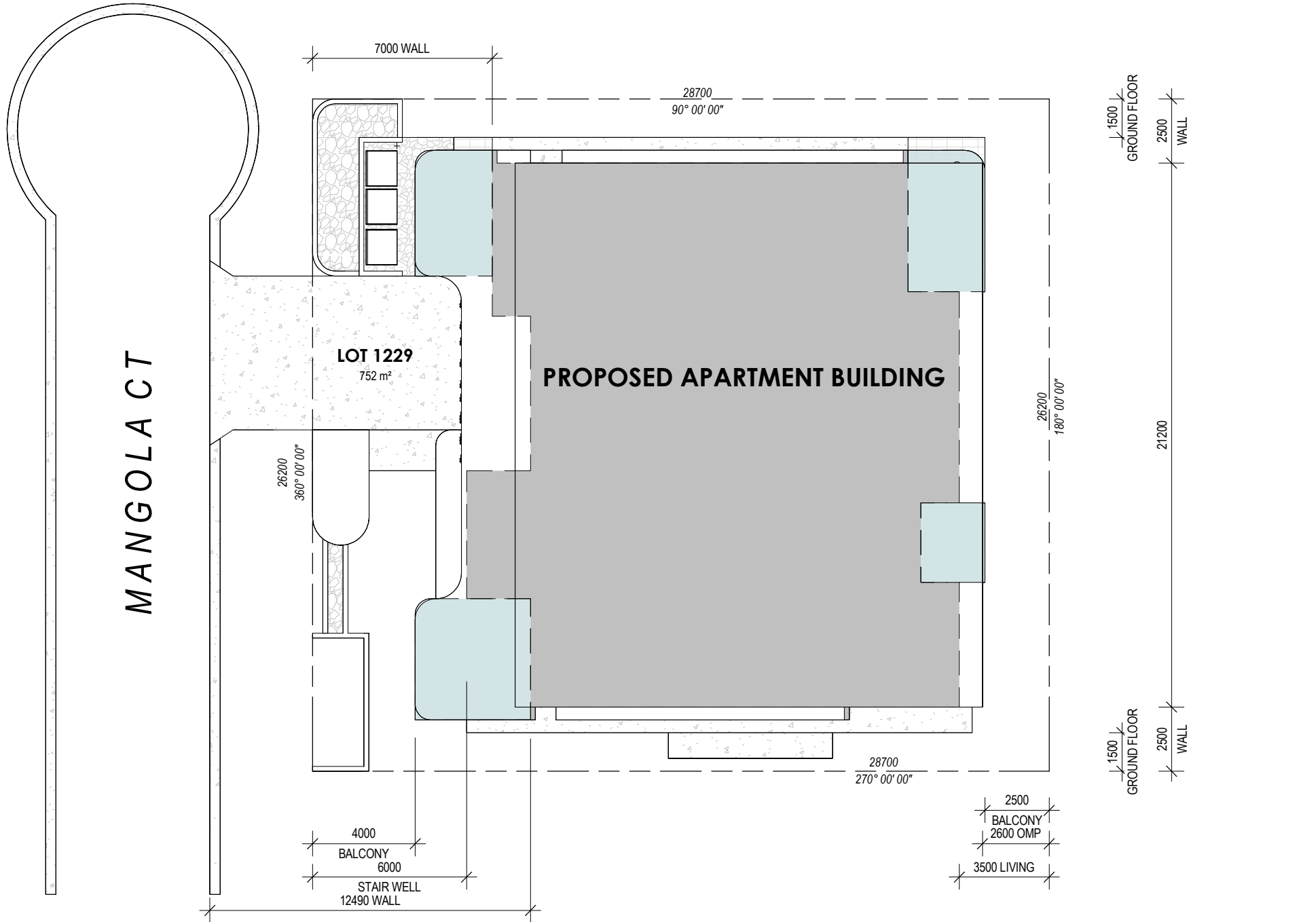
DRAWING REGISTER			
SHEET NO.	SHEET NAME	REV.	DATE
0.00	COVER SHEET	D	14.01.25
0.10	PERSPECTIVES	D	14.01.25
1.01	SITE PLAN	D	14.01.25
2.01	GROUND FLOOR PLAN	D	14.01.25
2.05	HPS CIRCULATION PLAN	D	14.01.25
3.01	ELEVATIONS	D	14.01.25
3.02	ELEVATIONS	D	14.01.25
3.11	BUILDING SECTIONS	D	14.01.25



1 3D View 1



1 3D View 2



REAL PROPERTY DESCRIPTION	
137 MANGOLA CT, LARRAKEYAH NT 0820	
LOT 1229	LOC 200
COUNCIL:	DARWIN
SITE AREA:	752 m²
SITE COVERAGE:	420m² - 56 %

GENERAL NOTES

/ SITEWORKS HAS BEEN BASED ON CONTOUR INFORMATION AVAILABLE AT TIME OF SURVEY. NO ALLOWANCE HAS BEEN MADE FOR CHANGE IN LEVELS DUE TO ACTUAL CONDITIONS ON SITE. DISCREPANCIES WITH THE PLANS SHOULD BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCING SITEWORKS.

/ CONTOURS AND LEVELS SHOWN ARE PROVIDED BY A LICENSED SURVEYOR.

/ ALL SURVEY PEGS ARE TO BE LOCATED PRIOR TO EARTHWORKS.

/ SURFACE WATER TO BE DRAINED AWAY FROM DWELLING. 1:20 MIN. FALL.

/ UNLESS NOTED OTHERWISE, REMOVAL OF EXISTING TREES, ON SITE DRAINAGE REQUIREMENTS, AND CONSTRUCTION OF RETAINING WALLS, ARE TO BE PROVIDED BY OWNER.

/ BUILDING PLATFORM APPROX. 1500 FROM BUILDING

/ MAXIMUM BATTERS ARE TO BE: - CUT 1:2 - FILL 1:3

/ PAD LEVEL NOTED ON SITE CAN HAVE A TOLERANCE OF UP TO 100MM.

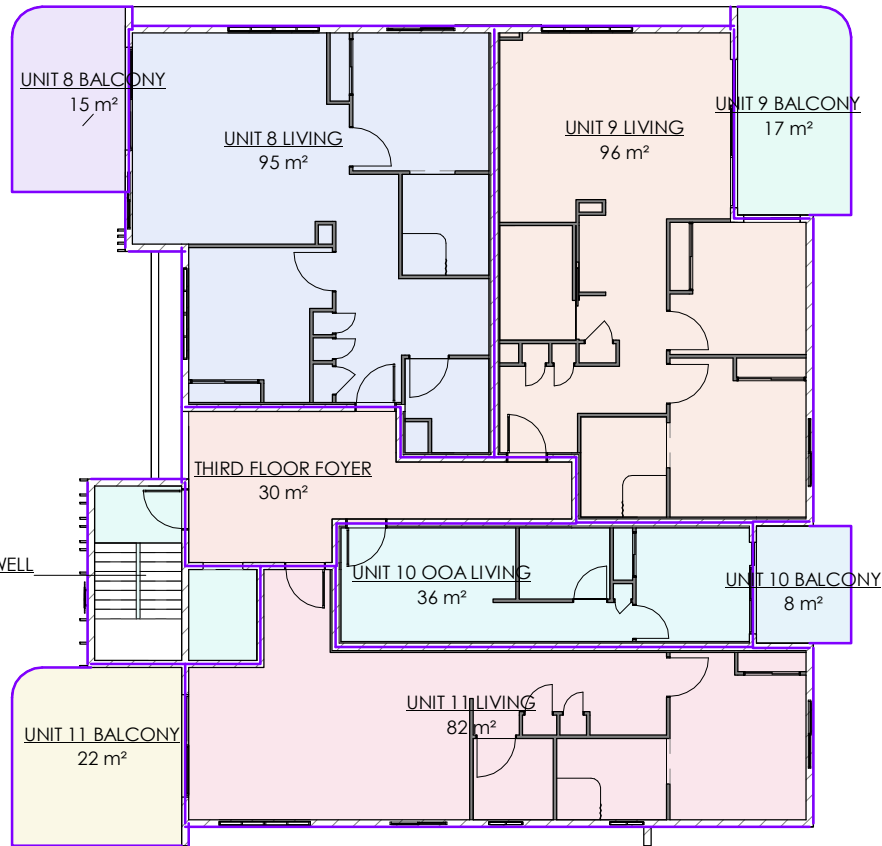
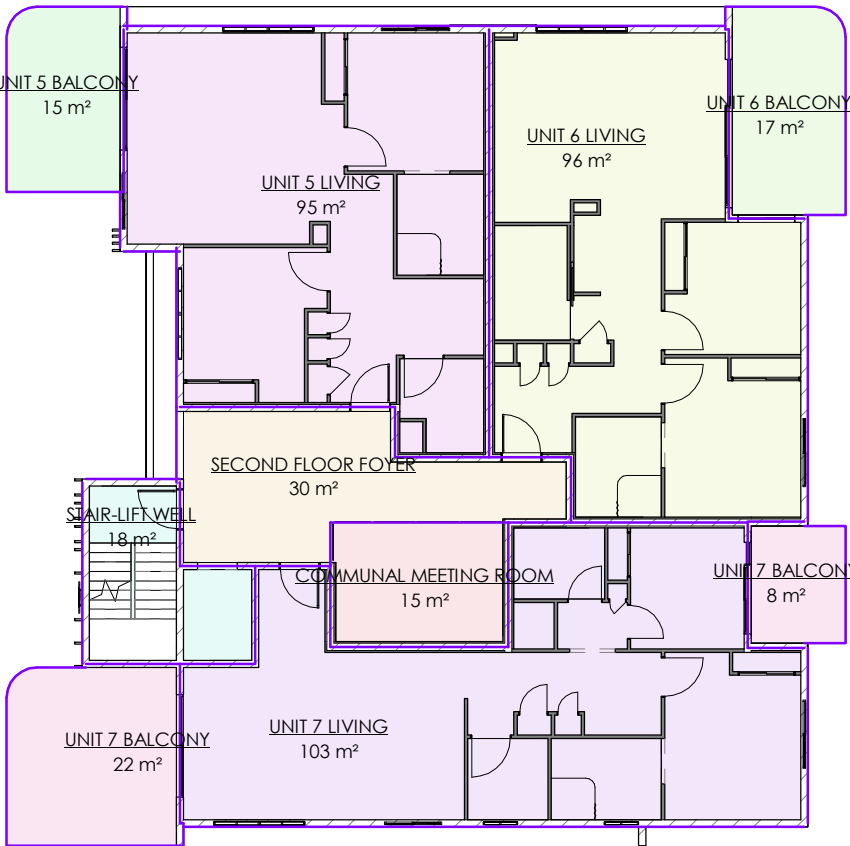
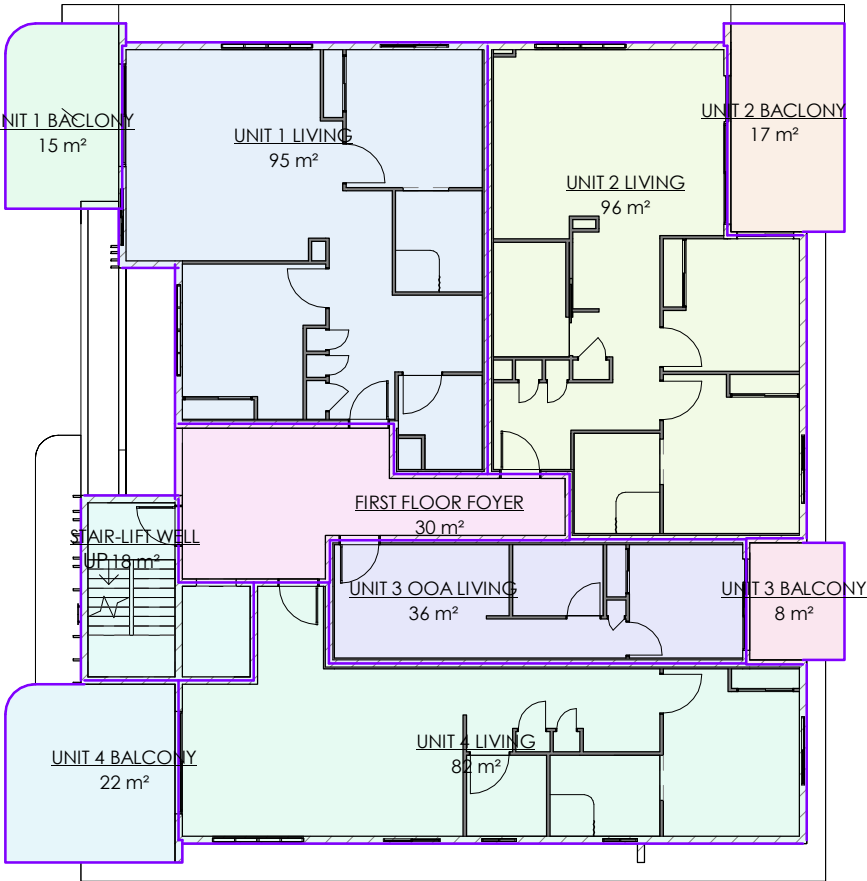
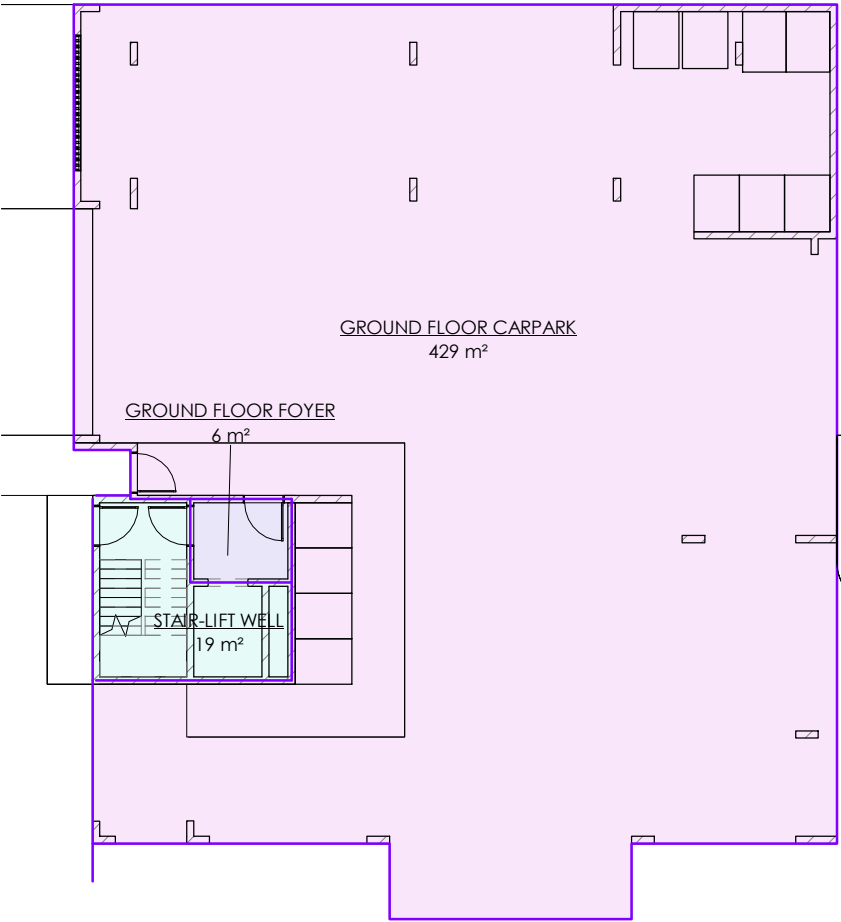
/ BUILDER TAKES NO RESPONSIBILITY FOR RETAINING OR DRAINAGE REQUIREMENTS CAUSED BY CONDITIONS FROM ADJOINING PROPERTIES.

/ DRIVEWAY CONSTRUCTION TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS.

/ THE LOCATIONS OF ALL STORMWATER LINES AND FIELD GULLIES (FG) AS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY AND ARE SUBJECT TO CHANGE ON SITE AT THE DISCRETION OF THE BUILDER.

NOTE: ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION

NOTE: EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO CONSTRUCTION



AREA SCHEDULE	
GROUND FLOOR CARPARK	429.5 m²
STAIR-LIFT WELL	19.4 m²
GROUND FLOOR FOYER	5.9 m²
UNIT 2 LIVING	96.4 m²
UNIT 1 LIVING	95.3 m²
UNIT 4 LIVING	82.5 m²
UNIT 3 OOA LIVING	36.1 m²
FIRST FLOOR FOYER	30.4 m²
UNIT 4 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 2 BALCONY	17.3 m²
UNIT 1 BALCONY	15.1 m²
UNIT 3 BALCONY	8.4 m²
UNIT 7 LIVING	103.3 m²
UNIT 6 LIVING	96.4 m²
UNIT 5 LIVING	95.3 m²
SECOND FLOOR FOYER	30.2 m²
UNIT 7 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 6 BALCONY	17.2 m²
COMMUNAL MEETING ROOM	15.5 m²
UNIT 5 BALCONY	15.1 m²
UNIT 7 BALCONY	8.4 m²
UNIT 9 LIVING	96.4 m²
UNIT 8 LIVING	95.3 m²
UNIT 11 LIVING	82.5 m²
UNIT 10 OOA LIVING	36.1 m²
THIRD FLOOR FOYER	30.4 m²
UNIT 11 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 9 BALCONY	17.2 m²
UNIT 8 BALCONY	15.1 m²
UNIT 10 BALCONY	8.4 m²
AREA TOTAL	1717.7 m²

2 AREA PLAN - GROUND FLOOR

1:200

3 L02 - FIRST FLOOR

1:200

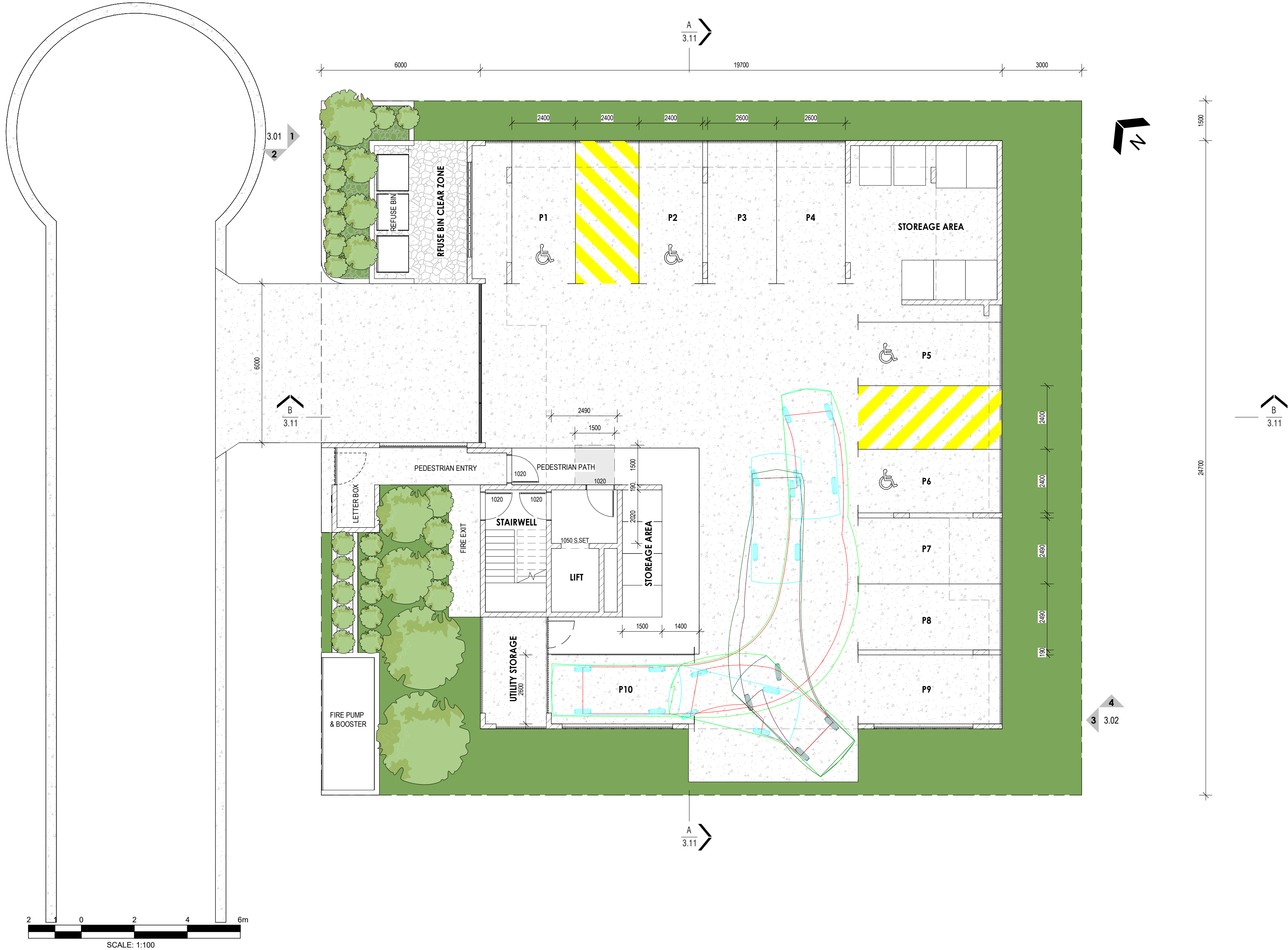
4 L04 - SECOND FLOOR

1:200

5 L06 - THIRD FLOOR

1:200

GROUND FLOOR PLAN



AREA SCHEDULE	
GROUND FLOOR CARPARK	429.5 m²
STAIR-LIFT WELL	19.4 m²
GROUND FLOOR FOYER	5.9 m²
UNIT 2 LIVING	96.4 m²
UNIT 1 LIVING	95.3 m²
UNIT 4 LIVING	82.5 m²
UNIT 3 OOA LIVING	36.1 m²
FIRST FLOOR FOYER	30.4 m²
UNIT 4 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 2 BALCONY	17.3 m²
UNIT 1 BALCONY	15.1 m²
UNIT 3 BALCONY	8.4 m²
UNIT 7 LIVING	103.3 m²
UNIT 6 LIVING	96.4 m²
UNIT 5 LIVING	95.3 m²
SECOND FLOOR FOYER	30.2 m²
UNIT 7 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 6 BALCONY	17.2 m²
COMMUNAL MEETING ROOM	15.5 m²
UNIT 5 BALCONY	15.1 m²
UNIT 7 BALCONY	8.4 m²
UNIT 9 LIVING	96.4 m²
UNIT 8 LIVING	95.3 m²
UNIT 11 LIVING	82.5 m²
UNIT 10 OOA LIVING	36.1 m²
THIRD FLOOR FOYER	30.4 m²
UNIT 11 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 9 BALCONY	17.2 m²
UNIT 8 BALCONY	15.1 m²
UNIT 10 BALCONY	8.4 m²
AREA TOTAL	1717.7 m²

GENERAL NOTES

/ DIMENSIONS NOTED ARE FRAME TO FRAME
/ THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DWGS.
/ FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
/ UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS.
/ ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL LOCATIONS TO OWNERS REQUIREMENTS.
/ ALL FULL HEIGHT WINDOWS TO HAVE NO TIMBER REVEAL TO SILL
/ SMOKE ALARM CEILING MOUNTED
/ WATER CLOSET DOORS TO BE READILY REMOVABLE WHEN REQUIRED IN ACCORDANCE WITH PART HP10.4.2
/ REFER TO ENGINEERS DRAWINGS AND/OR BCA HP5.6.8. FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.

LEGEND

JAZZDESIGNS
building designers

QBCC license #81396
119 Allen St, Sandgate QLD 4017 | 07 3869 4777
admin@jazzdesigns.com.au | www.jazzdesigns.com.au

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

© COPYRIGHT RESERVED.
All rights reserved. This work is subject to and cannot be reproduced or copied, by any means, without the express permission of Jazz Designs Pty. Ltd.

Project Address

Lot 1229, 137 Mangala Ct & Smith Street
Larrakeyah NT 0820

Project Name

PROPOSED NEW 3 STOREY + BASEMENT APARTMENT BUILDING

Client Name SKYCHEST PTY LTD

Rev

Rev	Date
A	18.10.24
B	21.11.24
C	16.12.24
D	14.01.25

Description

CONCEPT
DA Documentation
Add room sizes
PARKING ALTERATION

Drawn

B.J.C
B.J.C
K.R.B
T.P

Checked

J.A.Z.Z
J.A.Z.Z
J.A.Z.Z
J.A.Z.Z

Job Number

240184

Staged Plans

CONCEPT

Drawn by

TP

Checked by

J.A.Z.Z

Sheet 2.01

Revision D

Date

14.01.25


Scale

1 : 100

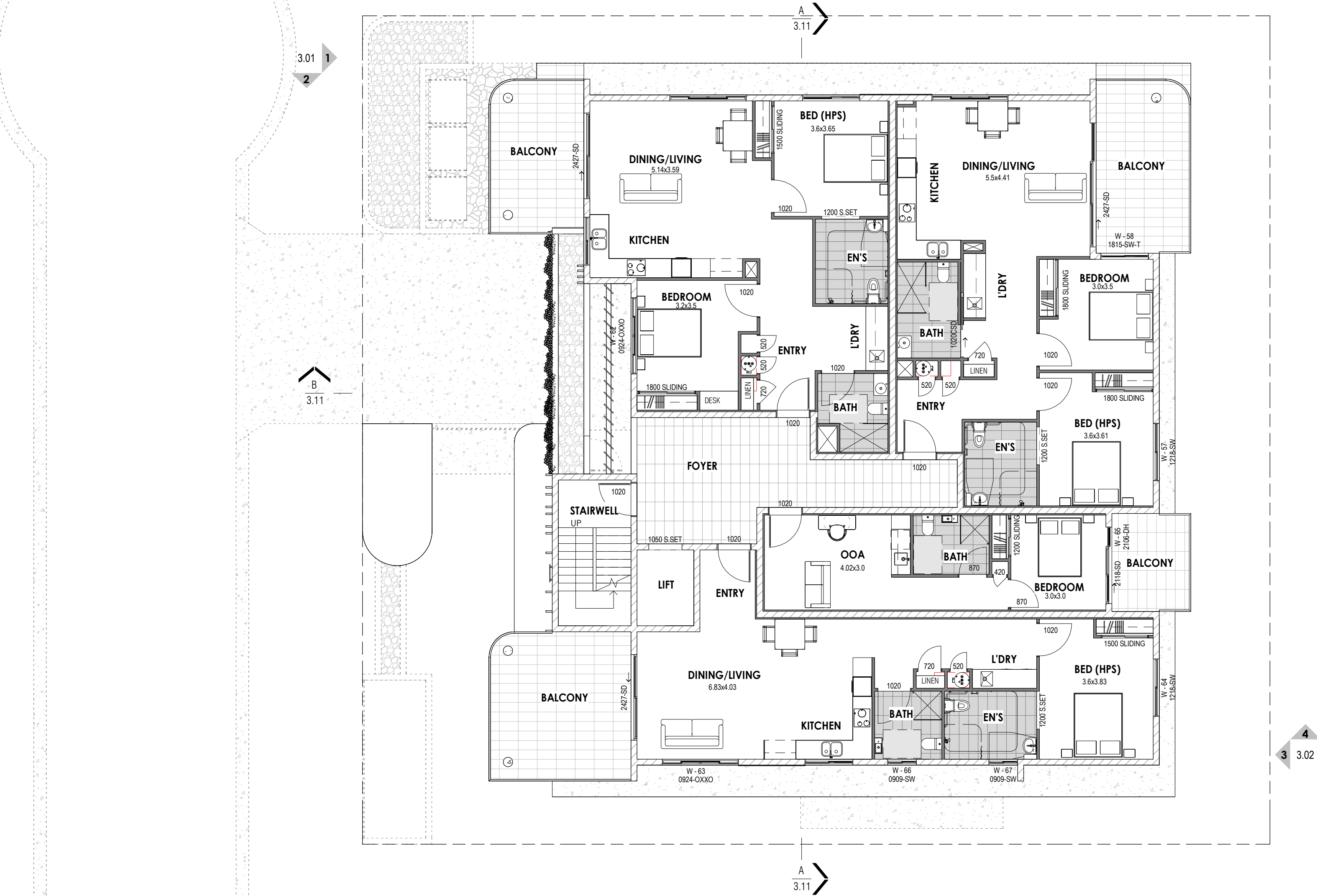
FIRST FLOOR PLAN

AREA SCHEDULE	
GROUND FLOOR CARPARK	429.5 m²
STAIR-LIFT WELL	19.4 m²
GROUND FLOOR FOYER	5.9 m²
UNIT 2 LIVING	96.4 m²
UNIT 1 LIVING	95.3 m²
UNIT 4 LIVING	82.5 m²
UNIT 3 OOA LIVING	36.1 m²
FIRST FLOOR FOYER	30.4 m²
UNIT 4 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 2 BALCONY	17.3 m²
UNIT 1 BALCONY	15.1 m²
UNIT 3 BALCONY	8.4 m²
UNIT 7 LIVING	103.3 m²
UNIT 6 LIVING	96.4 m²
UNIT 5 LIVING	95.3 m²
SECOND FLOOR FOYER	30.2 m²
STAIR-LIFT WELL	17.8 m²
UNIT 6 BALCONY	17.2 m²
COMMUNAL MEETING ROOM	15.5 m²
UNIT 5 BALCONY	15.1 m²
UNIT 7 BALCONY	8.4 m²
UNIT 9 LIVING	96.4 m²
UNIT 8 LIVING	95.3 m²
UNIT 11 LIVING	82.5 m²
UNIT 10 OOA LIVING	36.1 m²
THIRD FLOOR FOYER	30.4 m²
UNIT 11 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 9 BALCONY	17.2 m²
UNIT 8 BALCONY	15.1 m²
UNIT 10 BALCONY	8.4 m²
AREA TOTAL	1717.7 m²

GENERAL NOTES

- / DIMENSIONS NOTED ARE FRAME TO FRAME
/ THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DWGS.
/ FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
/ UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS.
/ ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL LOCATIONS TO OWNERS REQUIREMENTS.
/ ALL FULL HEIGHT WINDOWS TO HAVE NO TIMBER REVEAL TO SILL
/ SMOKE ALARM  CEILING MOUNTED
/ WATER CLOSET DOORS TO BE READILY REMOVABLE WHEN REQUIRED IN ACCORDANCE WITH PART HP10.4.2
/ REFER TO ENGINEERS DRAWINGS AND/OR BCA HP5.6.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.

LEGEND



1 2.02 - FIRST FLOOR PLAN

1:100



SCALE: 1:100

JAZZDESIGNS
building designers

QBCC license #81396
119 Allen St, Sandgate QLD 4017 | 07 3869 4777
admin@jazzdesigns.com.au | www.jazzdesigns.com.au

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

© COPYRIGHT RESERVED.
All rights reserved. This work is subject to and cannot be reproduced or copied, by any means, without the express permission of Jazz Designs Pty. Ltd.

Project Address

Lot 1229, 137 Mangala Ct & Smith Street
Larrakeyah NT 0820

Project Name

PROPOSED NEW 3 STOREY + BASEMENT APARTMENT BUILDING

Client Name SKYCHEST PTY LTD

Rev

A 18.10.24
B 21.11.24
C 16.12.24
D 14.01.25

Description

CONCEPT
DA Documentation
Add room sizes
PARKING ALTERATION

Drawn

BJC
BJC
KRB
TP

Checked

JAZZ
JAZZ
JAZZ
JAZZ

Job Number

240184

Staged Plans

CONCEPT

Drawn by

TP

Checked by

JAZZ

Sheet 2.02

Revision D

Date

14.01.25

Scale

1:100

SECOND FLOOR PLAN

AREA SCHEDULE	
GROUND FLOOR CARPARK	429.5 m²
STAIR-LIFT WELL	19.4 m²
GROUND FLOOR FOYER	5.9 m²
UNIT 2 LIVING	96.4 m²
UNIT 1 LIVING	95.3 m²
UNIT 4 LIVING	82.5 m²
UNIT 3 OOA LIVING	36.1 m²
FIRST FLOOR FOYER	30.4 m²
UNIT 4 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 2 BALCONY	17.3 m²
UNIT 1 BALCONY	15.1 m²
UNIT 3 BALCONY	8.4 m²
UNIT 7 LIVING	103.3 m²
UNIT 6 LIVING	96.4 m²
UNIT 5 LIVING	95.3 m²
SECOND FLOOR FOYER	30.2 m²
UNIT 7 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 6 BALCONY	17.2 m²
COMMUNAL MEETING ROOM	15.5 m²
UNIT 5 BALCONY	15.1 m²
UNIT 7 BALCONY	8.4 m²
UNIT 9 LIVING	96.4 m²
UNIT 8 LIVING	95.3 m²
UNIT 11 LIVING	82.5 m²
UNIT 10 OOA LIVING	36.1 m²
THIRD FLOOR FOYER	30.4 m²
UNIT 11 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 9 BALCONY	17.2 m²
UNIT 8 BALCONY	15.1 m²
UNIT 10 BALCONY	8.4 m²
AREA TOTAL	1717.7 m²

GENERAL NOTES

/ DIMENSIONS NOTED ARE FRAME TO FRAME


/ THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DWGS.

/ FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.

/ UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS.

/ ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL LOCATIONS TO OWNERS REQUIREMENTS.

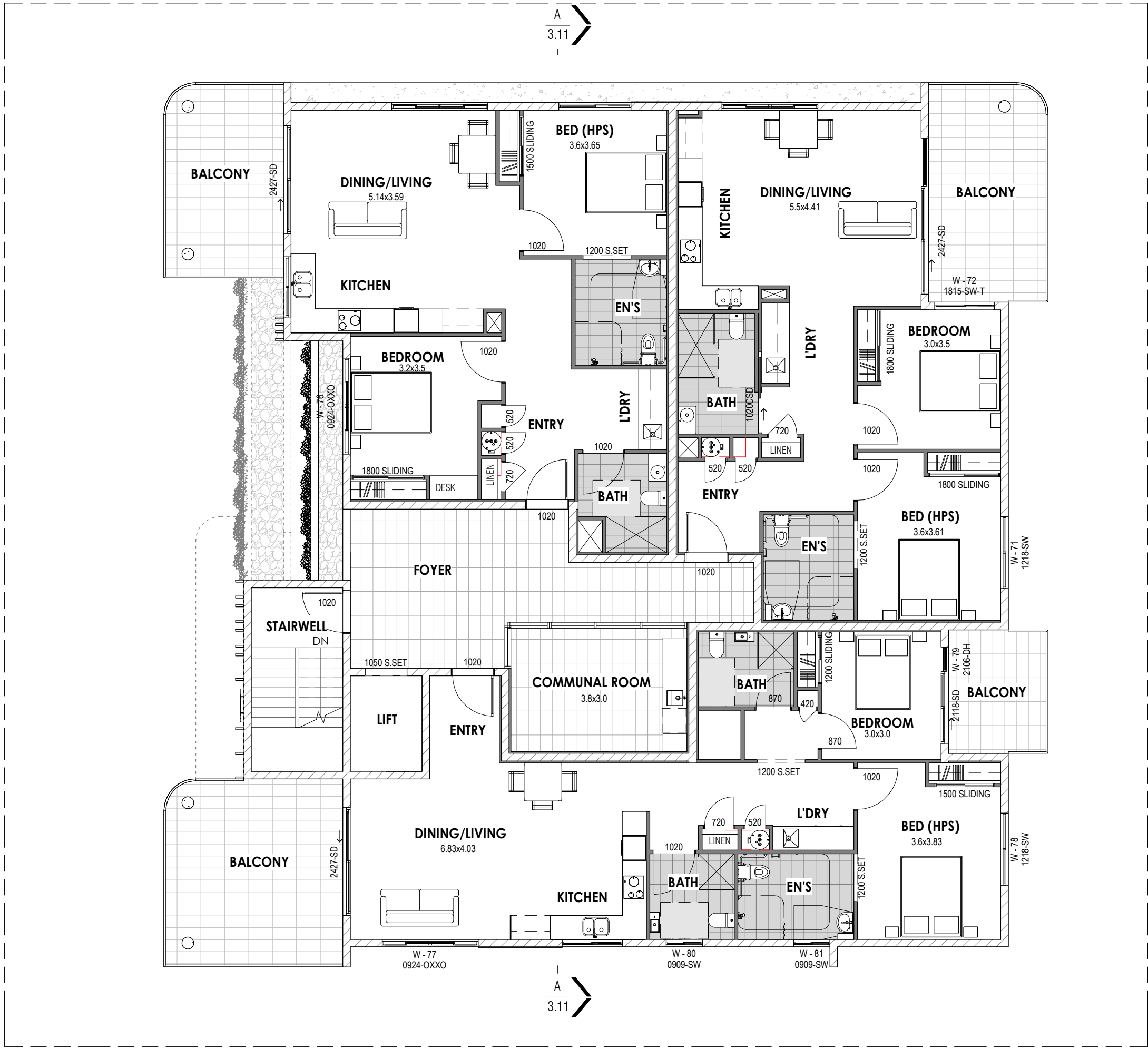
/ ALL FULL HEIGHT WINDOWS TO HAVE NO TIMBER REVEAL TO SILL.

/ SMOKE ALARM  CEILING MOUNTED

/ WATER CLOSET DOORS TO BE READILY REMOVABLE WHEN REQUIRED IN ACCORDANCE WITH PART HP10.4.2

/ REFER TO ENGINEERS DRAWINGS AND/OR BCA HP5.6.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.

LEGEND



1 2.03 - SECOND FLOOR PLAN

1:100



JAZZDESIGNS
building designers

QBCC license #81396
119 Allen St, Sandgate QLD 4017 | 07 3869 4777
admin@jazzdesigns.com.au | www.jazzdesigns.com.au

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

© COPYRIGHT RESERVED.
All rights reserved. This work is subject to and cannot be reproduced or copied, by any means, without the express permission of Jazz Designs Pty. Ltd.

Project Address

Lot 1229, 137 Mangala Ct & Smith Street
Larrakeyah NT 0820

Project Name

PROPOSED NEW 3 STOREY + BASEMENT APARTMENT BUILDING

Client Name SKYCHEST PTY LTD

Rev

A 18.10.24
B 21.11.24
C 16.12.24
D 14.01.25

Description

CONCEPT
DA Documentation
Add room sizes
PARKING ALTERATION

Drawn

BJC
BJC
KRB
TP

Checked

JAZZ
JAZZ
JAZZ
JAZZ

Job Number

240184

Staged Plans

CONCEPT

Drawn by TP

Checked by JAZZ

Sheet 2.03

Revision D

Date

14.01.25


Scale

1:100

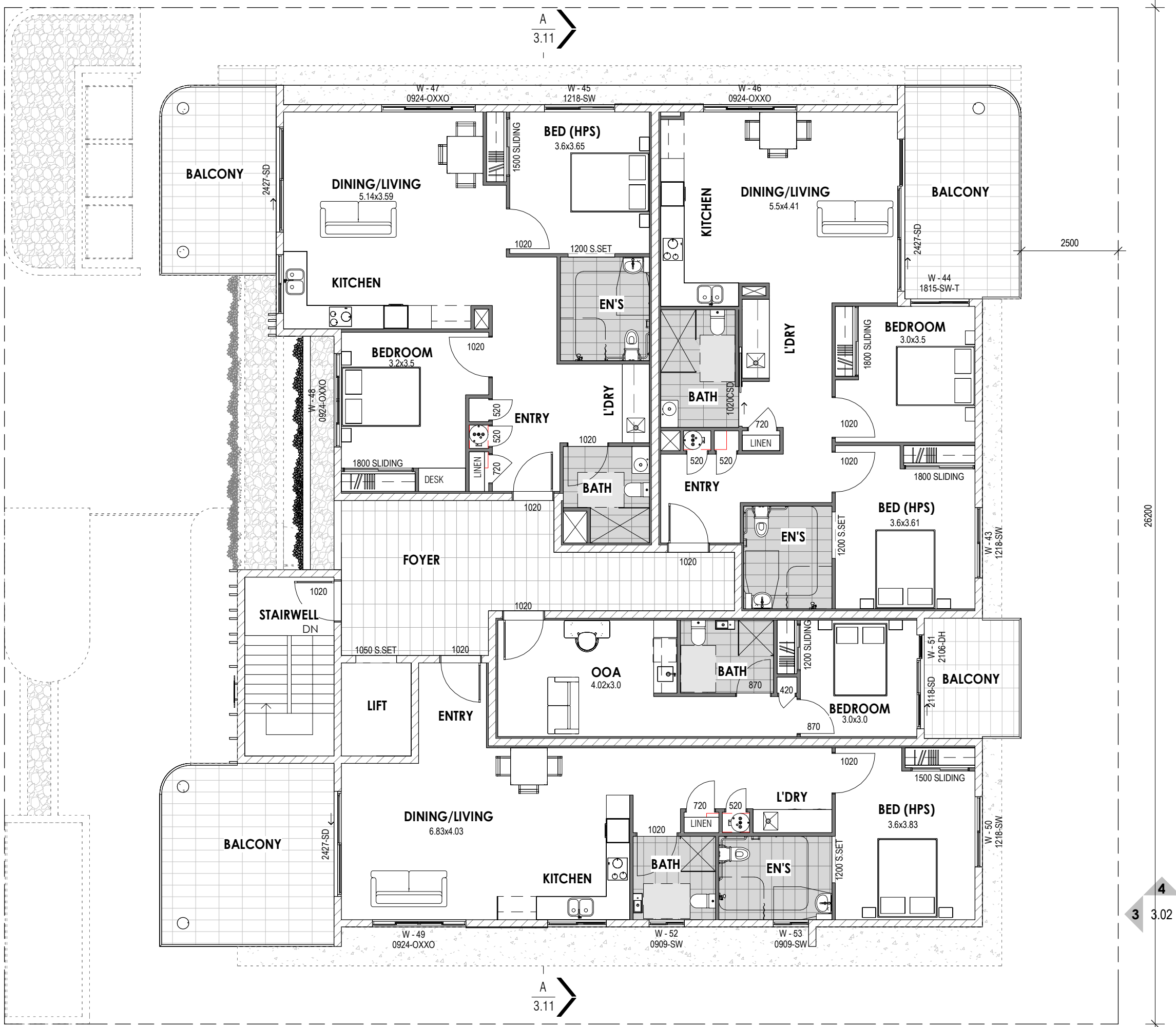
THIRD FLOOR PLAN

AREA SCHEDULE	
GROUND FLOOR CARPARK	429.5 m²
STAIR-LIFT WELL	19.4 m²
GROUND FLOOR FOYER	5.9 m²
UNIT 2 LIVING	96.4 m²
UNIT 1 LIVING	95.3 m²
UNIT 4 LIVING	82.5 m²
UNIT 3 OOA LIVING	36.1 m²
FIRST FLOOR FOYER	30.4 m²
UNIT 4 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 2 BALCONY	17.3 m²
UNIT 1 BALCONY	15.1 m²
UNIT 3 BALCONY	8.4 m²
UNIT 7 LIVING	103.3 m²
UNIT 6 LIVING	96.4 m²
UNIT 5 LIVING	95.3 m²
SECOND FLOOR FOYER	30.2 m²
UNIT 7 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 6 BALCONY	17.2 m²
COMMUNAL MEETING ROOM	15.5 m²
UNIT 5 BALCONY	15.1 m²
UNIT 7 BALCONY	8.4 m²
UNIT 9 LIVING	96.4 m²
UNIT 8 LIVING	95.3 m²
UNIT 11 LIVING	82.5 m²
UNIT 10 OOA LIVING	36.1 m²
THIRD FLOOR FOYER	30.4 m²
UNIT 11 BALCONY	21.8 m²
STAIR-LIFT WELL	17.8 m²
UNIT 9 BALCONY	17.2 m²
UNIT 8 BALCONY	15.1 m²
UNIT 10 BALCONY	8.4 m²
AREA TOTAL	1717.7 m²

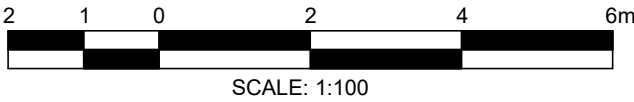
GENERAL NOTES

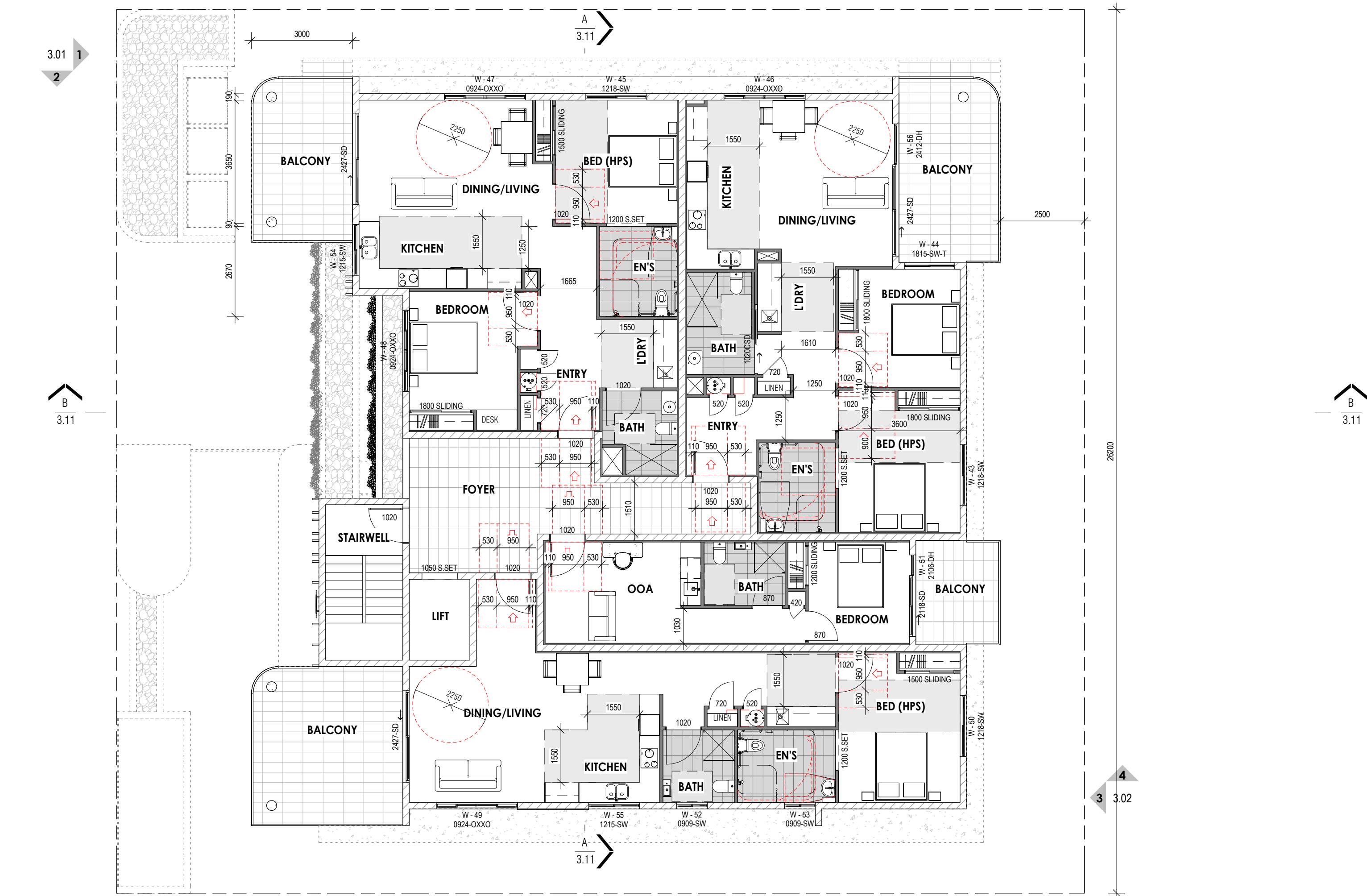
/ DIMENSIONS NOTED ARE FRAME TO FRAME
/ THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DWGS
/ FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
/ UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS.
/ ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL LOCATIONS TO OWNERS REQUIREMENTS.
/ ALL FULL HEIGHT WINDOWS TO HAVE NO TIMBER REVEAL TO SILL
/ SMOKE ALARM  CEILING MOUNTED
/ WATER CLOSET DOORS TO BE READILY REMOVABLE WHEN REQUIRED IN ACCORDANCE WITH PART HP10.4.2
/ REFER TO ENGINEERS DRAWINGS AND/OR BCA HPS 6.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.

LEGEND



1 2.04 - THIRD FLOOR PLAN
1:100





1 2.05 - THIRD FLOOR CIRCULATION PLAN

1 : 100

GENERAL NOTES

ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS.
/ ONLY A TYPICAL DESCRIPTION OF FINISHES ARE SHOWN. REFER TO BUILDING SPECIFICATION FOR FURTHER INFORMATION.
/ POWDERCOATED ALUMINUM JOINERY THROUGHOUT UNLESS NOTED OTHERWISE.
/ 600mm EAVES UNLESS NOMINATED OTHERWISE
/ REFER TO ENGINEERS DRAWINGS AND/OR BCA HP5.6.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.
/ FINISHED LEVELS ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE.

LEGEND



GENERAL NOTES

ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS.
/ ONLY A TYPICAL DESCRIPTION OF FINISHES ARE SHOWN. REFER TO BUILDING SPECIFICATION FOR FURTHER INFORMATION.
/ POWDERCOATED ALUMINUM JOINERY THROUGHOUT UNLESS NOTED OTHERWISE.
/ 600mm EAVES UNLESS NOMINATED OTHERWISE
/ REFER TO ENGINEERS DRAWINGS AND/OR BCA HP5.6.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.
/ FINISHED LEVELS ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE.

LEGEND



3 3.03 - WEST ELEVATION

1 : 100



4 3.04 - SOUTH ELEVATION

1 : 100

Project Address

Lot 1229, 137 Mangala Ct & Smith
Street
Larrakeyah NT 0820

Project Name

PROPOSED NEW 3 STOREY +
BASEMENT APARTMENT BUILDING

Client Name SKYCHEST PTY LTD

Rev

A 18.10.24
B 21.11.24
C 16.12.24
D 14.01.25

Description

CONCEPT
DA Documentation
Add room sizes
PARKING ALTERATION

Drawn

BJC
BJC
KRB
TP

Checked

JAZZ
JAZZ
JAZZ
JAZZ

Job Number

240184

Staged Plans

CONCEPT

Drawn by

TP

Checked by

JAZZ

Sheet 3.02

Revision D

Date

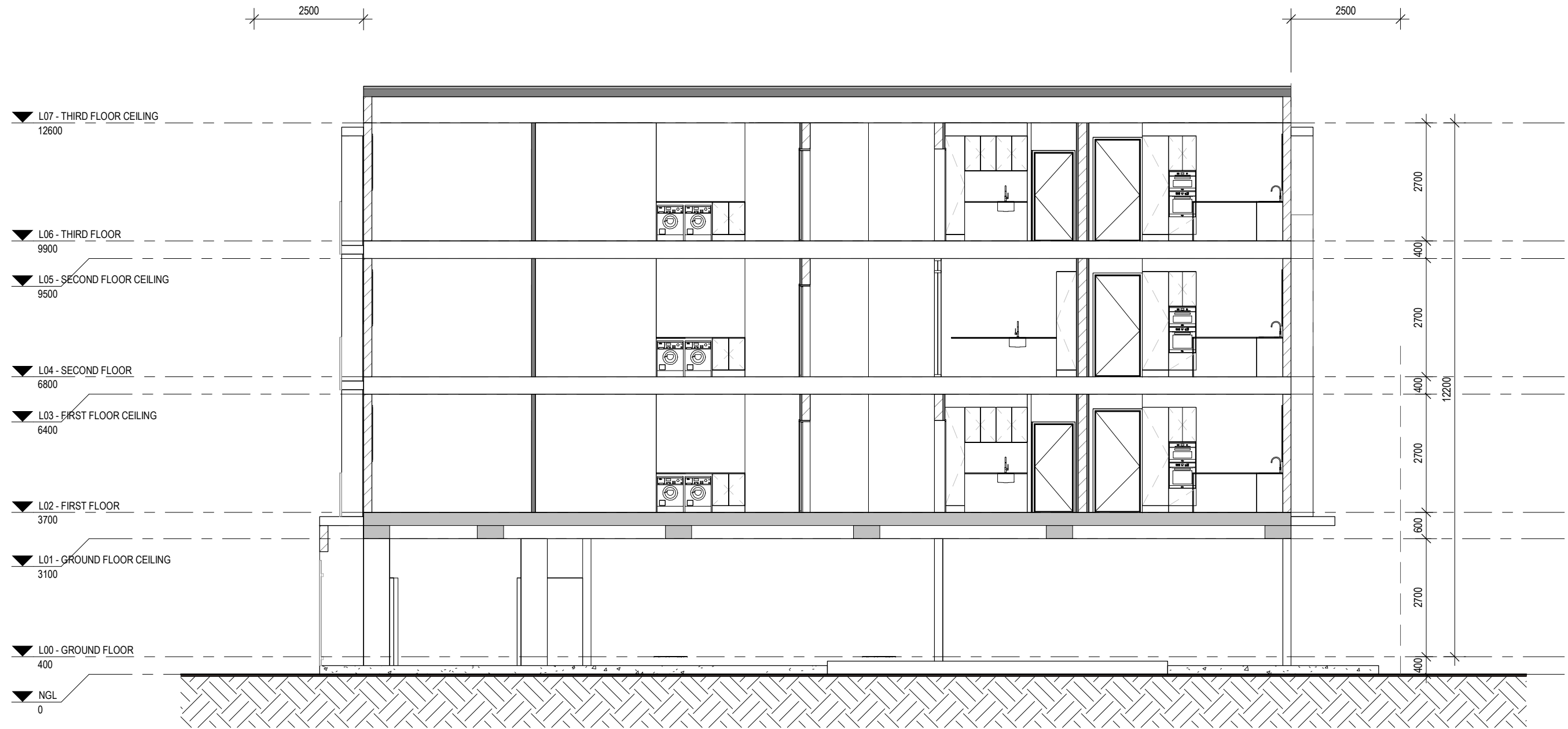
14.01.25

Scale 1 : 100

GENERAL NOTES

- / ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS.
- / ONLY A TYPICAL DESCRIPTION OF FINISHES ARE SHOWN. REFER TO BUILDING SPECIFICATION FOR FURTHER INFORMATION.
- / POWDERCOATED ALUMINUM JOINERY THROUGHOUT UNLESS NOTED OTHERWISE.
- / PROVIDE TERMITE BARRIER AS PER AS3660.1:2000
- / INTERNAL AND EXTERNAL TIMBER STUD WALLS TO BE 70mm THICK UNLESS NOTED OTHERWISE AND AT 600mm CTRS.
- / REFER TO ENGINEERS DRAWINGS AND/OR BCA HP5 6.8. FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS AS REQUIRED.
- / ALL STRUCTURAL DETAILS TO ENGINEER'S SPECIFICATIONS, TAKING PRECEDENCE OVER THESE PLANS.
- / FINISHED LEVELS ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE.
- / 10mm PLASTERBOARD INTERNAL WALL LININGS
- / 10mm PLASTERBOARD CEILING LININGS
- / 6mm VILABOARD INTERNAL WET AREA WALL LININGS
- / REFER TO ELEVATIONS FOR EXTENT OF EXTERNAL FINISHES
- / 450mm EAVES UNLESS NOMINATED OTHERWISE

LEGEND



A 3.11 - SECTION A-A

1 : 100



B 3.11 - SECTION B-B

1 : 100

Project Address

Lot 1229, 137 Mangala Ct & Smith Street
Larrakeyah NT 0820

Project Name

PROPOSED NEW 3 STOREY + BASEMENT APARTMENT BUILDING

Client Name SKYCHEST PTY LTD

Rev

A 18.10.24
B 21.11.24
C 16.12.24
D 14.01.25

Description

CONCEPT
DA Documentation
Add room sizes
PARKING ALTERATION

Drawn

BJC
BJC
KRB
TP

Checked

JAZZ
JAZZ
JAZZ
JAZZ

Job Number

240184

Staged Plans

CONCEPT

Drawn by

TP

Checked by

JAZZ

Sheet 3.11

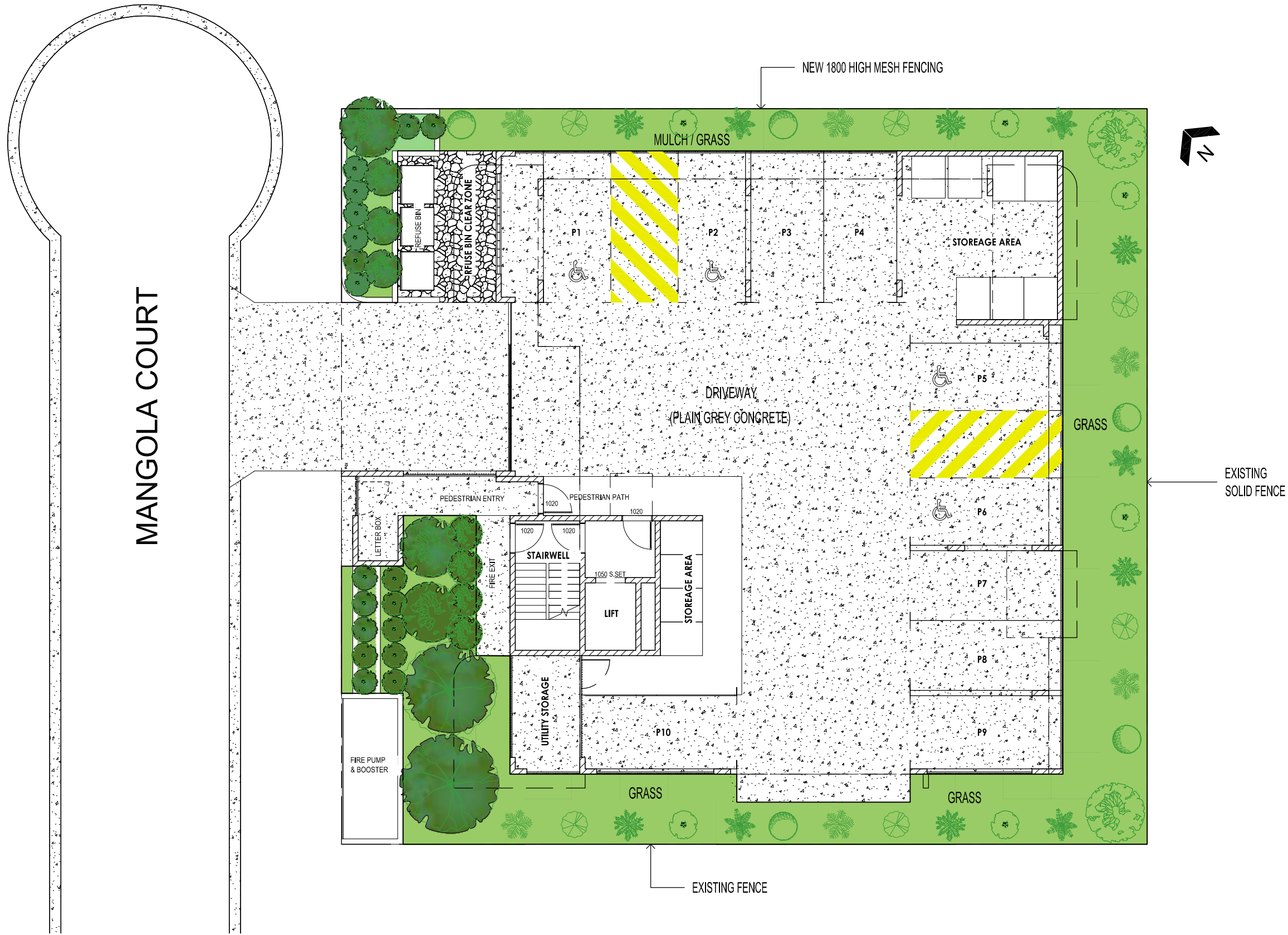
Revision D

Date

14.01.25

Scale

1 : 100



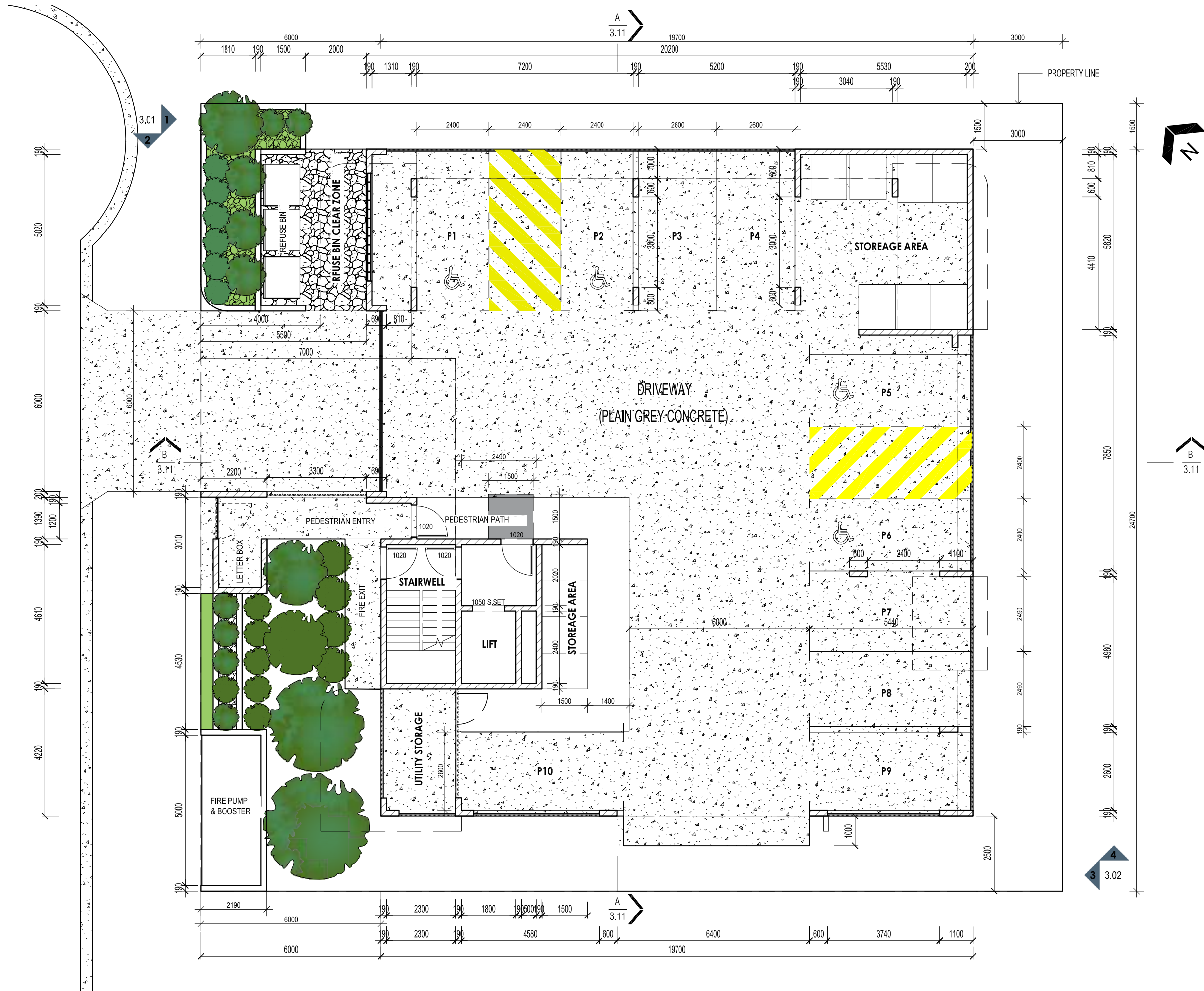
PLANTING LEGEND :

	SYMBOL	DESCRIPTION		SYMBOL	DESCRIPTION		SYMBOL	DESCRIPTION		SYMBOL	DESCRIPTION
		LARGE SHADE/ SCREEN TREES			MEDIUM SHADE/ SCREEN TREES			SMALL SHADE/ SCREEN TREES			SMALL SHRUBS
		LILLY PILLY			MURRAYA PANICULATA			HIBISCUS			PETUNIAS
		MIMISOPS ELENGI			CROTON			CODIAEUM "GOLDEN SHOWER"			DANIELLA
		SYZYGIVM AUSTRALE			GARDENIA			STAR JASMINE			LILIOPE
					CALLISTEMON CTRINUS						GOLDEN LEAF
											CYCAD

1 | **SITE LANDSCAPING PLAN**
Scale: 1: 150

PROJECT TITLE	PROPOSED 4-STOREY RESIDENTIAL CARE FACILITY BUILDING
LOCATION	LOT 1229 (8) MANGOLA CT LARRAKEYAH
SHEET CONTENTS	SITE LANDSCAPING PLAN
SHEET NUMBER	H273-LP1

COPYRIGHT THIS DOCUMENT REMAINS THE PROPERTY OF GOLDBOX AND IS ONLY TO BE USED FOR ITS COMMISSIONED PURPOSE IN ACCORDANCE WITH THE TERMS OF THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.



1 | GROUND FLOOR PLAN

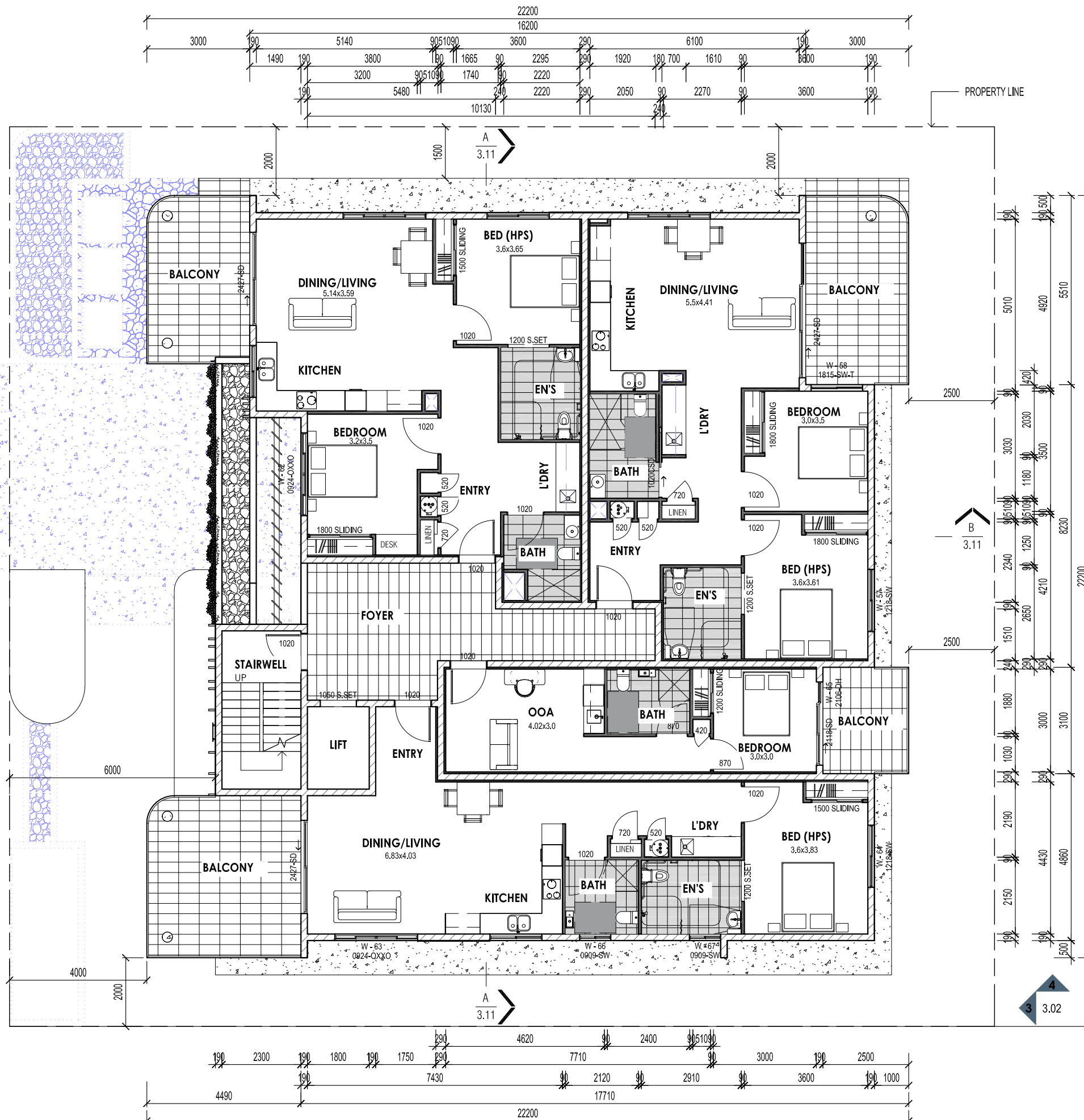
Scale: 1: 125

PROJECT TITLE
PROPOSED 4-STOREY
RESIDENTIAL CARE
FACILITY BUILDING

LOCATION
LOT 1229 (8) MANGOLA CT
LARRAKEYAH

SHEET CONTENTS
GROUND FLOOR PLAN

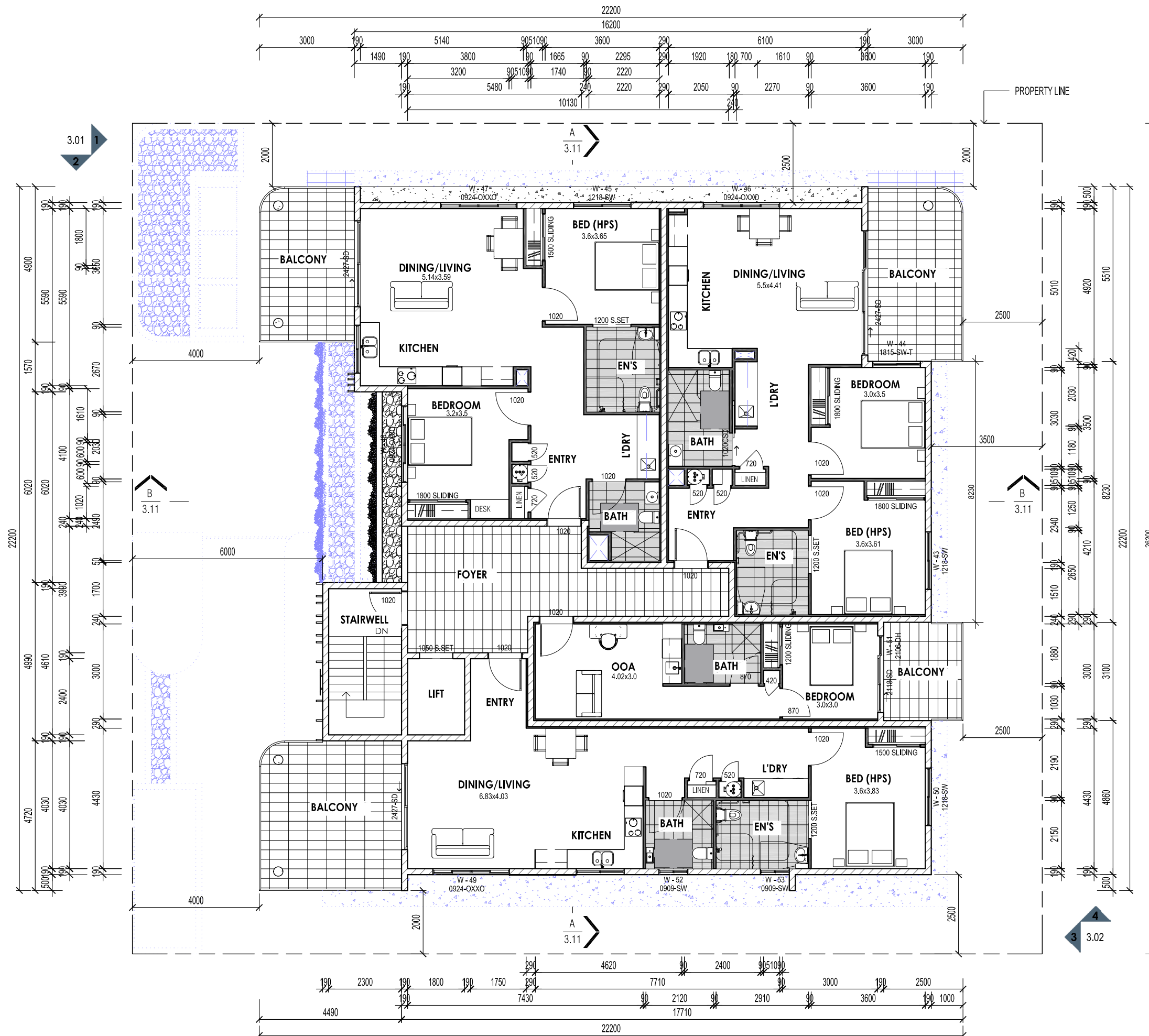
SHEET NUMBER
H273-A01



SHEET NUMBER
H273-A02

1 | FIRST FLOOR PLAN

Scale: 1: 125



1 | THIRD FLOOR PLAN

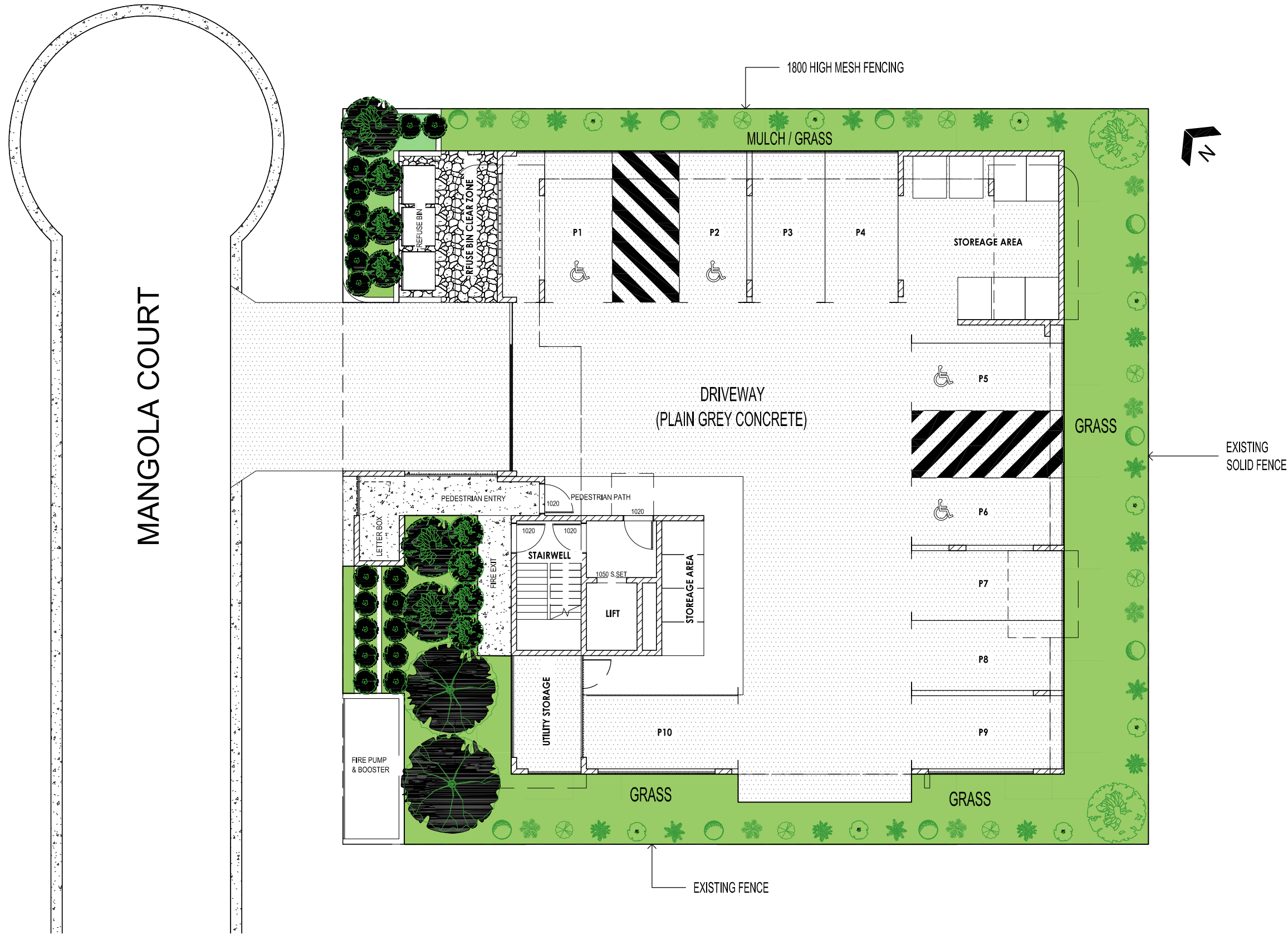
Scale: 1: 125

PROJECT TITLE
PROPOSED 4-STOREY
RESIDENTIAL CARE
FACILITY BUILDING

LOCATION
LOT 1229 (8) MANGOLA CT
LARRAKEYAH

SHEET CONTENTS
THIRD FLOOR PLAN

SHEET NUMBER
H273-A04



1 | SITE LANDSCAPING PLAN

Scale: 1: 150

PLANTING LEGEND :

	SYMBOL	DESCRIPTION		SYMBOL	DESCRIPTION		SYMBOL	DESCRIPTION		SYMBOL	DESCRIPTION
		LARGE SHADE/ SCREEN TREES			MEDIUM SHADE/ SCREEN TREES			SMALL SHADE/ SCREEN TREES			SMALL SHRUBS
		LILLY PILLY			MURRAYA PANICULATA			HIBISCUS			PETUNIAS
		MIMISOPS ELENGI			CROTON			CODIAEUM "GOLDEN SHOWER"			DANIELLA
		SYZYGIIUM AUSTRALE			GARDENIA			STAR JASMINE			LILIOPE
					CALLISTEMON CTRINUS						GOLDEN LEAF
											CYCAD

PROJECT TITLE
PROPOSED 3 STOREY
& BASEMENT
RESIDENTIAL BUILDING

LOCATION
LOT 1229 (8) MANGOLA CT
LARRAKEYAH

SHEET CONTENTS
SITE LANDSCAPING PLAN

SHEET CONTENTS
H273-LP1



























NOTICE OF PROPOSED DEVELOPMENT
REBRANDISHING CLONE: MIDWINTER LITERATURE

Project Name: Rebrandish Clone: Midwinter Literature
Project Location: 1234 Main Street, Suite 500, San Francisco, CA 94102
Project Description: A new development consisting of a 10-story office building and a 5-story residential building. The project is located on a 2.5-acre site in the downtown area of San Francisco. The development is expected to be completed in 2025.

For more information, please visit our website at www.rebrandishclone.com or contact us at (415) 555-1234.







COPYRIGHT THIS DOCUMENT REMAINS THE PROPERTY OF GOLDBOX AND IS ONLY TO BE USED FOR ITS COMMISSIONED PURPOSE IN ACCORDANCE WITH THE TERMS OF THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.

SITE DRAINAGE NOTES

THIS PLAN IS NOTIONAL DESIGN ONLY AND ACTUAL SITE LEVEL WERE NOT AVAILABLE. BUILDER TO VERIFY DESIGN ON SITE AND IF REQUIRED TO BE DESIGNED AND CERTIFIED BY A REGISTERED CIVIL ENGINEER. RUN OFF EROSION TO BE CONTROLLED BY EITHER PROVIDING APPROPRIATE MULCHING WHERE NECESSARY UNDER ROOF LINE WHERE PATHWAYS ARE LESS THAN 950 MM WIDE OR WIDENING CONCRETE PATHWAYS TO 1000 MM WIDE. MIN. OWNER TO SATISFY DESIGN APPROVING BODY WITH LANDSCAPING, SCREENING, STORMWATER TREATMENTS AND FENCING REQUIREMENTS.

DIVERSION DRAINS CAN BE USED TO DIRECT UP SLOPE WATER AROUND THE SITE, WHICH GREATLY REDUCES, SOIL EROSION AND SITE WETNESS. DIVERSION DRAINS SHOULD BE APPROXIMATELY 150 MM DEEP WITH CURVED SHAPED. THE CUT SOIL SHOULD BE DEPOSITED ON THE LOW SIDE OF THE TRENCH. THE DRAIN SHOULD BE STABILISED WITH GRASS, AGGREGATE OR MATTING TO SLOW THE VELOCITY OF THE WATER. DIVERTED WATER SHOULD BE DIRECTED ONTO A STABLE VEGETATED AREA FOR ABSORPTION OR TO A PROTECTIVE MEASURE SUCH AS GEOTEXTILE SEDIMENT FENCE. DIVERT UNCONTAMINATED STORMWATER AWAY FROM THE WORK AREA.

SWALE DRAINS ARE SHALLOW-SIDED, SLOPED CHANNELS INTENDED FOR THE CONVEYANCE OF SURFACE RUNOFF TOWARDS THE NEAREST STREET, LANE, DRY POND OR STORMWATER MANAGEMENT. SWALES CAN USE A VARIETY OF VEGETATION INCLUDING TURF, SEDGES AND TUFTED GRASSES.

REDUCE EROSION POTENTIAL ON SITE DURING BUILDING WORKS BY MINIMISING THE TIME THAT LAND IS LEFT IN AN EXPOSED, UNSTABLE CONDITION. EMPLOY SEDIMENT TRAPS AND DIVERT 'CLEAN' STORMWATER AROUND THE DISTURBED SITE.

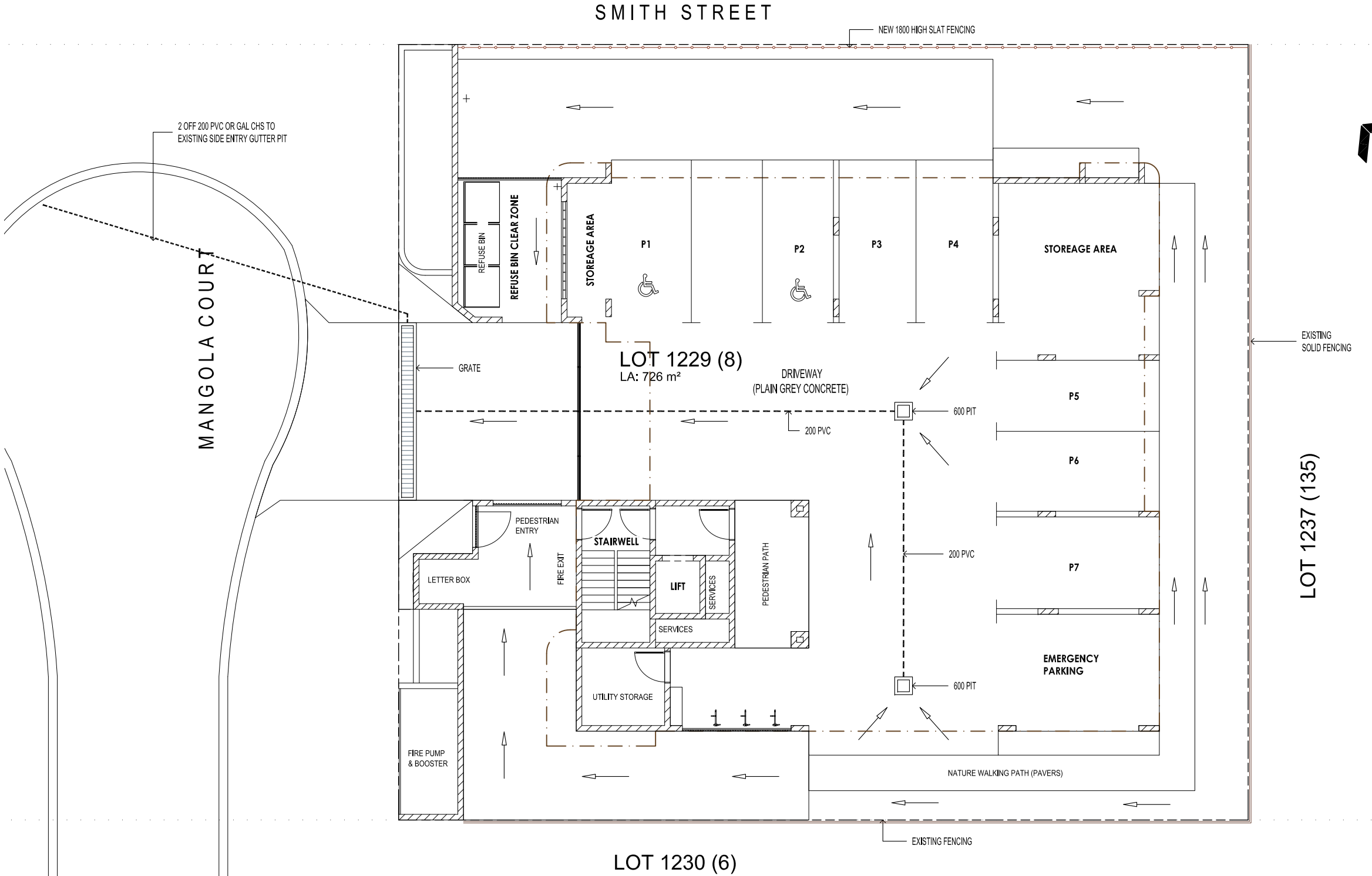
AVOID CUTTING AND FILLING ON YOUR BLOCK WHEN PREPARING THE BUILDING FOUNDATIONS. ATTEMPT TO MAINTAIN THE EXISTING TOPOGRAPHY AND DRAINAGE PATTERN. RETAIN VEGETATION, PARTICULARLY DEEP-ROOTED TREES. THESE LOWER THE WATER TABLE, BIND THE SOIL, FILTER NUTRIENTS, DECREASE RUN-OFF VELOCITIES, CAPTURE SEDIMENT AND REDUCE THE POTENTIAL FOR DRYLAND SALINITY.

DIVERTED STORMWATER SHOULD BE DISCHARGED ONTO STABLE AREAS AND SHOULD NOT BE DIVERTED INTO NEIGHBOURING PROPERTIES.DETAIN STORMWATER ON YOUR BLOCK WHERE PRACTICABLE THROUGH USE OF PERMEABLE PAVING, PEBBLE PATHS, INFILTRATION TRENCHES, SOAKWELLS, LAWN, GARDEN AREAS AND SWALES.

MINIMISE THE AREA OF IMPERVIOUS SURFACES SUCH AS PAVED AREAS, ROOFS AND CONCRETE DRIVEWAYS. GRADE IMPERVIOUS SURFACES, SUCH AS DRIVEWAYS, DURING CONSTRUCTION TO DRAIN TO VEGETATED AREAS.

DRAINAGE NOTES:

- STORMWATER FALLS AWAY FROM BUILDINGS;
- STORMWATER CONCENTRATION ON PROPERTIES OR RUN-OFF ONTO NEIGHBOURING PROPERTIES IS NOT PERMITTED
- PROVIDE HARD LANDSCAPE TREATMENTS SUCH AS PEBBLE MULCH AND ARE REQUIRED BELOW THE EAVES LINE TO MINIMISE SCOURING AND EROSION
- OVERLAND FLOW PATH DESIGN TO THE STREET SERVICES TO COMPLY WITH RELEVANT STANDARDS FOR OVERLAND FLOW AND STORMWATER DISPOSAL.



1 | SITE STORMWATER PLAN
Scale: 1: 150

REV 2 02/04/2025

PROJECT TITLE
PROPOSED 4-STOREY
RESIDENTIAL CARE
FACILITY BUILDING

LOCATION
LOT 1229 (8) MANGOLA CT
LARRAKEYAH

SHEET CONTENTS
SITE STORMWATER PLAN

SHEET NUMBER
H273-SP1

COPYRIGHT THIS DOCUMENT REMAINS THE PROPERTY OF GOLDBOX AND IS ONLY TO BE USED FOR ITS COMMISSIONED PURPOSE IN ACCORDANCE WITH THE TERMS OF THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.

SITE SEDIMENT AND EROSION CONTROL NOTES

THIS PLAN IS NOTIONAL DESIGN ONLY AND ACTUAL SITE LEVEL WERE NOT AVAILABLE. BUILDER TO VERIFY DESIGN ON SITE AND IF REQUIRED TO BE DESIGNED AND CERTIFIED BY A REGISTERED CIVIL ENGINEER.

STOCKPILES OF BUILDING MATERIALS SHOULD BE LOCATED AWAY FROM DRAINAGE PATHS AND UPHILL OF SEDIMENT BARRIERS. A BANK OR DIVERSION DRAIN MUST BE USED TO DIVERT RUNOFF AROUND STOCKPILES THAT ARE UNAVOIDABLY LOCATED IN DRAINAGE PATHS.

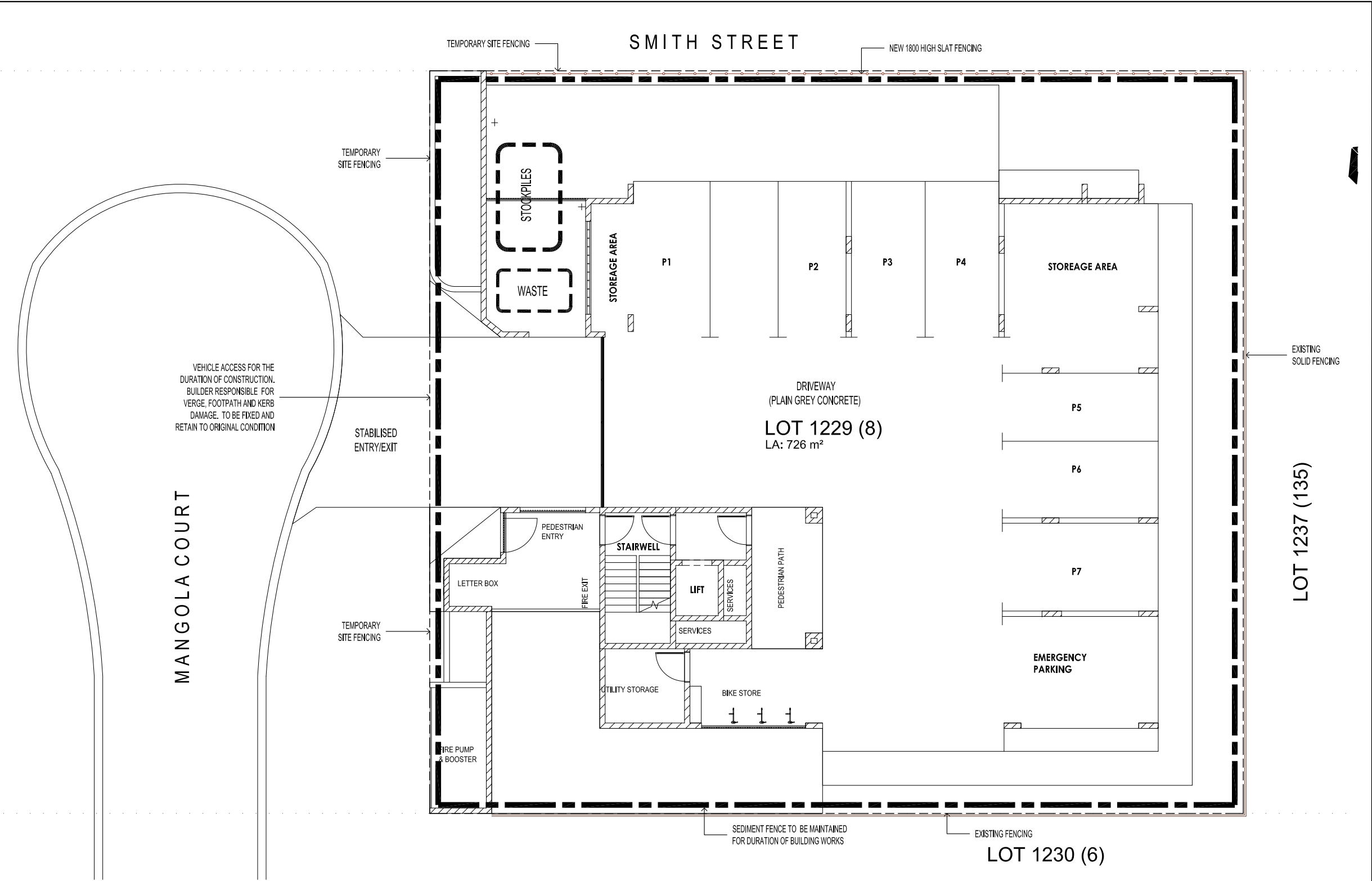
STABILISED ENTRY / EXIT - CONSTRUCT A SINGLE VEHICLE ENTRY / EXIT PAD TO MINIMISE TRACKING OF SEDIMENT ONTO ROADWAYS. A "RUMBLE PAD" SHOULD COMPRISE A 150 MM (MINIMUM) LAYER OF OF 40 MM RECYCLED AGGREGATE OR CRUSHED ROCKS. A RAISED HUMPS ACROSS ENTRY/EXIT PAD CAN BE USED TO DIRECT STORMWATER RUNOFF INTO A SEDIMENT FENCE TO THE SIDE OF THE PAD. THE LOCATION OF A RUMBLE PAD SHOULD PROTECT SERVICES LOCATED IN THE VERGE, PARTICULARLY IRRIGATION PIPES AND ELECTRICAL CABLE AND FOOTPATHS. CALL DIAL BEFORE YOU DIG TO DETERMINE THE LOCATION OF SERVICES.

WASTE MANAGEMENT - WASTE CONCRETE, PAINT AND OTHER SOLUTIONS USED ON SITE SHOULD BE PROPERLY DISPOSED OF SO THEY DO NOT CONTAMINATE STORMWATER.

SEDIMENT FENCES CAN TRAP COURSE SEDIMENT AT ALL POINTS WHERE STORM WATER LEAVES THE SITE, AND BEFORE IT CAN WASH INTO GUTTERS, DRAINS AND WATERWAYS. GEOTEXTILE FABRIC SEDIMENT FENCES ARE GENERALLY THE MOST EFFICIENT BARRIER FOR BUILDING SITES. SEDIMENT FENCES SHOULD BE INSTALLED DOWN SLOPE OF THE DISTURBED AREA USUALLY ALONG THE LOWEST SITE BOUNDARY WITH THE ENDS RETURNING UPHILL. SEDIMENT FENCES SHOULD BE INSPECTED AFTER STORMS AND ANY DEPOSITED SEDIMENT REMOVED. STOCKPILE EXTRA SEDIMENT FENCE ON SITE FOR EMERGENCY REPAIRS. SEDIMENT FENCES ARE TO BE LOCATED WITHIN PROPERTY BOUNDARIES FOR SAFETY REASONS.

ONGOING MAINTENANCE - REGULARLY SWEEP ADJACENT STREETS AND GUTTERS AND DO NOT HOSE THEM. ANY SEDIMENT SHOULD BE LOCATED ON SITE OR SUITABLY DISPOSED. ACCIDENTAL SPILLS OF OIL OR OTHER MATERIALS MUST BE REMOVED IMMEDIATELY. MAINTAIN KERBS AND VEGETATION IN HEALTHY STATE AS IT CAN FUNCTION AS AN ADDITIONAL FILTER FOR SEDIMENT. DO NOT USE NATURE STRIPS OR FOOTPATHS FOR PARKING OR STOCKPILING.

CONTAMINANTS MANAGEMENT - CONCRETE WASTE AND EQUIPMENT WASHING AND PAINT CLEAN -UP MUST BE UNDERTAKEN WITHIN A DEDICATED AREA. RESIDUE SHOULD BE ALLOWED TO DRY BEFORE DISPOSAL OCCURS. BRICK, TILE, OR MASONRY CUTTING SHOULD TAKE PLACE WITH THE USE OF EQUIPMENT THAT RECYCLES THE WATER, FILTERS DUST AND CONTAINS THE SLURRY. CUTTING SHOULD OCCUR ON A PERVIOUS SURFACE SURFACE SUCH AS GRASS SO THAT ANY CONTAMINANTS ARE PREVENTED FROM DISCHARGING INTO DRAINS.



1 | SITE VEHICLE ACCESS, CONSTRUCTION, WASTE AND STORAGE PLAN
Scale: 1: 150

CONSTRUCTION NOTES:

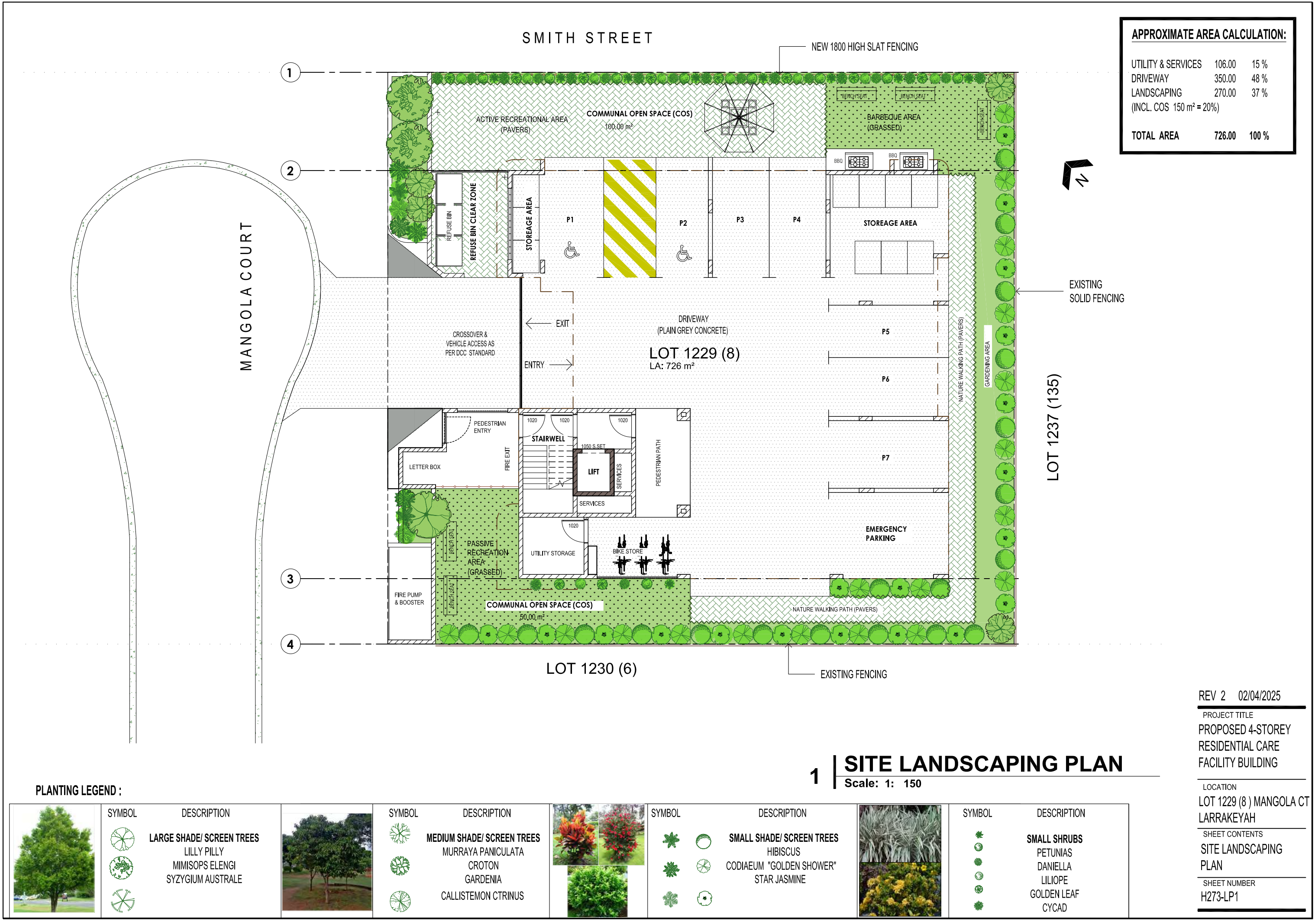
DILAPIDATION NOTE & STREET TREES:
EXISTING DARWIN CITY COUNCIL ROAD RESERVE AND PLANT TO REMAIN & WILL NOT BE IMPACTED DURING CONSTRUCTION

WASTE
THE FRONT OPEN SPACE AND PROPOSED INTERNAL DRIVEWAY AREA WILL BE USE FOR ALL BUILDING MATERIALS, EQUIPMENT, WASTE AND ANY OTHER RELATED CONSTRUCTION ITEMS.

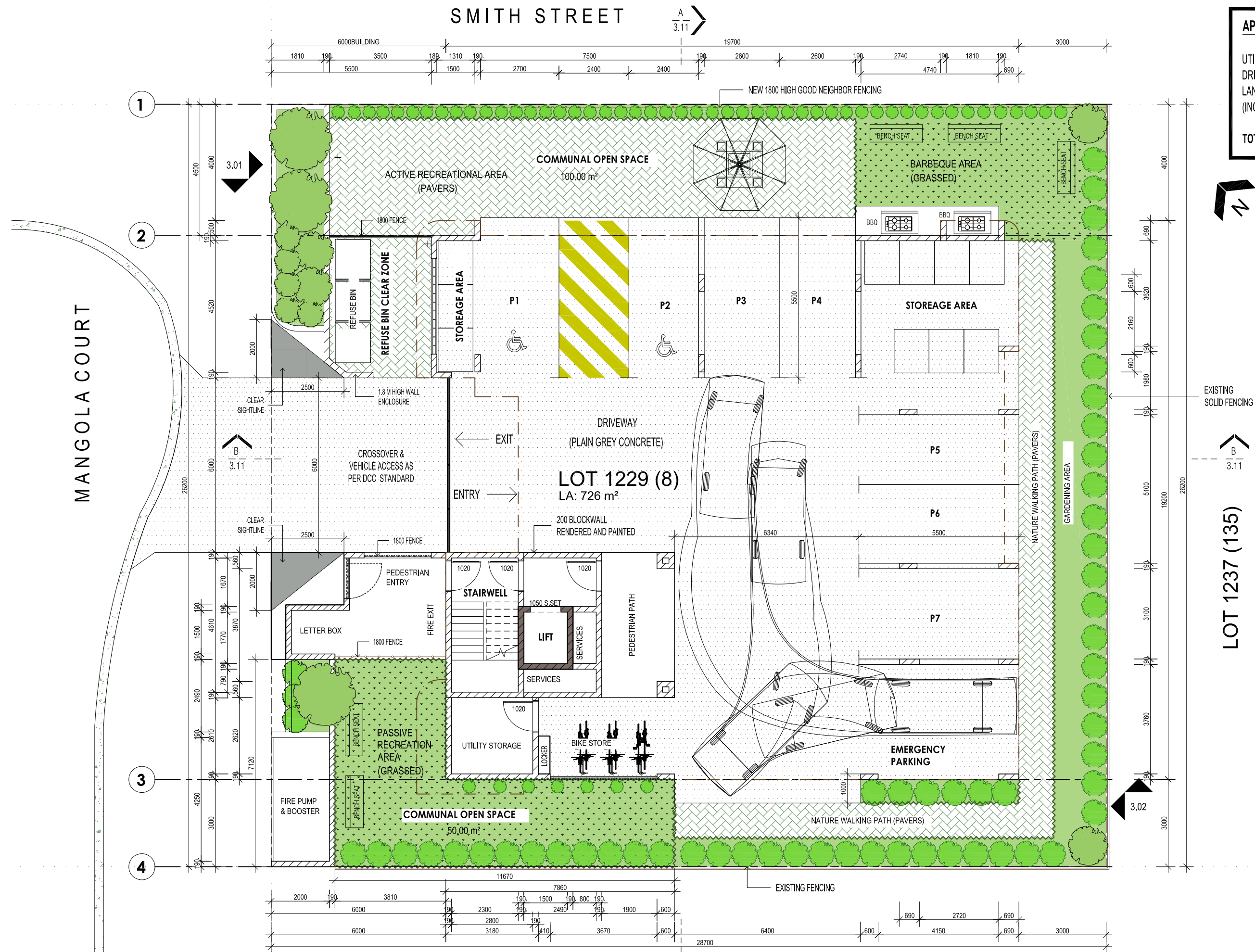
ALL CONSTRUCTION WORKS AND WASTE COLLECTION ARE WITHIN THE PROPERTY LINE. WASTE GENERATED BY THE CONSTRUCTION IWORKS WILL BE COLLECTED BY "WHITE BINS" COMPANY

BUILDING RUBBISH OR DEBRIS MUST NOT BE PLACED OR BE PERMITTED TO BE PLACED ON ANY ADJOINING PUBLIC RESERVE, FOOTPATH OR ROAD WITHOUT FIRST OBTAINING APPROVAL FROM DARWIN CITY COUNCIL

REV 2	02/04/2025
PROJECT TITLE	
PROPOSED 4-STOREY RESIDENTIAL CARE FACILITY BUILDING	
LOCATION	
LOT 1229 (8) MANGOLA CT LARRAKEYAH	
SHEET CONTENTS	
SITE CONSTRUCTION MANAGEMENT PLAN	
SHEET NUMBER	
H273-CM1	



COPYRIGHT THIS DOCUMENT REMAINS THE PROPERTY OF GOLDBOX AND IS ONLY TO BE USED FOR ITS COMMISSIONED PURPOSE IN ACCORDANCE WITH THE TERMS OF THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.



APPROXIMATE AREA CALCULATION:		
UTILITY & SERVICES	106.00	15 %
DRIVEWAY	350.00	48 %
LANDSCAPING	270.00	37 %
(INCL. COS 150 m² = 20%)		
TOTAL AREA	726.00	100 %



LOT 1237 (135)

REV 2 02/04/2025

PROJECT TITLE
PROPOSED 4-STOREY
RESIDENTIAL CARE
FACILITY BUILDING

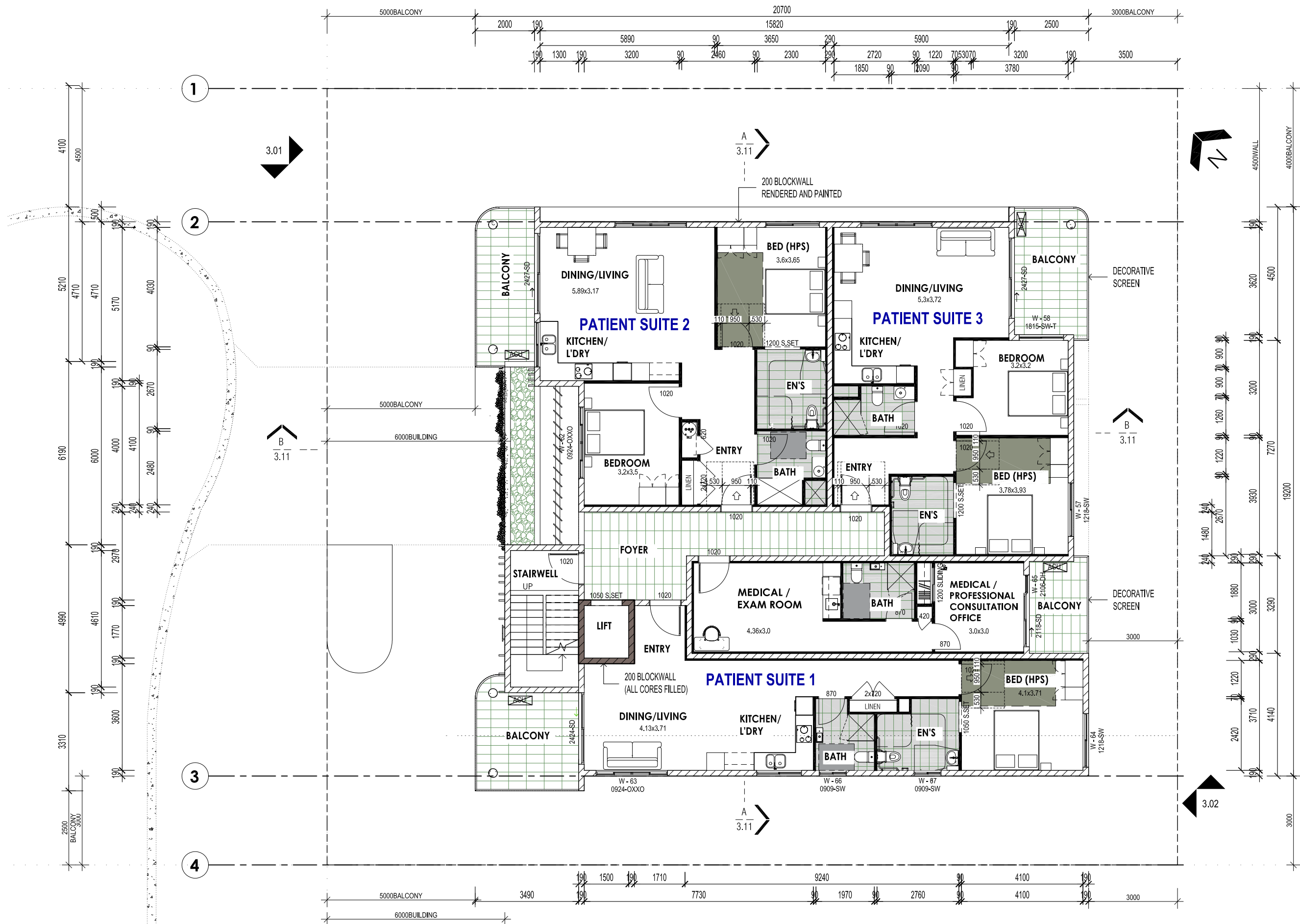
LOCATION
LOT 1229 (8) MANGOLA CT
LARRAKEYAH

SHEET CONTENTS
GROUND FLOOR PLAN

SHEET NUMBER
H273-A01

1 | **GROUND FLOOR PLAN**
Scale: 1: 125

COPYRIGHT THIS DOCUMENT REMAINS THE PROPERTY OF GOLDBOX AND IS ONLY TO BE USED FOR ITS COMMISSIONED PURPOSE IN ACCORDANCE WITH THE TERMS OF THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.



1 | FIRST FLOOR PLAN

Scale: 1: 125

REV 2 02/04/2025

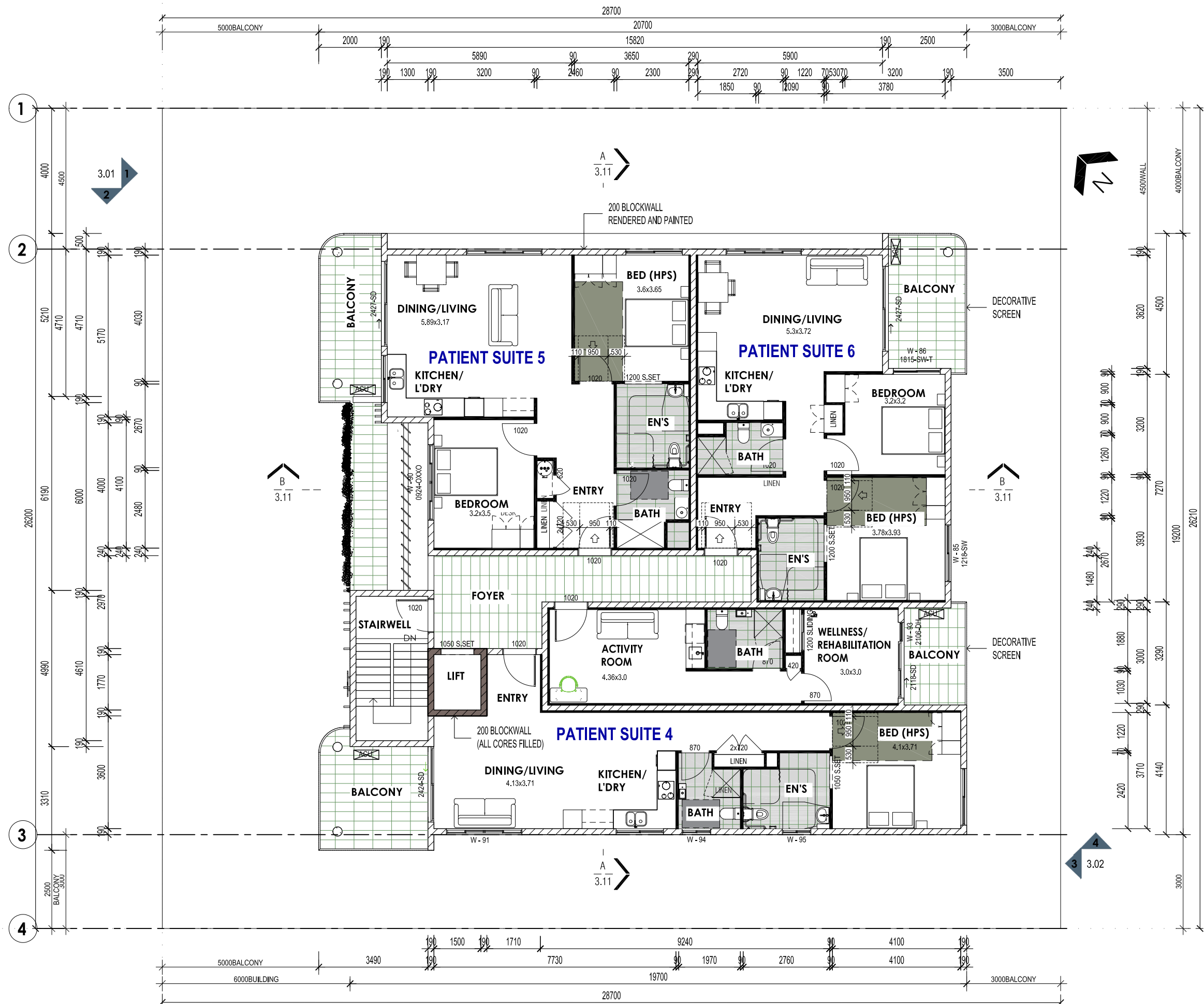
PROJECT TITLE
PROPOSED 4-STOREY
RESIDENTIAL CARE
FACILITY BUILDING

LOCATION
LOT 1229 (8) MANGOLA CT
LARRAKEYAH

SHEET CONTENTS
FIRST FLOOR PLAN

SHEET NUMBER
H273-A02

COPYRIGHT THIS DOCUMENT REMAINS THE PROPERTY OF GOLDBOX AND IS ONLY TO BE USED FOR ITS COMMISSIONED PURPOSE IN ACCORDANCE WITH THE TERMS OF THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.



1 SECOND FLOOR PLAN

Scale: 1: 125

REV 2 02/04/2025

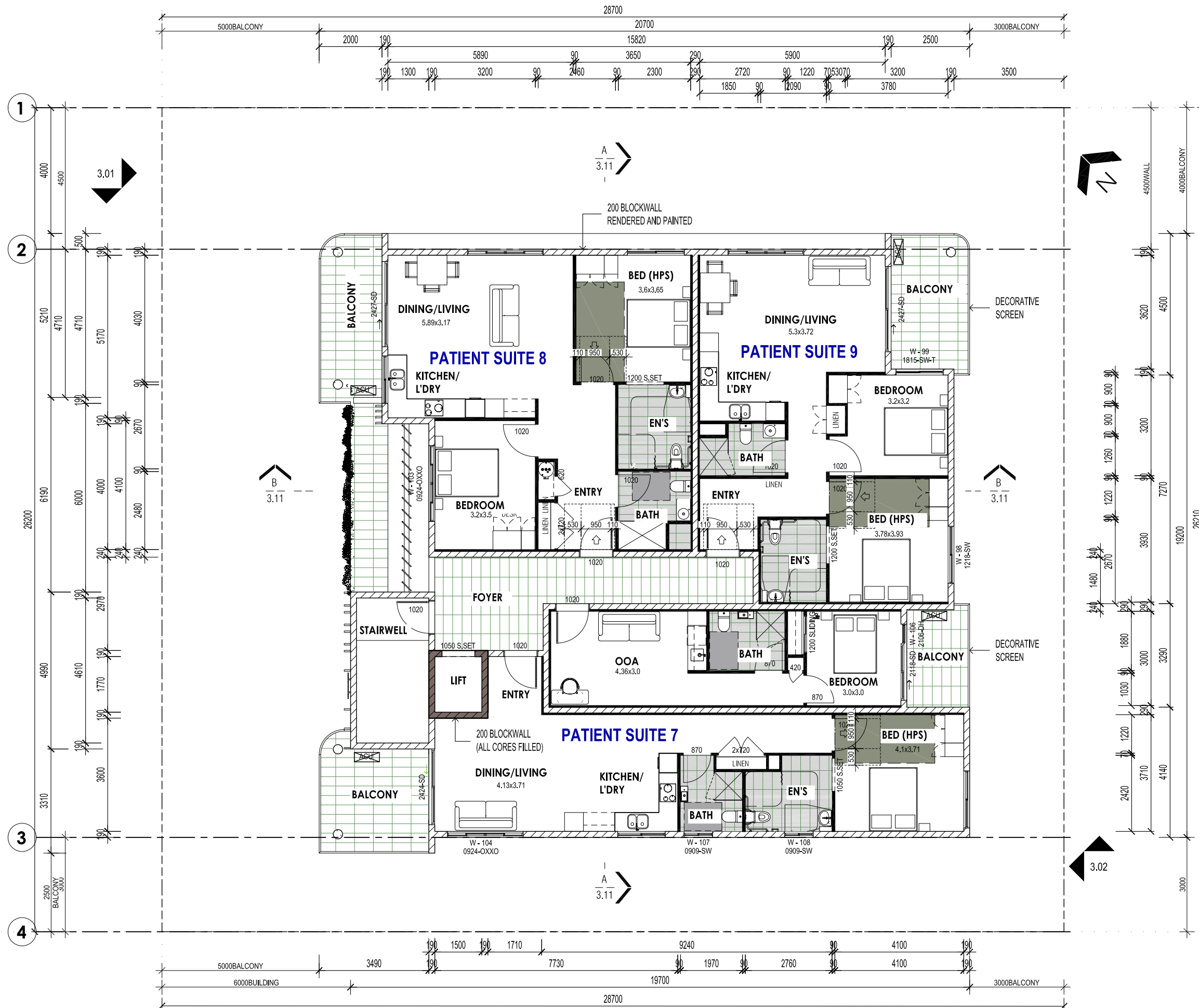
PROJECT TITLE
PROPOSED 4-STOREY
RESIDENTIAL CARE
FACILITY BUILDING

LOCATION
LOT 1229 (8) MANGOLA CT
LARRAKEYAH

SHEET CONTENTS
FIRST FLOOR PLAN

SHEET NUMBER
H273-A03

COPYRIGHT THIS DOCUMENT REMAINS THE PROPERTY OF GOLDBOX AND IS ONLY TO BE USED FOR ITS COMMISSIONED PURPOSE IN ACCORDANCE WITH THE TERMS OF THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.



1 | THIRD FLOOR PLAN

Scale: 1: 125

REV 2 02/04/2025

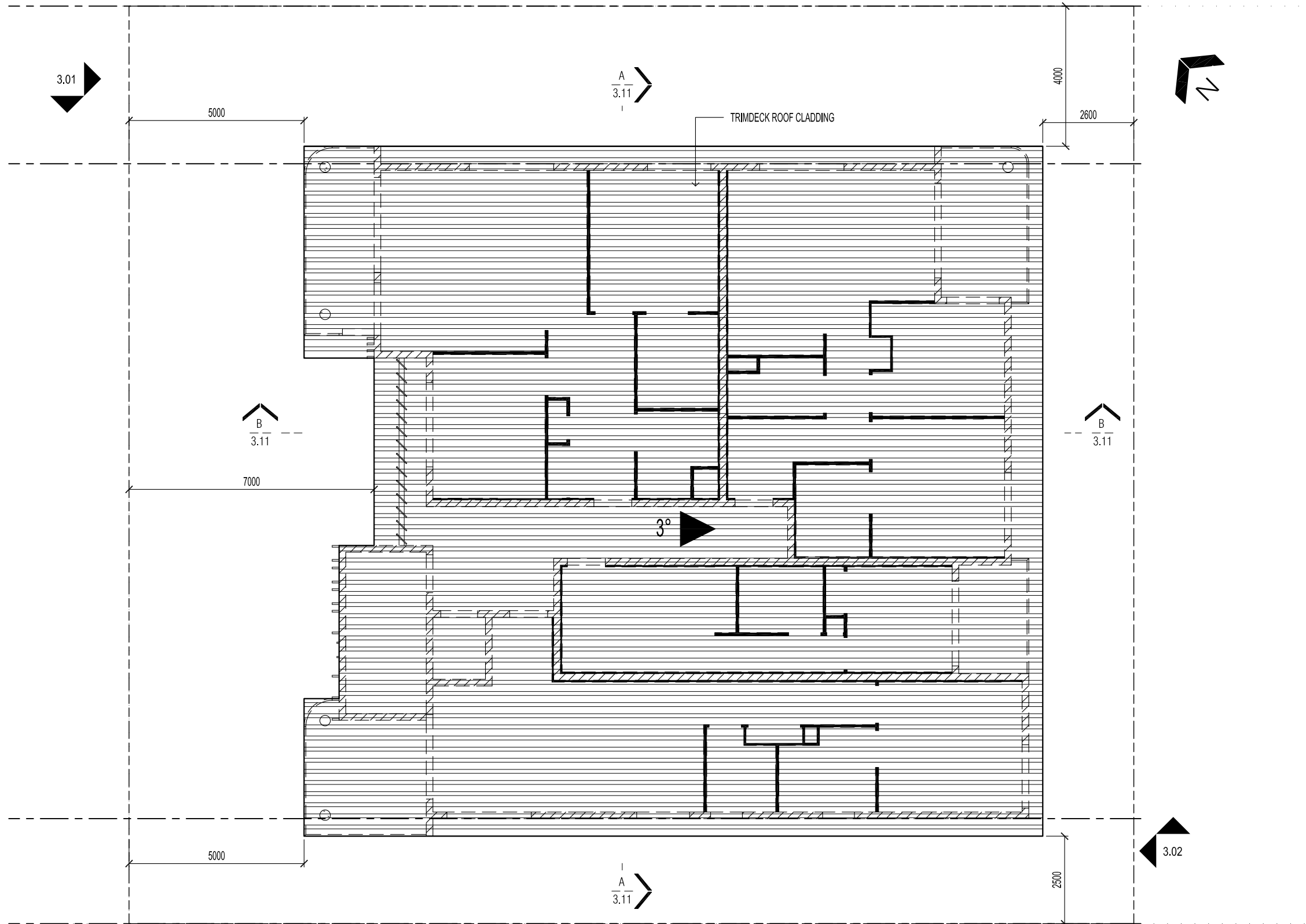
PROJECT TITLE
PROPOSED 4-STOREY
RESIDENTIAL CARE
FACILITY BUILDING

LOCATION
LOT 1229 (8) MANGOLA CT
LARRAKEYAH

SHEET CONTENTS
THIRD FLOOR PLAN

SHEET NUMBER
H273-A04

COPYRIGHT THIS DOCUMENT REMAINS THE PROPERTY OF GOLDBOX AND IS ONLY TO BE USED FOR ITS COMMISSIONED PURPOSE IN ACCORDANCE WITH THE TERMS OF THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.



1 | ROOF PLAN

Scale: 1: 125

REV 2 02/04/2025

PROJECT TITLE
PROPOSED 4-STOREY
RESIDENTIAL CARE
FACILITY BUILDING

LOCATION
LOT 1229 (8) MANGOLA CT
LARRAKEYAH

SHEET CONTENTS
ROOF PLAN

SHEET NUMBER
H273-A05

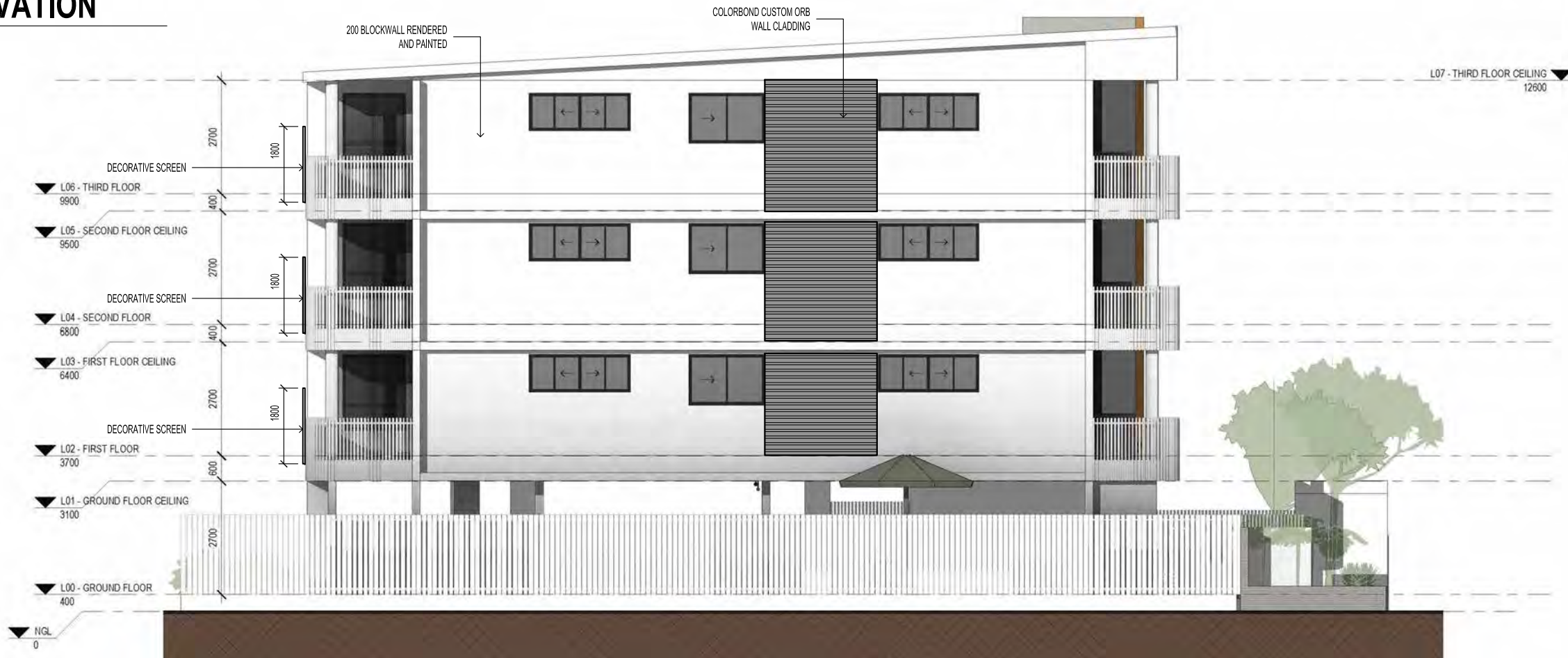
COPYRIGHT THIS DOCUMENT REMAINS THE PROPERTY OF GOLDBOX AND IS ONLY TO BE USED FOR ITS COMMISSIONED PURPOSE IN ACCORDANCE WITH THE TERMS OF THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.



MATERIALS AND COLOURS SCHEDULE	
DESCRIPTION	COLOUR /FINISH
MAIN WALL - 200 BLOCKWALL	SURFMIST
FEATURE WALL	TILE FINISH
SCREENS	BASALT
FENCE & GATES	BLACK
FASCIA	SURFMIST
CUSTOM ORB WALL CLADDING	BASALT
CUSTOM ORB ROOF CLADDING	SURFMIST
STEEL BALUSTRADES	BASALT
WINDOW FRAMES	BLACK

1 | 3.01 - WEST ELEVATION

Scale: 1: 125



2 | 3.02 - NORTH ELEVATION

Scale: 1: 125

REV 2 02/04/2025

PROJECT TITLE
PROPOSED 4-STOREY
RESIDENTIAL CARE
FACILITY BUILDING

LOCATION
LOT 1229 (8) MANGOLA CT
LARRAKEYAH

SHEET CONTENTS
ELEVATIONS

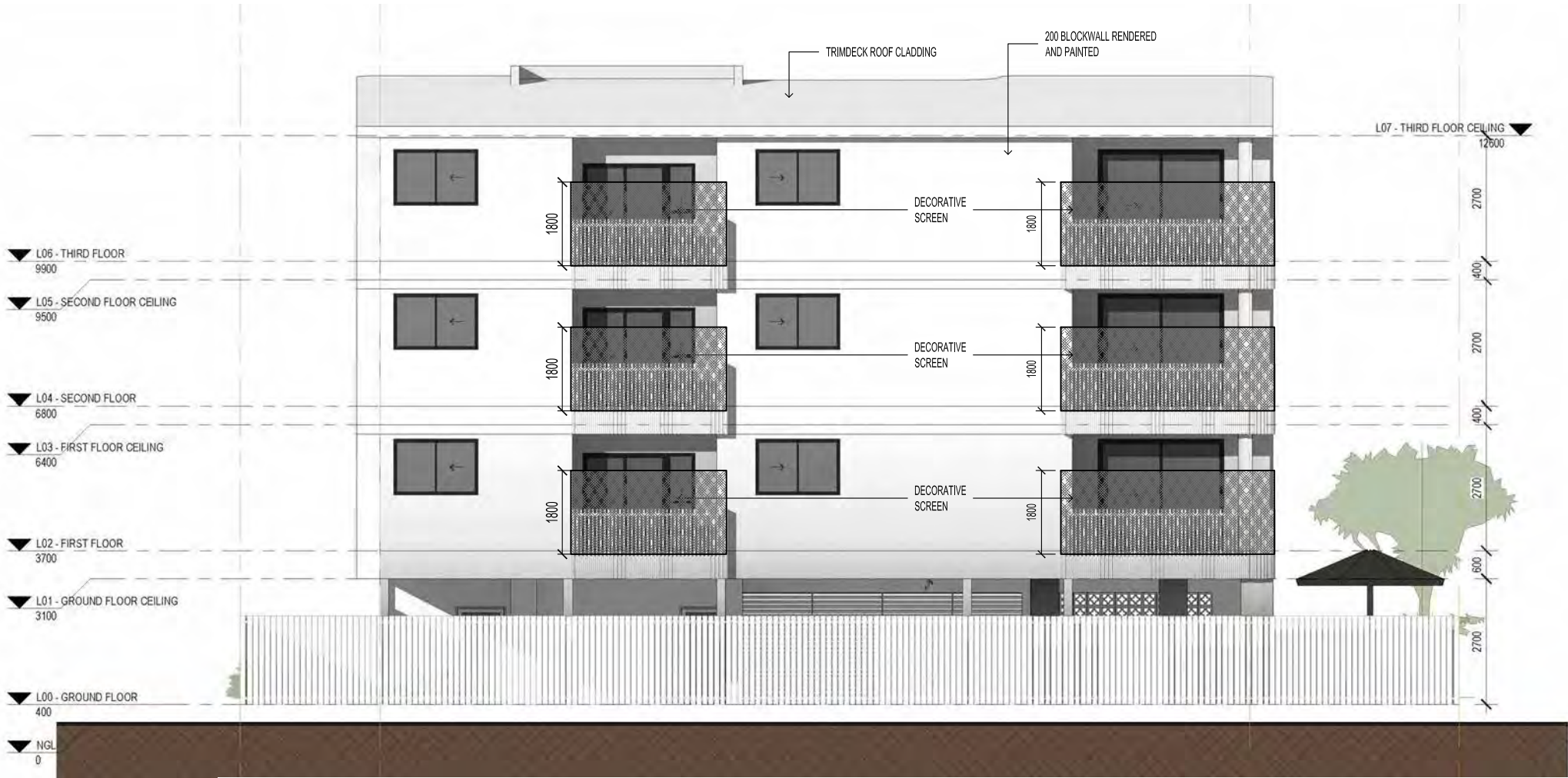
SHEET NUMBER
H273-A06

COPYRIGHT THIS DOCUMENT REMAINS THE PROPERTY OF GOLDBOX AND IS ONLY TO BE USED FOR ITS COMMISSIONED PURPOSE IN ACCORDANCE WITH THE TERMS OF THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.

3

3.03 - EAST ELEVATION

Scale: 1: 125



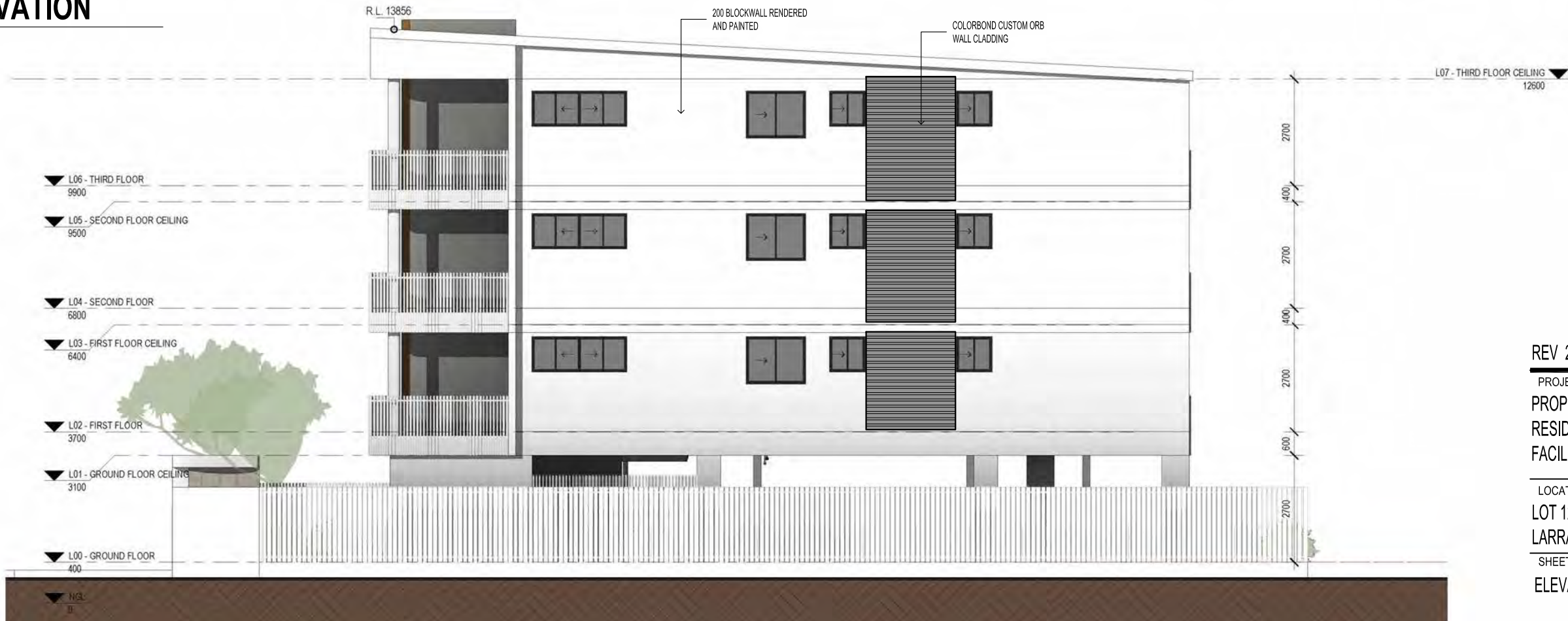
MATERIALS AND COLOURS SCHEDULE

DESCRIPTION	COLOUR /FINISH
MAIN WALL - 200 BLOCKWALL	SURFMIST
FEATURE WALL	TILE FINISH
SCREENS	BASALT
FENCE & GATES	BLACK
FASCIA	SURFMIST
CUSTOM ORB WALL CLADDING	BASALT
CUSTOM ORB ROOF CLADDING	SURFMIST
STEEL BALUSTRADES	BASALT
WINDOW FRAMES	BLACK

2

3.04 - SOUTH ELEVATION

Scale: 1: 125



REV 2 02/04/2025

PROJECT TITLE
PROPOSED 4-STOREY
RESIDENTIAL CARE
FACILITY BUILDING

LOCATION
LOT 1229 (8) MANGOLA CT
LARRAKEYAH

SHEET CONTENTS
ELEVATIONS

SHEET NUMBER
H273-A07



02 April 2025

Development Consent Authority
GPO Box 1680
Darwin NT 0801

**Address: Lot 1229 (8) Mangola Court Larrakeyah
Town of Darwin**

Introduction

Goldbox has been engaged on behalf of the owner of the property to prepare a development application for the purpose of **Residential Care Facility** in a **4-storey building** on land zoned HR (High Density Residential). The proposed Development Permit seeks consent for a Residential Care Facility for participants who need High Physical Support (**HPS**) to deliver more variation of land use and provide supervised living via a NDIS standard compliance design. It includes accommodation and personal care 24 hours a day, as well as access to nursing and general health care services.

Details of the Proposal

This application is for the construction of Residential Care Facility in a four-storey building including ground floor parking, fencing and communal open space with landscaping. The proposal also indicates an allocated area for on-site parking and services. A new 6-metre-wide sealed access road will be constructed to allow vehicle access to the facility. Fencing, Planting and landscaping will be provided to common areas to provide screening and privacy. Underground stormwater drainage will be appropriately provided throughout the lot to prevent water flow into neighbouring blocks and other Lots. Other items included in this proposal are enclosed fire rated stairway, elevator, new bin enclosure, letterboxes, storage areas and services enclosure to be located at the entry point of the property.

The proposed development is for a residential care facility. The open plan design of each suites creates a sense of space with sufficient ventilation. Internally the building will be divided into separate stand-alone living spaces with bedrooms, an overnight office/accommodation space for **OOA** for carers. There will also be support rooms for visiting medical practitioners, wellness consultants and therapists. The ground level has common area facilities including utility storage, bike storage, carparking with emergency parking and landscaped communal open space for recreational activities, together making a care facility in use and functionality.

From the Planning Scheme - "Residential Care Facility" is defined as - the use of premises for supervised accommodation where the use integrates: (a) rehabilitation; and/or (b) medical; and/or (c) other support. The definition of **High Physical Support (HPS)** (as per NDIS Specialist Disability Accommodation Design Standard Edition 1.1 Issue Date 25th October 2019) is housing that has been designed to incorporate a high level of physical access provision for people with significant physical impairment and requiring very high levels of support.

The proposed development meets these requirements in that a Residential Care Facility is defined as the use of premises for supervised accommodation where the use integrates various types of support. It is important to note the design includes separate self-contained rooms, this is to support and allow individuals to commence a new self-managed and independent life in the future. It is a critical component of the design, noting initially each participant is not independent they are HPS participants and require constant care (be it physical wheelchair, or mental) The integration typically involves:

a. Rehabilitation

The facility provides a structured environment to support individuals in their rehabilitation efforts. This can include services and activities aimed at restoring or improving physical, mental, or social functioning. A carer lives on site 24/7 on a rotation basis. The carer is qualified to provide the necessary care and attention needed to achieve support for each participant. In addition, the participants are supported by all other allied health agencies. Rehabilitation also involves multiple health professionals including doctors, physiotherapists, occupational therapists, speech therapists, psychologists, and others, tailored to the individual's specific needs and goals. The development includes rooms large enough for support teams to conduct care within the privacy of the participants own unit (which can be used by professionals to support these activities) and includes a communal open space for group activities. It also includes different areas within the development to further promote these functions, an activity and rehabilitation room for any form of activities (stretching, strengthening exercise area etc). To assist with individual movements each bedroom has structural roof supports to enable a hoist to be installed to assist the carers or professional health providers to move the participant from the bed to chair / ablutions etc. The communal open space provides recreational activities for physical and mental rehabilitation.

b. Medical

A medical exam room and consultation office is provided for medical support within the facility which involves the provision of healthcare services and assistance to residents. It could encompass on-site medical care, access to healthcare professionals, and coordination of medical services as needed. It is also available to drive the participants to the health care provider in a minibus and would more than likely involve all 3 participants simultaneously, reducing the traffic flow to the neighbours.

c. Other Support

Beyond rehabilitation and medical care, the facility offers additional forms of support. This might include social support, assistance with daily activities, counselling, and other services aimed at enhancing the well-being and overall quality of life for residents. The clear aim is to provide the residents with an “out” a way to live on their own, teach and provide them confidence to prepare their own meals, wash themselves, do their own laundry, maintain the unit, entertain guests and family and do all this in a semi-independent environment. (ie still watched initially, slowly reducing the supervision until both care and resident are confident to live on their own). The location is critical (within suburbia) to allow integration with neighbours, make friends with neighbours, be invited to their house next door, not be in an environment where next door is another NDIS participant.

In essence, a Residential Care Facility is a specialized living arrangement that goes beyond basic accommodation. It is designed to cater to the specific needs of residents by providing a holistic and supportive environment that integrates rehabilitation, medical care, and other forms of support based on the individual requirements of the residents. It provides accommodation and helps with day-to-day tasks — such as cleaning, cooking and laundry; personal care — such as bathing, dressing and going to the toilet; access to health practitioner services, clinical care and therapies other services — such as social and emotional support, recreation and entertainment.

Property information & Zoning

This application seeks a development permit for new Residential Care Facility at Larrakeyah. The vacant lot is relatively flat and has some existing vegetation. The total area of the property is 726 sqm. There are no easements identified. The site is bounded by a single street frontage Mangola Courtt on the western side of the property. The site is also bounded by Smith Street at the northern side, Lot 1230 at the southern side and Lot 1237 at the eastern side of the property. The land is suitable for the purpose of the development and has neighbouring developments of similar type and scale. The property is zoned HR (High Density Residential) in accordance with NT Planning Scheme. The proposed development for Residential Care Facility in this zone is Impact assessable, therefore the proposed development requires consent pursuant to clause 1.8 (1)(b)(c) and thus a development permit is required pursuant to Section 44(a) of the Northern Territory Planning Act 1999.

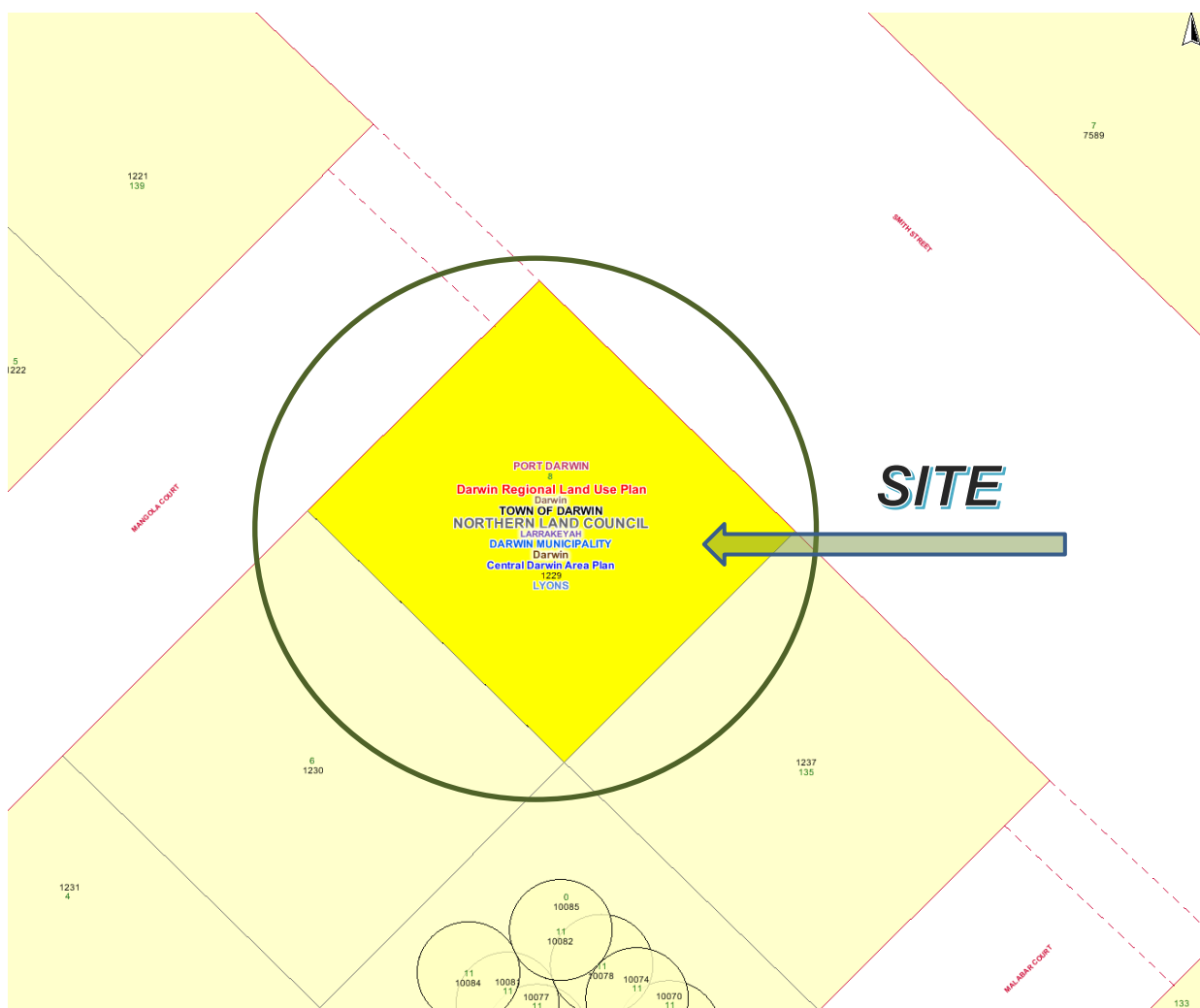


Figure 1: Aerial Map Figure from NT Atlas and Spatial Data Directory



Figure 2: Google map showing existing site

Zone HR – High Density Residential

Zone Purpose

Provide for a range of high-rise housing options close to activity centres, public transport, open space and community facilities, where reticulated services can support high density residential development.

Zone Outcomes

1. High density residential developments generally not exceeding eight **storeys** in height that maximise the utilisation of the reticulated services and the development potential of the **site**.
2. **Home based businesses** and **dwelling-community residence** are conducted in a manner consistent with residential **amenity**.
3. **Hotel/motels, residential care facilities** and **rooming accommodation** are operated in a manner that is compatible with the **amenity** associated with high density residential development.
4. Non-residential activities, such as **education establishment, leisure and recreation, medical clinic, place of worship, and restaurant**:
 - (a) are integrated with residential uses;
 - (b) avoid adverse impacts on the local road networks;
 - (c) are managed to minimise unreasonable impacts to the **amenity** of surrounding residents; and
 - (d) are of a scale, intensity and nature that reflects the predominantly residential character of the zone.
5. Development integrates with walking, cycling and public transport networks to promote accessibility and use.
6. Innovative building design, **site** layout and landscaping that:
 - (a) responds to microclimates, including breeze flow;
 - (b) minimises privacy and overlooking impacts;
 - (c) reduces the appearance of building mass relative to its surroundings; and
 - (d) creates attractive outdoor spaces and enhances the streetscape.
7. An efficient pattern of land use with all lots connected to reticulated services, integrated with existing transport networks and with convenient **access** to open space, community and educational facilities.

The land is zoned HR and therefore subject to all the relevant clauses of the NT Planning Scheme 2020 that apply for the land within zone HR (High Density Residential). The proposed development is consistent with the primary purpose which is to provide for a range of high-rise housing options close to activity centres, public transport, open space and community facilities, where reticulated services can support high density residential development.

The proposed development is also consistent with zone outcomes. The height requirements is only 4 storeys. The proposed development is operated in a manner that is compatible with the amenity associated with high density residential development. Existing buildings at Mangola Court comprises of mix of high-density residential dwellings at varying heights and densities, the lots immediately adjacent to the subject lot of this application are mostly also zoned HR. Therefore, the proposed development is unlikely to impact other land.

The proposed development is also conveniently located directly across the street from a park and within a few kilometres from the Cullen Bay Marina, Mindil Beach, schools, medical centres and shops. The Site is conveniently serviced by public transport and is located near a major arterial road being Smith Street and Mitchell Street.

The character, architectural style and scale of the proposed development is consistent with the existing developments in immediately adjacent lots. The design, size and design of the proposed building is consistent and compatible with the surrounding area ensuring the development does not unduly affect adjoining or nearby allotments by blocking of breeze paths or natural light. The provision of building projections such as the balconies coupled with the varied use of building materials and finishes (metal balustrading, rendered external walls, wall tile features, and circular columns etc.) also minimises the any potential massing or visual bulk. The balconies facing adjoining properties are provided with 1.8-meter-high decorative screen to avoid overlooking.

Overlays & Strategic Framework

There are no overlays applicable to the site. The Darwin Regional Land Use Plan applies to the land.

STATEMENT OF EFFECT

46(3)(a) an assessment demonstrating how the proposed development will comply with any planning scheme that applies to the land;

Development Requirements

Clause 5.2.1 – General Height Control

The proposed development has an approximately maximum heights of 13.752 meters measured from ground level to the apex of the roof. The proposed development is a 3-storey plus basement building.

Complies.

Clause 5.2.4 Car Parking

Clause 5.2.4.1 Car Parking Spaces

Purpose

Ensure that sufficient off-street car parking, constructed to a standard and conveniently located, are provided to service the proposed use of a site.

Administration

1. This clause does not apply where alternative car parking space requirements are established under clause 5.9 (Location specific development requirements).

2. The consent authority may consent to a use or development that is not in accordance with sub-clause 4 if it is satisfied a reduction of the number of car parking spaces is appropriate with regard to: (a) the zoning of the land, the use or development or proposed use or development of the land, and the possible future use or development of the land;

(b) the provision of car parking spaces in the vicinity of the land;

(c) the availability of public transport in the vicinity of the land; and

(d) the potential impact on the surrounding road network and the amenity of the locality and adjoining property; or if the use or development relates to a heritage place and the Minister responsible for the administration of the Heritage Act 2011 supports the Northern Territory Planning Scheme 2020 Part 5-5 reduced provision of car parking spaces in the interest of preserving the significance of the heritage place.

3. The consent authority may require the provision of car parking spaces for any ancillary use or development in addition to that specified for the primary use or development in the table to this clause.

Requirements

4. Use and development is to include the minimum number of car parking spaces specified in the table to this clause (rounded up to the next whole number).

Table Clause 5.2.4.1: Minimum number of required parking spaces	
Use or Development	Minimum Number of Car Parking Spaces Required
Residential care facility	1 for every 4 beds Plus 4 for every 100m ² of net floor area used for administrative purposes

The NT Planning scheme specifications for carparking for a residential care facility includes:

1. One carpark per 4 beds – proposed plan includes 18 beds = 4.5 car parking
2. Four carparks per 100m² of administrative area – the proposed plan shows office/administrative area of 60m² = 2.5 car parking

The proposed design includes 8 carparking spots at the basement/ground level.

Further, car parking considerations for professional health providers who must attend the facility can park on street as there are no restrictions of car spaces on street. The inclusion of a minibus and emergency parking which would more than likely not remain on site as it would be used at multiple other care facilities as a ferry system, the carparking would possibly be used by the carers, therapist and medical professionals and only making space for deliveries and drop off during inclement weather. There is also the availability of public transport within the vicinity of the proposed development for visitor or health providers without private transport. The parking layout ensures that a carparking area is appropriately designed, constructed, and maintained for its intended purpose.

The proposal has enough number of car parking spaces required for Residential Care Facility use and therefore complies.



Figure 2: Vicinity map showing public transportation

Clause 5.2.4.4 Layout of car parking areas

Purpose

Ensure that a car parking area is appropriately designed, constructed and maintained for its intended purpose.

Administration

1. *This clause does not apply to a car parking area where the car parking is required in association with a dwelling-single, dwelling-independent or a home based business.*
2. *A car parking area may be used for the purpose of a market if:*
 - (a) *a market is Permitted in the zone; and*
 - (b) *the market operates outside of the operating hours of the use for which the car parking area is established.*
3. *The consent authority may consent to a car parking area that is not in accordance with sub-clause 6 if it is satisfied that the non-compliance will not unreasonably impact on the amenity of the surrounding locality.*
4. *The consent authority may consent to a car parking area that is not in accordance with sub-clauses 7 and 8 if it is satisfied that the design and construction is safe and functional with regard to the location of the development.*
5. *The consent authority may consent to a car parking area that is not in accordance with sub-clause 9 if it is satisfied that the non-compliance will not result in adverse impacts on the local road network or internal functionality of the car parking area.*

Requirements

6. *A car parking area is to:*

(a) be not less than 3m from any lot boundary abutting a road; and
(b) provide landscaping to the setback area to a minimum depth of 3m immediately adjacent to any lot boundary abutting a road, using species designed to lessen the visual impact of the car parking area when viewed from the road.

7. A car parking area is to be constructed and maintained to be:

- (a) of a suitable gradient for safe and convenient parking; and
- (b) sealed and well drained in urban areas, or dust suppressed in non-urban areas.

8. The layout of a car parking area is to:

- (a) be functional and provide separate access to every car parking space;
- (b) allow a vehicle to enter from and exit to a road in a forward gear;
- (c) be in accordance with the dimensions set out in the diagram to this clause; and
- (d) ensure parking spaces at the end of and perpendicular to a driveway are 3.5m wide or so that the driveway projects 1m beyond the last parking space.

9. The number of access points to the road is to be limited, and access points to car parking areas are to:

- (a) have driveways with a minimum width of 6m for two-way traffic flow or 3.5m for one-way traffic flow; and
- (b) maximise sight lines for drivers entering or exiting the car parking area.

The proposed development has a single 6.00-meter-wide access driveway for two-way traffic flow. Allows for entry and exit to the road in forward gear. The area between the car parking and driveway from the road will be landscaped with screen plants to lessen their visual impact. Sightlines are indicated and sufficiently located at the driveway entrance. The proposed car parking areas are not less than 3m from the any lot boundary abutting a road with landscaping for screening and all parking dimensions are in accordance with the NTPS.

Clause 5.2.5 Loading Bays

No loading bays required.

Clause 5.2.6 Landscaping

Clause 5.2.6.1 Landscaping in Zones other than Zone CB

The purpose of the clause is to ensure appropriate landscaping that is attractive, water efficient and contributes to a safe environment, is provided to development to enhance the streetscape and overall amenity of the locality. Administration

1. Landscaping may include provision of paved areas and areas for entertainment and recreational activities.

2. The consent authority may consent to landscaping that is not in accordance with sub-clauses 5, 6 and 7 only if it is satisfied it is consistent with the purpose of this clause and the zone purpose and outcomes, and is appropriate to the site having regard to the amenity of the streetscape, and the potential impact on the amenity of the locality and adjoining property.

3. Where landscaping is required by this Scheme it should be designed so that:

(a) planting is focused on the area within the street frontage setbacks side setbacks, communal open space areas and uncovered car parking areas;

The proposed planting is focused on street frontage, private open space areas and areas along property boundaries. All landscaping and planting are setback at 3 meters from the boundary.

(b) it maximises efficient use of water and is appropriate to the local climate;

The proposed landscaping plants are predominantly native vegetation and adaptable to local climate. A controlled irrigation system will be installed throughout the site to ensure save use of water during dryer periods of the season.

(c) it takes into account the existing streetscape, or any landscape strategy in relation to the area;

The development of a vacant site which involves landscape towards the front boundary will improve the aesthetical presentation of the development when viewed from the street. The proposed new landscaping provides a buffer between the built form and its natural surrounds.

(d) significant trees and vegetation that contribute to the character and amenity of the site and the streetscape are retained;

The site is vacant with some existing vegetation. However, the plants that are within the new development will be removed except for existing trees along the perimeter which some can be maintained if possible. The selected new plant species which include shade trees will contribute to the character and amenity of the site.

(e) energy conservation of a building is assisted having regard to the need for shade and sunlight at varying times of the year;

All external walls and roof sheeting will be light in colour, reducing the solar absorption and demand on the mechanical systems. Colorbond steel is proposed for the roof sheeting in heat reflective light colour finish. Eaves and shade awnings are incorporated into the design. Widows are sufficiently incorporated into the building, enabling cross flow ventilation, and reducing the reliance on mechanical cooling and ventilation. The adaptation of balconies and awnings to the building facade and planting of shade trees contribute towards passive cooling.

(f) the layout and choice of plants permits surveillance of public and communal areas; and

The site layout accommodates larger trees to boundaries and screening where privacy is required to private open space. Due to the nature of the development, the communal spaces are visible and provide opportunities for surveillance. The common area towards the front of the site is open and landscaped with plant species that enable casual surveillance of the public realm.

(g) it facilitates on-site infiltration of stormwater run-off.

The site will be landscaped to allow for on-site infiltration of stormwater run-off. The grass and landscaped areas provided throughout the site will also facilitate onsite infiltration of stormwater run-off.

4. The quality and extent of the landscaping consented to must be maintained for the life of the development.

5. Other than in Zones CB, C and TC, not less than 30% (which may include communal open space) of a site that is used for rooming accommodation, dwellings-group, dwellings-multiple and residential care facility is to be landscaped. 30% of 726m² = 217.8m²

The proposed landscaping constitutes approximately 270m² = 37% of the site with planting focused on the areas towards the street frontage, boundaries and communal open space. The proposed development will be provided with trees and vegetations surrounding the property. Proposed landscaping will be provided at the front, sides, and rear boundaries of the property to screen, complement and enhance the existing streetscape.

7. In Zones MR and HR, side and rear setbacks are to include planting to the length of the setback of no less than 2m deep, except for areas that are used for private open space.

All setbacks including where the communal open spaces are located are provided with landscaping and planting with minimum 3 meters from the boundaries.

Clause 5.2.7 Setbacks for Development Adjacent to Land in Zones LR, LMR, MR or HR

Not applicable

Clause 5.3.7 End of Trip Facilities in Zones HR, CB, C, SC and TC

Ensure that new commercial and high-density **residential buildings** provide sufficient safe, quality and convenient **end of trip facilities** to enable active travel choices by residents, visitors, workers and customers for the proposed use of the **site**.

1. The consent authority may **consent** to a use or development with fewer bicycle parking spaces, lockers and/or showers and changing facilities than required by sub-clauses 2-6 if satisfied that either:

(a) there are alternative **end of trip facilities** (on or off the **site**), where:

i. the same function is provided which can accommodate the same number of bicycles and/or users required by the clause;

ii. **access** to the alternative **end of trip facilities** is safe and convenient for users;

iii. the alternative **end of trip facilities** are sheltered and secure; and

iv. the size and layout of alternative storage areas allows for safe and comfortable storage and **access** to bicycles and/or personal items; or

(b) it would be unreasonable to provide the **end of trip facilities** as required by this clause with regard to, but not limited to, the location of the development and likely commute distances; or

(c) it would be unreasonable to provide shower and changing facilities for a small development, where the development becomes unfeasible should such facilities be required.

Requirements

2. All new buildings in Zones HR, CB, C, SC and TC should provide bicycle parking facilities with a number of bicycle parking spaces calculated at the rate specified in the table to this clause (rounded up to the nearest whole number).

3. All bicycle parking facilities and associated bicycle parking devices should be designed in accordance with Australian Standard AS2890.3 – Bicycle Parking and must:

(a) be located in a convenient and safe location with adequate security for the storage of bicycles;

(b) have an appropriate mix of long and short term, wall and floor mounted bicycle parking;

(c) where secure parking is provided, provide e-bike charging facilities, as necessary;

(d) not require **access** via steps;

(e) be protected from the weather;

(f) enable the wheels and frame of a bicycle to be locked to the device without damaging the bicycle;

(g) be located outside pedestrian movement paths;

(h) be easily accessible from the road;

(i) be arranged so that parking and manoeuvring motor vehicles will not damage adjacent bicycles;

(j) be protected from manoeuvring motor vehicles and opening car doors;

(k) be as close as possible the cyclist's ultimate destination;

(l) be well lit by appropriate existing or new lighting; and

(m) be sympathetic in design, material and colour to compliment the surrounding environment.

4. A locker should accompany every secure bicycle parking space provided, and should be:

(a) of suitable volume and dimensions to allow storage of clothing, cycling helmets and other personal items;

(b) well ventilated, secure and lockable; and

(c) located close to shower and changing facilities.

5. All new **non-residential buildings, hotels/motels, and serviced apartments** in Zones HR, CB, C, SC and TC should provide sufficient and accessible shower and changing facilities for staff with the number of showers calculated at the rate specified in the table to this clause.

6. Shower and changing facilities must be secure facilities capable of being locked, and should:

- (a) be located as close as practical to the associated bicycle parking facilities;
- (b) provide one change space per shower; and
- (c) Provide for separate male and female facilities where more than one shower is provided.

The bicycle parking facility with secured bike racks is provided near the utility storage room and protected by weather under a roofed area. All applicable requirements mentioned above to be met with safe ingress and egress to be provided on site. A secured and lockable locker is also provided within the storage area. However, the shower and changing facilities are provided on the first floor @ medical exam room & consultation office, second floor @ activity and rehabilitation room and OOA room @ third floor.

Specific Development Requirements:

Clause 5.4.3 – Building Setbacks of Residential Buildings and Ancillary Structures

The purpose of this clause is to ensure residential buildings and ancillary structures are located in a manner that:

- (a) is compatible with the streetscape and surrounding development including residential buildings on the same site;*
 - (b) minimises adverse effects of building massing when viewed from adjoining land and the street;*
 - (c) avoids undue overlooking of adjoining properties; and*
 - (d) facilitates breeze penetration through and between buildings*
- 2. In this clause:*

(a) an ancillary structure includes an outbuilding (excluding shade sails), balcony, portico and the like, which may or may not include external walls; and

3. The consent authority may consent to a development that is not in accordance with sub-clause 6-8 only if it is satisfied that the reduced setback is consistent with the purpose of this clause, and it is appropriate to the site having regard to such matters as its location, scale and impact on adjoining and nearby property.

4. If a building setback plan in Schedule 9 does not establish a specific setback to a nominated boundary, residential buildings and ancillary structures are to be set back from that boundary in accordance with sub-clause 6(a) or clause 5.4.3.3 as appropriate.

6. Subject to clause 5.2.7, building setbacks of residential buildings and ancillary structures are to be set back from lot boundaries in accordance with:

- (a) the relevant table to this clause; or*
- (b) any setbacks established in a building setback plan that is included in Schedule 9.*

The proposed façade towards Mangola Court and Smith Street are designed with varying building setback depths, open balconies and different wall/roof materials to minimise the expanses of walls and massing of the building. The placement of building walls and outdoor areas are designed in such a way that they are located reasonably as dictated by the shape and orientation of the site. The proposal provides a significantly lower, less-dense residential development outcome than that otherwise facilitated by the Planning Scheme, with setback variations to the front and side boundaries warranted given the Zone and setback objectives of the Planning Scheme.

The proposed development minimise adverse effects of building massing when viewed from adjoining land and the streets by varying wall/roof heights, different house design and layouts. Also limiting development to four storey only and including landscaped yards to avoid the appearance of a monotonous building design. The Proposed Development seeks to minimise the expanses of walls by varying building heights, building setbacks and facade elevations. These also greatly minimise visual bulk when viewed from adjoining land and the street.

Furthermore, the provision of building projections such as the balconies coupled with the varied use of building materials and finishes (steel balustrading, rendered external walls, custom orb features, square and circular columns etc.) also minimises any potential massing or visual bulk. The proposed development has been designed and is suitable and consistent/compatible with existing onsite and surrounding developments. Much care and consideration has been given to the design given the location of the building and taking into consideration the surrounding environment.

The proposed development is consistent with the purpose of the clause - minor variation of the planning scheme sought along the ground floor at Mangola Ct for the refuse bin enclosure which is only 1.8 meter high. A roofed area is also proposed setback at 0.5 meters from the boundary for covered pedestrian entry and letterbox area.

Table B to Clauses 5.4.3: Minimum building setbacks for residential buildings, ancillary structures and balconies in Zones MR and HR				
Lot Boundary	Minimum Setback for first four storeys above ground level	Propose Setbacks	Minimum setback for roofline	Propose setback for roofline
Primary street frontage – Mangola Ct	6m for residential buildings and ancillary structures / 3m for balconies	Ground Floor: 6.0 m / 6.0m 1st Floor: 6.0 m / 5.0m 2nd Floor: 6.0 m / 5.0 m 3 rd Floor: 6.0 m / 5.0 m Complies	2.1m - provided that no supporting member is located within 6m of the boundary	4.0 m Complies
Secondary street frontage – Smith St	4.5 m for residential buildings and ancillary structures / 1.5m for balconies	Ground Floor: 4.5m / 4.0m 1st Floor: 4.5 m / 4.0m 2nd Floor: 6.0 m / 4.0 m 3 rd Floor: 6.0 m / 4.0 m Complies	2.1m - provided that no supporting member is located within 4.5m of the boundary	4.0 m Complies
Side and rear lot boundaries	3m for residential buildings, ancillary structures / balconies	Ground Floor: 3.0m / 3.0m 1st Floor: 3.5 m / 3.0m 2nd Floor: 3.5 m / 3.0 m 3 rd Floor: 3.5 m / 3.0 m Complies	2.1m	2.5 m Complies

Clause 5.4.7 Communal Open Space

Purpose

Ensure that suitable areas for communal open space are provided for dwellings-multiple, residential care facilities and rooming accommodation.

Administration

1. This clause does not apply to dwelling-multiple where each dwelling has direct and independent access to private open space at ground level.
2. The consent authority may consent to a dwelling-multiple comprising serviced apartments in Zone TC that is not in accordance with sub-clauses 5 and 6 only if it is satisfied it is consistent with the purpose of

this clause and that the private open space associated with each dwelling provides appropriate opportunities for outdoor activities.

3. The consent authority may consent to a development in Zone C or Zone CB that is not in accordance with sub-clauses 5 and 6 if appropriate recreational space for the occupants of the development is provided, having regard to the following matters:

- (a) whether the communal open space has usable dimensions and is of a sufficient size for the density of the development;
- (b) the development is in proximity to adequate public open space or sufficient amenities; and
- (c) whether there is an appropriate increase in private open space provided (over that which is required by Clause 5.4.6), for each dwelling in the development.

4. For zones and uses not covered by sub-clauses 2 and 3, the consent authority may consent to a development that is not in accordance with sub-clauses 5 and 6 if it is satisfied the communal open space has usable dimensions and is of a sufficient size for the development.

Requirements

5. A minimum of 15% of the site, being not less than 6m wide at any point, is to be communal open space.

6. Communal open space is to be designed to:

- (a) be clearly delineated from private and public open space;
- (b) maintain reasonable privacy of nearby dwellings;
- (c) provide recreational facilities for occupants; address the projected needs of children;
- (d) include landscaping and shade where located outdoors;
- (e) minimise safety issues, including through lighting and passive surveillance;
- (f) minimise the effects of any on-site traffic circulation and car parking areas; and
- (g) be capable of efficient maintenance and management.

The total area of the Lot is $726 \text{ m}^2 \times 15\% = 108.9 \text{ m}^2$ the minimum required total for communal open space. The Proposed Development provides an approximate area of 150 m^2 of communal open space with landscaping.

The communal open space is located at a very convenient and easily accessible area at the right (north) side and left (south) side of the Lot. However, due to the limited space available, they are less than 6 meters in depth. The north side (active recreation & BBQ area) is 4 meter wide by 26 meters long and the south side (passive activities) is 3.8 meter wide by 7.0 meters long & 3.0 meter wide by 7.8 meter long.

Notwithstanding the size available, it still provides for a generous and functional area for recreational activities and leisure by the occupants of the Development. It is landscaped to provide adequate shade to enable the use of the area for active and passive recreational activities. Recreation is one of the best forms of physical and mental therapy. Active recreation such as sports and jogging helps to keep patients/occupants' bodies fit and toned. It is also a great way to keep their minds sharp as it requires concentration and strategy. On the other hand, passive recreation activities like group reading, gardening, or bird watching allow them to take some time out to relax and engage in pursuits that do not require too much exertion. Passive recreation is an excellent way to unwind while still getting some exercise or learning something new. Whether it's active or passive recreation, the patients/occupants strive to find enjoyable recreational activities that help them stay physically fit, mentally alert and emotionally balanced. Active recreation is any physical activity that is recreational in nature and has a goal of improving one's health and physical fitness. This can take many forms, ranging from traditional sports to more modern activities such as small obstacle courses along the property open spaces. All of these require an individual to be physically active while they are performing the activity in order to reap all the benefits it provides.

The great thing about active recreation is that it allows people of all ages to experience numerous positive outcomes when making exercise a part of their healthy lifestyle routine. Passive recreation is a type of leisure activity that does not involve physically strenuous activities. It involves low impact activities such as walking, bird watching, gardening and simply enjoying nature. Unlike energetic sports or activities, passive recreation doesn't require exertion; instead, it focuses on the experience of being outdoors and creating an appreciation for nature. An example of passive recreation on site includes taking a leisurely walk around the nature walking path which allows the occupants to explore their environment without overtaxing their body. Trees will also provide sun shading to activity areas. A nature walking path around the property provides exercise and rehabilitation like walking and jogging. There is a barbeque and seating facility provided for family and staff gathering. The communal open space can also be used for small group dancing, exercising, meditations, drawing and painting sessions. Fencing and landscaping will be provided to clearly distinguish the communal open space from parking and the boundary. The proposed development through good lighting, suitable gradient, and properly designed drainage and vehicle movements ensures a safe communal area.

A variation is being sought due to the minimum length requirements however, the communal open space has usable dimensions and is of a sufficient size for the development given the special requirements for the occupants of the residential care facility. In addition to that, the Proposed Development is located immediately opposite a parkland, nearby playgrounds and sports oval which can be used by the future occupants. Several alternative recreation facilities are available nearby, which are located within walking distance from the Proposed Development.

Clause 5.4.8 Residential Building Design

Clause 5.4.8.1 Building Design for Dwelling-group, Rooming Accommodation and Residential Care Facility

The purpose of this clause is to promote site-responsive designs for dwelling-group, dwelling-multiple, rooming accommodation and residential care facility, which provide a pleasant living environment for the occupants and a sympathetic interface with adjoining lots, to minimise unreasonable impacts on the privacy and amenity of surrounding residents.

Requirements:

(a) locate development on the site for correct solar orientation;

The building is orientated to minimize sun exposure to the western sun providing buffers such as balconies and awnings. The proposed units will each have good natural lighting and ventilation. All habitable rooms are provided with awnings and verandahs from living areas. The living areas have a northern orientation to maximise northern sun during the cooler winter months.

(b) minimise expanses of walls by varying building heights, building setbacks and façades;

The expanse of blank walls is reduced by using varying setbacks, materials, and colours on the façade, along with landscaping within all boundary setbacks. In addition to the above, the provision of building projections such as the balconies coupled with the varied use of building materials and finishes (metal balustrading, rendered/tiled external walls, tile features, circular columns etc.) also minimises any potential massing or visual bulk along Mangola Court. A secondary material or façade custom orb cladding will be installed to break -up the long wall along the Smith Street façade.

(c) locate air conditioners where they are accessible for servicing;

Air conditioning will be located and accessed at the balconies and will be properly screened from street views.

(d) conceal service ducts, pipes, air conditioners, air conditioning plants etc;

All pipe runs will be concealed in internal ducts or above ceiling.

(e) avoid overlooking of private open spaces and habitable rooms of adjacent residences on the same and adjacent sites;

The verandahs and outdoor areas are orientated to avoid interactions and enable privacy between units. Decorative screening will be provided with balconies facing towards adjoining properties/ apartments.

(f) locate bedrooms and private open spaces away from noise sources;

All habitable rooms overlooking neighbouring properties are located minimum 3.0 meters from the property line. Privacy between private open spaces and habitable rooms are achieved using structural walls and varying wall setbacks. Lifts and stairways are all cores filled which will not impact any the noise coming from them.

(g) control its own noise sources and minimise the transmission of noise between dwellings;

The proposed units will be separately built and adequately setback from all perimeter boundaries on site. The proposed fencing and landscaping along boundaries will enable the proposed development to control noise sources and transmissions. Active areas are located separately from passive areas. Lifts and stairways are all cores filled which will not impact any the noise coming from them.

(h) where close to high noise sources (such as busy roads and airport flight paths), be of appropriate acoustic design and construction;

There are no high noise sources in the immediate vicinity of the site.

(i) balance the achievement of visual and acoustic privacy with passive climate control features;

The provision of different kinds and location of windows and doors throughout will ensure visual privacy is maintained whilst encouraging cross ventilation throughout the building. Spaces such as balconies, foyers & hallways are extensions to the units that provide visual barriers to the internal areas. Balconies and awnings also provide additional shading to the internal areas.

(j) allow breeze penetration and circulation;

The proposed building is reasonably setback from all boundaries with adequate breeze way to encourage breeze penetration throughout the development. Every unit will also have sufficient operable windows allowing cross ventilation.

(k) minimise use of reflective surfaces; and

The proposed building will have non-reflective and light-coloured prefinished roofs and walls. All external claddings will have colours and materials that are combinations of light and medium hues.

(l) provide internal drainage of balconies and coving on the edge of balconies.

Not Applicable

Complies

5.4.15 Residential Care Facility

The proposed development creates an Onsite Overnight Assistance spaces (large enough for 2 carers), a medical/exam room, consultation office, activity/ rehabilitation room, a communal open space for small group activities or one on one activities together with large living spaces to each unit and to ensure all resident can access high standard rehabilitation, social, health and recreational facilities on-site.

Purpose

Ensure that a residential care facility is established in an appropriate location to meet the needs of its residents and is operated in a manner that:

(a) adequately supports persons in care, staff and visitors;

Larrakeyah is located near the Darwin CBD, a few kilometres to Casuarina and Palmerston, and which results in short travelling to any of these locations to facilitate medical or health appointments. Residents will travel to and from appointments via a health providers minibus as the resident requires HPS (and is not expected to be able to use public transport) and cannot drive. Bus services would be pre-arranged by appointments, more than likely an attempt to have all 5 residents attend appointments at the same time – like hydrotherapy pool.

(b) does not unreasonably impact on the amenity of adjoining and nearby property; and

The proposed development façade will be similar in size, shape and bulk from the road and adjoining properties. Both sides of the building are significantly articulated in order to minimise building massing and visual bulk when viewed from adjoining land and the street.

A Residential Care Facility model can have several positive impacts, reducing potential issues such as congestion, noise, and parking challenges. Some potential impacts that might be reduced:

Traffic Congestion:

With a smaller facility catering to a limited number of residents, there is likely to be a reduction in traffic flow compared to potentially more residents such as families. This can contribute to smoother traffic in the surrounding area.

Parking Demand:

As mentioned, a standard multi-level residential accommodating a larger number of residents would likely require more parking spaces. A Residential Care Facility with fewer residents would consequently have a lower demand for parking, potentially easing congestion and parking-related issues in the neighborhood.

Noise Levels:

A smaller residential care facility is likely to generate less noise compared to a standard multi-level residential accommodating more residents. This can have positive effects on the overall noise levels in the vicinity, contributing to a quieter and more peaceful neighborhood.

Community Impact:

The reduced size of the care facility can contribute to a smaller community impact. With fewer residents, the facility may integrate more seamlessly into the existing neighbourhood without causing disruption to the community.

Aesthetics and Space Utilization:

A reduced residential facility may have a more modest physical footprint, contributing to the preservation of the neighborhood's aesthetics. This can be particularly important in residential areas where maintaining the character of the surroundings is valued.

Resource Consumption:

With fewer residents, resource consumption, such as water and electricity usage, may be lower compared to a larger complex. This can align with sustainability goals and minimize the environmental impact of the facility.

Overall, opting for a Residential Care Facility with a smaller capacity can mitigate potential negative impacts on traffic, parking, noise, and community dynamics, fostering a more harmonious integration into the existing neighborhood

(c) is commensurate with the scale of utilities and transport infrastructure provided in the locality.

The proposed development has similar utility requirements to existing adjacent properties which is standard within the vicinity. There are several transport infrastructures already in place to sustain the area.

Administration

1. The consent authority may approve an application for a residential care facility that is not in accordance with sub-clauses 2-4 only if it is satisfied it is consistent with the purpose of this clause and the zone purpose and outcomes, and it is appropriate to the site having regard to such matters as its location, nature, scale and impact on surrounding amenity.

Requirements

2. The facility provides rehabilitation, social, health and recreational facilities on-site or is located to ensure residents have convenient access to such facilities and the public transport network.

The design includes sufficient in-house support in the privacy of the participants room (to be used if the participant is unable to travel) or the use of the medical exam and consultation room which will assist the carers to facilitate allied health support such as occupational therapists, counselling, behavioural therapist, speech pathologist or therapy in general. Whilst the area is small it is aimed at being used by the sole participant, the impact is:

The reduced numbers in the Residential Care Facility are suitable to the scale of development for several reasons, primarily related to the facility's purpose, functionality, and the specific needs it aims to address.

Individualized Care:

With a smaller number of residents, the facility can provide more individualized and focused care. This is particularly important in settings where participants may require specialized services, such as occupational therapy, counselling, or behavioral therapy.

Flexible Support Room Design:

The inclusion of an activity and rehabilitation room designed for use by only 4-6 participants, individual or combined is a practical approach. It ensures that the space is utilized efficiently, offering a private and personalized environment for therapy sessions or other support services.

Tailored Allied Health Support:

The facility's design considers the need for allied health support services, and by limiting the number of participants using the support room at any given time, it enhances the effectiveness of these services. It allows for a more tailored and focused approach to each individual's needs.

Intimate Community Environment:

A smaller number of residents contributes to the creation of a more intimate and closely-knit community environment. This can enhance the sense of community among residents and facilitate more personalized interactions between residents and staff.

Efficient Resource Utilization:

The reduced capacity ensures efficient use of resources, both in terms of staff time and facility space. This can contribute to a more cost-effective and sustainable operation, aligning with the scale of development.

Improved Quality of Life:

The smaller scale allows for a better quality of life for residents. With fewer people sharing communal spaces, there is potential for a more peaceful and comfortable living environment.

The reduced numbers in the Residential Care Facility are suitable to the scale of development by enabling a more individualized, efficient, and focused approach to care. The design elements, such as the support room and the limitation on the number of participants using it simultaneously, reflect a thoughtful consideration of the residents' needs and contribute to a more tailored and effective care environment.

The design elements described above, including private accommodation for carers and a thoughtfully designed communal open space, can contribute significantly to facilitating rehabilitation in a Residential Care Facility by:

Personalized Living Spaces for Carers:

Carers having their own private room allows them to rest, recharge, and be well-prepared for their caregiving responsibilities. This ensures that they can provide optimal care and support to residents, contributing to the overall effectiveness of rehabilitation programs.

Communal Open Space for Well-Being:

The communal open space, with various features like a BBQ area, communal open space for passive and active recreational activities, nature walking path, and grassed open area, creates an environment that supports residents' well-being. Engaging in outdoor activities and enjoying different facets of space can contribute to physical and mental health.

Therapeutic and Recreational Opportunities:

The presence of communal open spaces and other features provides opportunities for therapeutic and recreational activities. These activities can be tailored to individual rehabilitation plans, incorporating exercises, sport therapy, and other interventions that promote physical and mental well-being.

Privacy and Community Look:

The boundary fencing not only enhances participants' privacy but also contributes to a sense of security. Feeling secure in their living environment is crucial for individuals undergoing rehabilitation. Additionally, maintaining a community look helps integrate the facility into the surrounding neighbourhood, fostering a sense of belonging.

Holistic Rehabilitation Approach:

The combination of private living spaces for carers and a well-designed communal area allows for a holistic approach to rehabilitation. It considers not only the medical and therapeutic aspects but also the importance of social interaction, outdoor activities, and a pleasant living environment in the recovery process.

Reduced Stress and Enhanced Comfort:

Creating a comfortable and aesthetically pleasing environment, both in private and communal spaces, can contribute to reduced stress levels among residents. Reduced stress is beneficial for rehabilitation outcomes, as it can positively impact mental and physical health.

In summary, the design features of the Residential Care Facility, including private carer accommodation and a thoughtfully designed communal open space, work together to create an environment that supports and enhances rehabilitation. The holistic approach considers the physical, emotional, and social aspects of well-being, contributing to a comprehensive and effective rehabilitation program for the residents.

3. The scale and day to day operation is compatible with the character and amenity of the zone.

The daily activities outlined for the Residential Care Facility play a crucial role in defining the scale of development and ensuring compatibility with the character and amenity of the zone. The day-to-day operations align with the scale:

Personalized Care and Assistance:

The daily activities, such as assisting residents with bathing, meal preparation, and clothing, indicate a personalized and hands-on approach to care. This level of individualized attention is often associated with smaller-scale developments, as it ensures that each resident's unique needs are met.

Integration of Health Professionals:

The commitment to having residents see at least one health professional within a 24-hour period aligns with the scale of development. This level of attention suggests a close collaboration between the facility and healthcare providers, which is often more feasible in a smaller-scale setting where individualized care plans can be more easily managed.

On-Site Activities:

The emphasis on participating in all daily activities at the care facility suggests a comprehensive approach to residents' well-being. Smaller-scale developments are often better equipped to facilitate a variety of on-site activities, promoting social engagement and a sense of community among residents.

Coordination of Off-Site Health Professionals:

The carers' role in coordinating attendance to off-site health professionals indicates a high level of involvement in residents' healthcare. This kind of hands-on coordination is often more manageable in smaller-scale developments where communication is more direct and individualized.

Compatibility with Character and Amenity:

The nature of the daily activities, which involve providing essential care and facilitating health-related activities, contributes to the overall compatibility with the character and amenity of the zone. Smaller-scale developments often integrate more seamlessly into residential areas, minimizing disruptions to the existing neighborhood.

Community Integration:

The daily activities promote a sense of community among residents. This community-centric approach is generally more achievable in smaller-scale developments, where residents and staff can engage more closely on a daily basis.

The daily activities outlined for the Residential Care Facility are indicative of a smaller-scale development that prioritizes personalized care, community engagement, and the seamless integration of health-related services. This approach aligns with the character and amenity of the zone, fostering a supportive and inclusive living environment for the residents.

The exclusion of a reception/front desk in the design of the Residential Care Facility has several implications on the scale and overall character of the development:

Reduced Physical Footprint:

Without the need for a reception/front desk area, the physical footprint of the facility is likely to be smaller. This reduction in space aligns with a more modest scale, making the facility less imposing and more in harmony with a residential setting. It should be noted the site can accommodate 4 dwellings (quadplex), which would have a much larger impact than the proposed care facility.

Lower Administrative Overhead:

The absence of a dedicated reception area suggests a streamlined administrative structure. This is consistent with the smaller scale of the facility, as it implies that administrative functions can be managed efficiently without the need for extensive front-of-house facilities.

Enhanced Residential Feel:

The deliberate choice to exclude a reception/front desk contributes to maintaining a low-key atmosphere. This enhances the residential feel of the facility, making it blend more naturally with its surroundings and reinforcing the sense of a home rather than a commercial institution.

Direct Interaction with Carers:

The decision for visitors, family, and healthcare providers to use the carer as the primary point of contact enhances direct interaction. This personal approach aligns with the scale of a smaller facility, where individualized communication and coordination are more feasible.

Cost-Efficiency:

The omission of a reception area may result in cost savings related to construction, maintenance, and staffing. This aligns with the practical considerations of a smaller-scale development where cost-effectiveness is often a priority.

Community Integration:

The absence of a front desk contributes to a more integrated and community-oriented approach. Visitors and healthcare providers interacting directly with carers fosters a sense of community and promotes a less institutionalized feel, which is characteristic of smaller-scale residential care facilities.

The exclusion of a reception/front desk aligns with the deliberate approach to maintain a low-key and residential atmosphere in the care facility. This choice is reflective of the facility's smaller scale, promoting a more personalized, cost-efficient, and community-integrated model of care.

4. No greater demand or load is imposed on the services provided by a public utility organisation than that which is ordinarily required in the locality.

No additional load on services as the zone is HR and the design requires less load on services than already provided. The scale of proposed building is compatible with the character and amenity of the locality.

As there are only 18 beds/ residents living in the proposed care facility, there is no requirement for additional power, water and waste management comparing to a family living in a standard HR residential apartment.

Clause 5.4.17 Building Articulation

*Ensure that **residential buildings** mitigate the perception of building mass and bulking when viewed from adjoining properties and the street, and provide opportunities for cross-ventilation within building design.*

*1. This clause applies to all sides of **residential buildings** that are longer than 15m, except the ground floor of buildings in Zone CB.*

*2. The consent authority may **consent** to a development that is not in accordance with sub-clause 4 only if it is satisfied it is consistent with the purpose of this clause.*

*3. The length of the building excludes verandahs, balconies, porches and carports integrated into the **residential building** design.*

Requirements

4. A step or recess to the building line of no less than 1m by 1m is required for every 15m of building length, or part thereof.

The proposed development facade along the frontage to the street and rear complies with the requirement. However, the northern & southern sides are more than 15 meters long. The walls longer than 15 meters will be provided with feature material i.e. custom orb wall cladding and colours. Different materials have been integrated to make sure there will be no building massing and bulking.

A request for a variation & consideration is being sought since these lengths are broken to different wall steps creating different wall setbacks to boundaries.

Clause 5.4.18 Fencing

Promote fencing in medium and high-density areas that provides a positive interface with the public domain, while allowing necessary privacy for residents and neighboring properties.

All fences adjacent to road boundaries or boundaries adjoining public open space are to be constructed so that:

(a) the maximum height is 2m above ground level measured at the relevant site boundary; and

(b) the area of materials that is not visually permeable does not exceed an area equivalent to the length of the site boundary (excluding driveways) multiplied by 1.2m.

5. Fencing within 1.5m of driveways, pedestrian entries, and street corners is to be visually permeable above 0.6m (unless there is truncation provided within these areas to the same distance).

6. Where the development abuts land in Zones LR or LMR, development is to provide a solid screen fence to a minimum height of 1.8m to that boundary

The proposed development at the front facade fencing as shown on the plans. The fence at the left side boundary is 1800 high metal fencing. The south and east boundary existing fences to remain. Fencing and screening of driveways, pedestrian entries are vertical tubular fencing.

46(3)(b) an assessment demonstrating how the proposed development will comply with an interim development control order, if any, applying to the land;

Not applicable.

46(3)(c) if a public environmental report or an environmental impact statement has been prepared or is required under the Environmental Assessment Act in relation to the proposed development, a copy of the report or statement and the results of any assessment of the report or statement under that Act by the Minister administering that Act;

Not applicable.

46(3)(d) an assessment demonstrating the merits of the proposed development;

The proposed development provides not only more diversity of residential uses but also the most updated living standard in the locality.

Addressing potential objections related to the perception of “Social” housing expectations is crucial. Emphasising the legal framework governed by the Act of Federal Parliament, which prohibits vilification and discrimination against disabled individuals, can be a key point in countering objections. Highlighting the facility’s purpose in providing essential care services for a small number of individuals, in accordance with relevant regulations, may help dispel misconceptions and foster community understanding.

46(3)(e) a description of the physical characteristics of the land and a detailed assessment demonstrating the land's suitability for the purposes of the proposed development and the effect of development on that land and other land;

As the allotment is relatively flat, the proposed development will be consistent with the contours of the land ensuring minimal cutting or filling. The proposed development will not alter or affect existing water runoff from the land. The locality is mainly high -rise residential and commercial area. The proposed care facility to the site will provide more diversity of uses into the area with a similar built form and no extensive demand on the existing reticulated services.

46(3)(f) a statement specifying the public facilities or public open space available in the area in which the land is situated, whether land for public facilities or public open space is to be provided by the developer and whether it is proposed that facilities or open space be developed by the developer;

Not applicable.

46(3)(g) a statement specifying the public utilities or infrastructure provided in the area in which the land is situated, the requirement for public facilities and services to be connected to the land and whether public utilities or infrastructure are to be provided by the developer or land is to be provided by the developer for the provision of public utilities or infrastructure;

The subject land within the suburb is already connected to reticulated power, water and sewer services. The proposed use will not impact the capacity of services available to the subject land, and specific servicing requirements will be subject to satisfaction of Power and Water Corporation. Appropriate measures will be taken to ensure all stormwater is directed into Council’s established drainage system and within the proposed development if applicable.

46(3)(h) an assessment of the potential impact on the existing and future amenity of the area in which the land is situated;

As previously stated, the proposed development will facilitate the growing need for NDIS disability services under residential requirements specifically structured to provide NDIS Participants with access to establish essential daily living and to ensure that they can lead an active and positive lifestyle despite their disability. The proposed development will provide support and services to the residential activities of the surrounding area. The growing needs for the proposed development will sustain the future amenity of the area.

The proposed development has been designed and is suitable to the surrounding area in terms of its purpose. The shape, bulk, size and building materials will remain consistent and compatible with the surrounding area ensuring the development does not unduly affect adjoining or nearby allotments. There are existing landscaping and boundary fencing which will provide suitable buffer between adjoining and nearby properties. The proposed development has no potential impact on the existing and future amenity of the land but maintains and enhances the streetscape and good neighbourhood character of the residential area whilst providing the required housing facilities.

46(3)(j) an assessment of the benefit or detriment to the public interest of the development;

The proposed development will only maintain and enhance the requirement of the land and residential area without unduly affecting nearby properties, ensuring no detriment to the public interest. The proposed development is consistent with the form and function of anticipated development within the applicable zone and as such will have no adverse impact will be imposed on the streetscape or overlooking of adjoining properties. The proposed development is suitably sized, located and zoned to accommodate the current and future needs of the building and its surrounding neighbourhood. It will complement and enhance the residential character of the land without unduly affecting nearby properties, ensuring no detriment to the public interest of the development. The proposed development will provide a new facility that will add and cope with the growing demand of NDIS services that also best meets the needs of people coming from surrounding suburbs.

Land owner/s authorisation to lodge a development application

The Planning Act 1999

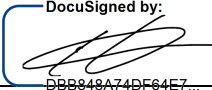
Before you fill in the form

Signatures from ALL landowners registered on the land title must be provided.
The authorisation must be dated within six months of the submission of the application.

Fields marked with an asterisk (*) are required. Fields marked with a carat (^) are required if applicable.			
Applicant In accordance with Section 46(3)(aa)(i) of the <i>Planning Act 1999</i> , a development application is to contain the name and contact details of the applicant <u>AND</u> any person on whose behalf the application is made.			
Name of Applicant/Consultant or Acting agent	Maria Pajarillo / Goldbox		
Address			
Phone	0419178263	Email	mmp@goldbox.com.au
Persons on whose behalf the application is made:			
Person/s on whose behalf the application is made:	Paul Winter / HabitatNT		
Address			
Phone	04077922360	Email	info@habitatnt.com
The applicant is hereby authorised to lodge a development application over the subject land described as:			
*Lot/NT portion	1229		
*Location/town	Town of Darwin		
*Street address	8 Mangola Ct Larrakeyah		



Land owner/s authorisation to lodge a development application

The application is for the purpose of:			
Proposed development <i>Brief description of proposed development</i>		Residential Care Facility (9 units and associated facilites in a 4-storey building)	
Landowner/s signature In accordance with Section 46(3)(aa)(ii) of the <i>Planning Act 1999</i> , a development application is to contain the name and contact details of the owner of the land to which the application relates. Written authorisation from each: <ul style="list-style-type: none">• Individual owner: Each person listed on the title must provide written authorisation for the application.• Companies: For each company listed on the title, written authorisation must be obtained from the director or authorised representative of the company. This authorisation confirms that the company is giving consent for the application and that the person signing on behalf of the company has the legal authority to do so.			
*Full name		Craig Chesterfield	
^Company name		Skychest Pty Ltd	
^Title <i>(e.g. director/authorised representative)</i>		TyDirectorhere	
Phone		0477715680	Email craig@mdcholdings.com.au
*Signature		<div>DocuSigned by:  5BB848A74DF64E7...</div>	
*Date		28/4/2025	
Landowner signature			
*Full name			
^Company name			
^Title <i>(e.g. director/authorised representative)</i>			
Phone		Email	
*Signature			
*Date			

Land owner/s authorisation to lodge a development application

Any Persons with an interest in the land (as applicable)

In accordance with section 46(3)(aa)(iii) and (iv) of the *Planning Act 1999*, a development application is to contain the name and contact details of **any person who entered into an agreement** with the applicant and/or landowner, **to acquire an estate or interest in the land to which the application relates**; and **any person with an interest** prescribed by regulation.

^Full name			
^Company name			
^Title <small>(e.g. director/authorised representative)</small>			
Phone		Email	

Any Persons with an interest in the land

^Full name			
^Company name			
^Title <small>(e.g. director/authorised representative)</small>			
Phone		Email	

Privacy Note

The Department of Lands, Planning and Environment, on behalf of the Minister, is authorised under the *Planning Act 1999* to collect the information on this form, or otherwise provided by you, to consider a proposal to grant a Development Permit or to amend a planning scheme. Failure to provide the information in full may result in delays in processing of the application.

Some of the personal information provided by you on this application may be publicly available, as part of a public exhibition process. The information is also regularly provided to other Northern Territory Government agencies, the Australian Valuation Office, local governments and Commonwealth Government Departments and agencies, as required by law.

Collection of personal information on this form is done in accordance with the privacy legislation within the Northern Territory *Information Act 2002*. For more information, please refer to the Northern Territory Government's privacy statement located at <https://nt.gov.au/copyright-disclaimer-and-privacy>
Any personal information provided can be subsequently accessed by you on request.

From: mmp@goldbox.com.au
To: [Madison Harvey](#)
Cc: [Amit Magotra](#)
Subject: TRM: FW: Vehicle Access - Lot 1229 (8) Mangola Ct, Larrakeyah -Town of Darwin
Date: Friday, 4 April 2025 9:43:29 AM
Attachments: [image004.png](#)
[image005.png](#)
[image006.png](#)
[Lot 1229 Mangola Ct - COD.pdf](#)
[137 Mangola Court, Larrakeyah, NT, 0820 - TIS.pdf](#)
[PA2025-0045 - 8 Mangola Ct Larrakeyah.pdf](#)

CAUTION: This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hi Madison,

Please see below email from City of Darwin regarding road access for primary and secondary road as discussed.

Please advise if this is sufficient for updating the setback requirements.

Kind Regards,

Minnie Pajarillo

Building Consultant/Designer/Drafter



0419 178 263



www.goldbox.com.au



From: Brian Sellers <Brian.Sellers@darwin.nt.gov.au>
Sent: Wednesday, 2 April 2025 11:46 AM
To: mmp@goldbox.com.au
Cc: Conneil L. Brown <Conneil.Brown@darwin.nt.gov.au>
Subject: Vehicle Access - Lot 1229 (8) Mangola Ct, Larrakeyah -Town of Darwin

Hi Minnie,

Thank you for your email regarding vehicle access to the above development. City of Darwin

acknowledges that the planning application identifies Mangola Court as the designated vehicle entry and exit point for the site.

City of Darwin does not support the use of Smith Street for vehicle access to this site.

Please let us know if you require any further information.

Regards,

BRIAN SELLERS
PLANNING COORDINATOR



Civic Centre | 17 Harry Chan Avenue | GPO Box 84 Darwin NT 0801

P: +61 8 8930 0683

www.darwin.nt.gov.au

Please consider the environment before printing this email.

City of Darwin is proud to operate on Larrakia country. We acknowledge the Larrakia people as the Traditional Owners of the Darwin region and pay our respects to Larrakia elders past and present. We are committed to working with all Larrakia people to care for our community and this land and sea for our shared future.

From: mmp@goldbox.com.au <mmp@goldbox.com.au>

Sent: Monday, 31 March 2025 3:58 PM

To: City of Darwin <darwin@darwin.nt.gov.au>

Subject: Lot 1229 (8) Mangola Ct, Larrakeyah -Ttown of Darwin

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognise the sender and know the content is safe.

To : ALICE PERCY
GENERAL MANAGER INNOVATION

Regarding : Proposed Development: Residential Care Facility (9 units and associated facilities in a 4-storey building)

Please see attached documents for reference and request.

Kind Regards,

Minnie Pajarillo

Building Consultant/Designer/Drafter

☎ 0419 178 263

🌐 www.goldbox.com.au



Notice

This transmission is confidential and intended only for the use of the addressee and may contain legally privileged information.

If you are not the addressee:

- Confidentiality and privilege is not waived;
- Please contact us immediately to advise of receipt by you; and
- You are not to read, disseminate, copy or take any action in respect of the contents of this transmission.

The views expressed in this transmission are those of the individual sender, except where the sender specifically states them to be the views of the City of Darwin.

Subject: *Objection to Proposed Residential Care Facility Development at Lot 1229 (8) Mangola Court, Larrakeyah*

Dear Sir/Madam,

We, the residence of Larrakeyah, submit this formal objection to the proposed Residential Care Facility development at Lot 1229 (8) Mangola Court. Our concerns are outlined below:

1. Incompatibility with High-Density Residential (HR) Zoning

- While HR zoning allows for residential care facilities, the scale, purpose, and operational model of this development are not compatible with the character of the area.
- The proposal introduces an institutional-style supervised accommodation, distinct from the surrounding residential apartment-style buildings.
- Zone Outcome 3 requires that residential care facilities operate in a manner compatible with the amenity of high-density residential development, which this project does not achieve.

2. Increased Traffic and Parking Congestion

- The proposed 10 on-site car spaces are insufficient to accommodate staff, medical professionals, visiting therapists, and family members.
- Street parking on Mangola Court is already limited, and the narrow 6-metre-wide access road cannot accommodate the increased traffic volume.
- Frequent transportation of residents to medical facilities will lead to constant vehicle movement, impacting nearby residents' access and safety.

3. Noise and Disturbance to Adjoining Residents

- The 24/7 operation of the facility will create ongoing noise disturbances due to:
 - Frequent emergency medical visits (ambulances, transport services).
 - Increased staff movements during shift changes.
 - Social activities and communal outdoor gatherings.
- The proposal lacks sufficient noise mitigation measures to prevent disturbances to neighbouring properties.

4. Loss of Privacy for Adjoining Properties

- The four-storey height, balconies, and communal spaces will overlook private residences, severely impacting privacy at 6 Mangola Court.
- The rear setback of only 2.5m (instead of 3m) further reduces the buffer between properties.
- The communal outdoor areas (e.g., stretching space, star gazing deck, BBQ area) are positioned too close to residential buildings, increasing the likelihood of privacy intrusion.

5. Increased Demand on Local Infrastructure

- The existing utilities (water, sewerage, waste management) are already under pressure due to high-density developments in the area.
- The facility's medical waste disposal requirements have not been properly addressed.
- The lack of a dedicated visitor parking area will worsen congestion, particularly for surrounding residential buildings.

6. Safety and Emergency Access Concerns

- The design does not account for emergency vehicle access, despite the high probability of medical emergencies.
- The fire evacuation plan is unclear, particularly concerning the safe movement of residents with high physical support needs.

7. Devaluation of Nearby Properties

- The development could negatively affect property values at 6 Mangola Court due to:
 - Increased noise and traffic issues.

- ## 8. Destruction of Habitat – Orange-Footed Scrub Fowl

[illegible]

6 Mangola Court,
Larrakeyah
NT 0820

21 February 2025

Development Consent Authority

GPO Box 1680
Darwin NT 0801
das.ntg@nt.gov.au

Subject: Objection to Proposed Residential Care Facility Development at Lot 1229 (8) Mangola Court, Larrakeyah

Re: Application Ref: PA2025/0045

Dear Sir/Madam,

As a resident and property owner at **6 Mangola Court, Larrakeyah**, I submit this formal objection to the proposed **Residential Care Facility** development at Lot 1229 (8) Mangola Court. My concerns are outlined below:

1. Incompatibility with High-Density Residential (HR) Zoning

- While **HR zoning** allows for residential care facilities, the **scale, purpose, and operational model of this development are not compatible with the character of the area.**
- The proposal introduces an **institutional-style supervised accommodation**, distinct from the surrounding **residential apartment-style buildings.**
- **Zone Outcome 3** requires that residential care facilities operate **in a manner compatible with the amenity of high-density residential development**, which this project does not achieve.

2. Increased Traffic and Parking Congestion

- The proposed **10 on-site car spaces** are insufficient to accommodate **staff, medical professionals, visiting therapists, and family members.**
- Street parking on **Mangola Court** is **already limited**, and the **narrow 6-metre-wide access road** cannot accommodate the increased traffic volume.
- Frequent **transportation of residents to medical facilities** will lead to **constant vehicle movement**, impacting nearby residents' access and safety.

3. Noise and Disturbance to Adjoining Residents

- The **24/7 operation** of the facility will create ongoing noise disturbances due to:
 - **Frequent emergency medical visits** (ambulances, transport services).
 - **Increased staff movements** during shift changes.
 - **Social activities and communal outdoor gatherings.**
- The **proposal lacks sufficient noise mitigation measures** to prevent disturbances to neighbouring properties.

4. Loss of Privacy for Adjoining Properties

- The **four-storey height, balconies, and communal spaces** will **overlook private residences**, severely impacting privacy at 6 Mangola Court.

- The **rear setback of only 2.5m (instead of 3m)** further reduces the buffer between properties.
- The **communal outdoor areas** (e.g., stretching space, star gazing deck, BBQ area) are **positioned too close to residential buildings**, increasing the likelihood of privacy intrusion.

5. Increased Demand on Local Infrastructure

- The **existing utilities (water, sewerage, waste management) are already under pressure** due to high-density developments in the area.
- The facility's **medical waste disposal requirements** have not been properly addressed.
- The **lack of a dedicated visitor parking area** will worsen congestion, particularly for surrounding residential buildings.

6. Safety and Emergency Access Concerns

- The **design does not account for emergency vehicle access**, despite the **high probability of medical emergencies**.
- The **fire evacuation plan is unclear**, particularly concerning the safe movement of residents with **high physical support needs**.

7. Devaluation of Nearby Properties

- The development could negatively affect property values at 6 Mangola Court due to:
 - **Increased noise and traffic issues.**
 - **Loss of privacy and overshadowing from a large structure.**
 - **A shift towards an institutional setting rather than a residential community.**

8. Destruction of Habitat – Orange-Footed Scrub Fowl

- The undeveloped land at **Lot 1229 Mangola Court** is home to a **breeding pair of Orange-Footed Scrub Fowl (Megapodius reinwardt)**, a **native bird species that has successfully nested and produced offspring at this location for many years**.
- These birds are an important part of the **local biodiversity** and are well-known in the area, **frequenting both the lot and the surrounding properties**.
- The **clearing of vegetation and disturbance caused by construction will irreversibly destroy their nesting habitat**.
- The **community's attitude toward wildlife conservation has evolved**, and **developments are now expected to accommodate resident wildlife** rather than displace them.
- The **developer has provided no details on how they intend to mitigate impacts on this species** or whether alternative nesting sites will be preserved or established.

Given its established history at the site, how does the developer propose to protect and support this wildlife's ongoing presence?

Conclusion

I acknowledge the importance of facilities that support individuals requiring high physical support. However, this **proposal is not suitable for Mangola Court** due to its **scale, design, environmental impact, and operational consequences** on the surrounding **high-density residential community**.

I strongly urge the **Development Consent Authority to reject this application** or require **significant modifications to mitigate its impact on existing residents and the natural environment**.

I appreciate your consideration of these concerns and look forward to your response.

Yours sincerely,

Andrea Calley

Resident

6 Mangola Court

Larrakeyah

acalley@bigpond.net.au

Georgina O'Connell
Unit 8/6 Mangola Court, Larrakeyah
Darwin NT 0800
24/02/2025]

Development Consent Authority

GPO Box 1680
Darwin NT 0801

Subject: Objection to Proposed Residential Care Facility Development at Lot 1229 (8)
Mangola Court, Larrakeyah

Dear Sir/Madam,

I am lodging my formal objection to the proposed Residential Care facility development at Lot 1229 (8) Mangola Court Larrakeyah.

1. The 24/7 operation of the facility will create ongoing noise disturbances

Emergency Medical access with Ambulances and Health Care workers
Socializing in communal outdoor areas.

2. Increased Traffic and Parking Congestion

There is limited street parking on Mangola Court.

The increase in traffic flow with staff and other visitors (Medical Professionals, Therapists, Resident and Family Members will cause a major increase in traffic flow impacting current residents' safety and access.

The removal of rubbish is already difficult for the City Council vehicles and this will be exacerbated.

Many people including children, use Mangola Court as a walk through onto and from Smith Street and the increase in Vehicles runs the risk of someone being injured.

3. Loss of Privacy for 6 Mangola Court

The communal spaces (stretching space, Star Gazing Deck and BBQ area) very close to the residential buildings which could intrude on privacy.

The 2.5m setback, not 3m reduces the buffer zone between the properties.

The 4 storey balconies and communal areas overlook 6 Mangola Court reducing the private residences privacy.

The 24hr operation of the facility will increase the noise levels in the surrounding area.

4. Increase on Local Infrastructure Demands

The high-density of the area already have the existing utilities under pressure (waste management, water and sewerage).

The medical waste management for the facility have not been adequately addressed.

5. 6 Mangola Court and Surrounding Properties Devaluation due to:

Loss of privacy from the overshadowing of 4 story building.

Increase of noise and traffic.

6. High Density (HR) Zoning is Incompatible with Institutional Purposes

The proposal introduces institutional-style accommodations which is not inline with the surrounding residential high rise apartment dwellings and the character of the area. Zone 3 requires that residential care facilities operate in a manner compatible with the amenity of high-density residential development, which this development does not.

7. Emergency Access and Safety Concerns

Emergency vehicle access has not been accounted for even though there is a high probability of medical emergencies.

The fire evacuation plan is unclear concerning the evacuation of residents that have high physical support requirements.

8. Destruction of Habitat of the Orange-Footed Scrub Fowl

A family of Orange Footed Scrub Fowls (native birds) have been nesting on the site for many years

The developer has not addressed the relocation or an alternative nesting site established.

Conclusion

I understand the need for this type of development for the support of individuals with requiring high physical and mental support. However I feel strongly the proposal is not suitable due to the design, scale, environmental and operational problems and concerns, for a high-density residential community.

I strongly urge the Development Consent Authority to reject this application or require significant modifications to mitigate its impact on existing residents and the natural environment.

Yours sincerely,

Georgina O'Connell
Resident 8/6 Mangola Court
Larrakeyah

Pat O'Connell

6 Mangola Court, Larrakeyah
Darwin NT 0800

26-02-2025

Development Consent Authority

GPO Box 1680
Darwin NT 0801

Subject: PA2025/0045 Development Objection to Proposed Residential Care Facility
Development at Lot 1229 (8) Mangola Court, Larrakeyah

Dear Sir/Madam,

I, Pat O'Connell of **6 Mangola Court, Larrakeyah**, submit this formal objection to the proposed **Residential Care Facility** development at Lot 1229 (8) Mangola Court.

My concerns are outlined below:

1. Incompatibility with High-Density Residential (HR) Zoning

- While **HR zoning** allows for residential care facilities, the **scale, purpose, and operational model of this development are not compatible with the character of the area.**
- The proposal introduces an **institutional-style supervised accommodation** distinct from the surrounding **residential apartment-style buildings.**
- **Zone Outcome 3** requires that residential care facilities operate **in a manner compatible with the amenity of high-density residential development**, which this project does not achieve.

2. Increased Traffic and Parking Congestion

- The proposed **10 on-site car spaces** are insufficient to accommodate **staff, medical professionals, visiting therapists, and family members.**
- Street parking on **Mangola Court** is **already limited**, and the **narrow 6-metre-wide access road** cannot accommodate the increased traffic volume.
- Frequent **transportation of residents to medical facilities** will lead to **constant vehicle movement**, impacting nearby residents' access and safety.

3. Noise and Disturbance to Adjoining Residents

- The **24/7 operation** of the facility will create ongoing noise disturbances due to:
 - **Frequent emergency medical visits** (ambulances, transport services).
 - **Increased staff movements** during shift changes.
 - **Social activities and communal outdoor gatherings.**

- The **proposal lacks sufficient noise mitigation measures** to prevent disturbances to neighbouring properties.

4. Loss of Privacy for Adjoining Properties

- The **four-storey height, balconies, and communal spaces** will **overlook private residences**, severely impacting privacy at 6 Mangola Court.
- The **rear setback of only 2.5m (instead of 3m)** further reduces the buffer between properties.
- The **communal outdoor areas** (e.g., stretching space, star gazing deck, BBQ area) are **positioned too close to residential buildings**, increasing the likelihood of privacy intrusion.

5. Increased Demand on Local Infrastructure

- The **existing utilities (water, sewerage, waste management)** are already **under pressure** due to high-density developments in the area.
- The facility's **medical waste disposal requirements** have not been properly addressed.
- The **lack of a dedicated visitor parking area** will worsen congestion, particularly for surrounding residential buildings.

6. Safety and Emergency Access Concerns

- The **design does not account for emergency vehicle access** despite the **high probability of medical emergencies**.
- The **fire evacuation plan is unclear**, particularly concerning the safe movement of residents with **high physical support needs**.

7. Devaluation of Nearby Properties

- The development could negatively affect property values at 6 Mangola Court due to:
 - **Increased noise and traffic issues.**
 - **Loss of privacy and overshadowing from a large structure.**
 - **A shift towards an institutional setting rather than a residential community.**

8. Destruction of Habitat – Orange-Footed Scrub Fowl

- The undeveloped land at **Lot 1229 Mangola Court** is home to a **breeding pair of Orange-Footed Scrub Fowl (Megapodius reinwardt)**, a **native bird species that has successfully nested and produced offspring at this location for many years**.
- These birds are an important part of the **local biodiversity** and are well-known in the area, **frequenting both the lot and the surrounding properties**.
- The **clearing of vegetation and disturbance caused by construction** will **irreversibly destroy their nesting habitat**.

- The **community's attitude toward wildlife conservation has evolved**, and **developments are now expected to accommodate resident wildlife** rather than displace them.
- The **developer has provided no details on how they intend to mitigate impacts on this species** or whether alternative nesting sites will be preserved or established.

How does the developer propose to protect and support the ongoing presence of this wildlife, given its established history at the site?


Conclusion

Whilst I acknowledge the importance of facilities that support individuals requiring high physical support. However, this **proposal is not suitable for Mangola Court** due to its **scale, design, environmental impact, and operational consequences** on the surrounding **high-density residential community**.

I strongly urge the **Development Consent Authority to reject this application** or require **significant modifications to mitigate its impact on existing residents and the natural environment**.

I appreciate your consideration of our concerns and look forward to your response.

Yours sincerely,



PAT O'CONNELL

6 Mangola Court, Larrakeyah

Development Submission - PA2025/0045

To Whom It May Concern,

We are submitting a formal objection to **Development Application PA2025/0045** concerning the designation of the primary street frontage for the proposed development.

We are the owners of Unit 2, 135 Smith Street, which directly adjoins the proposed development site, and we have significant concerns regarding the accuracy of the primary street frontage designation and the impact this development will have on our property and the broader streetscape.

We have significant concerns about how the proposed setbacks deviate from planning standards, impacting the streetscape, ventilation, privacy, and overall liveability of the area.

We are submitting a formal objection to Development Application PA2025/0045, specifically regarding the setbacks, breezeway disruption, privacy concerns, building height, and traffic implications of the proposed development.

1. Incorrect Designation of Primary Street Frontage

The developer has proposed that 8 Mangola Court be designated as the primary street frontage.

However, we believe this is incorrect and inconsistent with existing planning principles under the

Northern Territory Planning Scheme (Clause 5.4.3), which states:

'Where a site has two or more street frontages, the primary street is generally decided by which

street has the widest carriageway or the street that carries the greater volume of traffic.'

- The development site has dual street frontages: Mangola Court and Smith Street.
- Smith Street has the widest carriageway and carries significantly more traffic than Mangola Court.
- Based on the NT Planning Scheme criteria, Smith Street should be designated as the primary street frontage.

2. Setback Concerns - Streetscape and Alignment Issues

- The proposed development features significantly reduced setbacks compared to existing residential buildings along Smith Street.
- Current setbacks along Smith Street maintain a consistent and aesthetically cohesive streetscape, with our unit at 135 Smith Street having a 5.2m setback (4.2m for balconies).
- In contrast, the proposed development will have a 1.5m setback (2m for balconies), creating severe misalignment and an abrupt visual disruption along Smith Street.
- This inconsistency will negatively affect the uniformity of the area, making the new structure appear intrusive and out of place.
- The minimal setback will also create a crowded street frontage, impacting pedestrian movement and safety.

NT Planning Scheme Reference:

- Clause 5.4.3 outlines the minimum primary street setbacks, which must align with the established character of the area.
- The proposed development's setback does not comply with the predominant pattern of buildings in this location.

3. Inconsistencies with Adjoining Properties and Precedent

The development site mirrors the unit complex at 135 Smith Street, where our property is located.

Both our complex and the ongoing development at 133 Smith Street have Smith Street as the designated primary street frontage, despite their vehicle entries being located on Malabar Court.

Permitting the 8 Mangola Court site to designate Mangola Court as its primary frontage creates an inconsistency in planning precedents for developments with dual street frontages in this area.

4. Impact on Streetscape, Aesthetics, and Setbacks

If this application is approved using Mangola Court as the primary frontage, the proposed development will significantly disrupt the uniformity of the Smith Street streetscape, with negative consequences including:

- Misaligned setbacks:
- The proposed development will have a 1.5m setback from Smith Street (2m for balconies).
- In contrast, our unit at 135 Smith Street has a 5.2m setback (4.2m for balconies).
- This disparity will create a visually jarring misalignment, reducing the aesthetic appeal of the area.

- Obstruction of green space and natural airflow corridors:
- The new development would obstruct views of the green space along Smith Street.
- It would also interfere with the natural breezeway corridor that channels airflow from Cullen Bay

and Mindil Beach, negatively impacting ventilation and cooling for surrounding properties.

5. Breezeway and Natural Ventilation Concerns

- The existing Smith Street corridor serves as an important breezeway, allowing natural ventilation from Cullen Bay and Mindil Beach.
- The introduction of a four-storey structure with minimal setbacks will restrict airflow, increasing heat retention and reducing cooling effects for surrounding residences.
- The increased density with limited space contradicts urban planning principles aimed at preserving natural ventilation corridors.
- The negative impact on airflow could lead to higher temperatures and reduced air quality for neighbouring properties.

6. Severe Privacy Intrusion and Property Value Impact

- The proposed building directly overlooks Units 2, 4, and 6 at 135 Smith Street.
- The balconies and living spaces of the new development will have a direct line of sight into these units' balconies, kitchens, and lounge rooms, resulting in a complete loss of privacy.
- This intrusion will negatively impact our way of life and most likely reduce the property values of the existing units in our complex due to compromised privacy and aesthetic inconsistency.

7. Privacy and Overlooking Issues

- The proposed development features ^{**}balconies and windows that directly overlook neighbouring residences.
- Units 2, 4, and 6 at 135 Smith Street will be severely impacted by direct views into balconies, living rooms, and kitchens, compromising privacy.
- The minimal setback does not provide sufficient separation between dwellings, making privacy intrusions inevitable.
- There is no mention of privacy mitigation measures, such as screening or increased setbacks, in the proposal.

NT Planning Scheme Reference:

- Clause 7.1.2 states that residential development must not unduly overlook neighbouring properties.
- Clause 5.4.3 outlines setback requirements that are intended to mitigate privacy concerns.

8. Building Height and Streetscape Impact

- The proposed development is four storeys high, which may exceed height restrictions in this area.
- The height will create overshadowing of adjacent residences, particularly affecting access to natural light for existing homes.
- In addition to its height, the lack of adequate setbacks intensifies the impact of bulk and scale, further disrupting the character of the area.
- The contrast between existing developments and the new structure will create an imbalance in the built environment.

NT Planning Scheme Reference:

- Clause 6.1 outlines general building height controls (8.5m limit unless conditions apply).
- Clause 7.1.2 provides guidance on height restrictions and their impacts on neighbouring properties.

9. Traffic, Parking & Accessibility Issues

- The facility will introduce new traffic demands, including service vehicles, emergency response units, and visitor traffic.
- Given its proximity to existing residential developments, there may be concerns about increased congestion and parking shortages.
- Insufficient on-site parking provision will likely lead to overflow parking on surrounding streets, increasing congestion and safety hazards.

NT Planning Scheme Reference:

- Clause 6.5.1 requires sufficient off-street parking to prevent street congestion.

We respectfully request that the Northern Territory Planning Authority reject the proposed setbacks and require compliance with established setback norms along Smith Street.

Additionally, the impact on breezeway ventilation, privacy, building height, and traffic must be addressed before approving the development.

We further request that the Northern Territory Planning Authority reject the designation of Mangola Court as the primary street frontage for Development Application PA2025/0045.

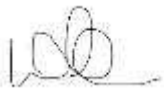
Smith Street must be designated as the primary street frontage in accordance with NT Planning Scheme Clause 5.4.3, ensuring consistency with existing developments, streetscape alignment, and minimal adverse impact on adjoining properties.

We strongly urge the Planning Authority to enforce setback standards that align with surrounding properties to maintain the character, airflow, privacy, and safety expectations of the existing residential community.

Thank you for considering our submission.

Sincerely,

William and Kelly Hunter

A handwritten signature in dark ink, appearing to be 'W. Hunter', with a horizontal line extending to the right.A handwritten signature in dark ink, appearing to be 'K. Hunter', with a horizontal line extending to the right.

Owners, Unit 2, 135 Smith Street

Mr Amit Magotra
Manager Urban Planning
Department of Infrastructure, Planning & Logistics
GPO Box 1680
DARWIN NT 0801

Please Quote: PA2025/0045

28 February 2025

Dear Mr Magotra

Parcel Description: **Lot 1229 Town of Darwin
8 Mangola Ct, Larrakeyah**

Proposed Development: **Residential Care Facility (9 units and associated
facilities in a 4-storey building)**

Thank you for the development application referred to this office on 14 February 2025 concerning the above.

The following matters are raised for consideration by the Development Consent Authority (Authority):

- i). **City of Darwin requests that should a development permit be issued, that the following be provided as conditions precedent:**
- a). A dilapidation report covering all infrastructure (including street trees) located in the road reserve is to be submitted to the satisfaction of City of Darwin.
 - b). Access to the site shall meet City of Darwin requirements, particularly the number of and width/s of the proposed crossover/s.
 - c). **Stormwater**

City of Darwin requests that the Authority require an engineered plan completed by a suitably qualified civil engineer. The plan is to demonstrate the on-site collection of stormwater, surface levels and its discharge into the local underground stormwater drainage system be submitted to, and be approved by City of Darwin, prior to the stormwater condition precedent being cleared.



The plan shall include details of site levels, City of Darwin's stormwater drain connection point/s and connection details.

d). **Waste**

City of Darwin requests that the Authority require a Waste Management Plan demonstrating waste disposal, storage and removal in accordance with City of Darwin's Waste Management Guidelines.

Further information is located within City of Darwin's Waste Management Guidelines, which can be viewed on City of Darwin's website or by contacting City of Darwin.

e). **Traffic**

City of Darwin requires a comprehensive Traffic Impact Statement (TIS), to be prepared by a qualified traffic engineer in accordance with the Austroads Document Guide to Traffic Management Part 12: Traffic Impacts of Developments, in the report structure provided as Appendix of that document, with particular attention to vehicular, pedestrian, cyclist and public transport issues, intersection/road network performance and opportunities.

The report must also include swept path analysis for waste collection vehicles entering and exiting the site, as well as an assessment of sightlines for the proposed driveway access and adjacent block wall fence to ensure the safety of pedestrians and cyclists using the footpath adjacent to the subject site.

The report should identify any necessary upgrades to the surrounding street network as a result of the implications of the development. The developer will be required to institute all required upgrade measures resulting from the traffic assessment at no cost to City of Darwin.

f). **Site Construction Management Plan**

City of Darwin requests that a Site Construction Management Plan (SCMP) be required.

The SCMP should specifically address the impact to City of Darwin owned land and infrastructure, including the following:

- waste management plan for disposal of waste to Shoal Bay
- traffic control for affected City of Darwin roads
- haulage routes
- storm water drainage & sediment control
- use of City of Darwin land, and
- how this land will be managed during the construction phase.

all to the satisfaction of City of Darwin.

Note: Sediment control measures are to be established and maintained, to prevent silt and sediment escaping the site or causing erosion.



Building rubbish or debris must not be placed, or be permitted to be placed, on any adjoining public reserve, footpath or road, without first obtaining approval from City of Darwin.

ii). **Should the above issues be adequately addressed, City of Darwin offers the following comments:**

City of Darwin comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

a). **Works within City of Darwin Road Reserve**

The proposal includes works within the City of Darwin road reserve.

All works must comply with City of Darwin policies and guidelines and are subject to a separate assessment and approval process by City of Darwin. City of Darwin requires that the applicant obtain all necessary approvals before commencing any construction in the road reserve.

b). **Protection of Street Trees**

City of Darwin requests that the Authority require an Arboriculture Impact Assessment (AIA), compliant with AS 4970-2009. The AIA is to be completed by a suitably qualified arborist, with an AQF Level 5 or higher qualification in Arboriculture.

The AIA shall identify the Tree Protection Zone and include all trees on City of Darwin land that may be affected by the development, and provide recommendations for the tree's protection, with any identified conditions defined within the AIA being adhered to at all times.

Copies of AS 4970-2009 Protection of Trees on Development Sites can be obtained from the Australian Standards web site.

c). **Building Identification**

In accordance with City of Darwin By-Laws, prior to occupation, the applicant shall ensure that a building number is displayed in a position clearly visible from the street. The number must be visible against the background on which it is placed, to the satisfaction and at no cost to City of Darwin.

Should this application be approved, the following conditions pursuant to the *Planning Act 1999* and City of Darwin's responsibilities under the *Local Government Act 2019* are also recommended for inclusion in the development permit issued by the Development Consent Authority.

- Any damaged or removed infrastructure located in, on or over the road reserve (inclusive of preexisting street trees), is to be repaired or replaced at either the developers or landowners' cost, to the satisfaction of City of Darwin.



- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by City of Darwin and all approved works shall be constructed at the applicant's expense, to the requirements of City of Darwin.
- The location, design and specifications for proposed and affected crossovers shall be provided at the applicant's expense, to the satisfaction of City of Darwin.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and shared paths shall be provided, stormwater shall be collected and discharged into City of Darwin's drainage network, all of which is to be provided at the applicant's expense, to the requirements and satisfaction of City of Darwin.
- Sight lines shall be provided at crossovers to public streets, to the satisfaction of, City of Darwin. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- All developments on/or adjacent to any easements on-site, in favour of City of Darwin shall be carried out to the requirements and satisfaction of City of Darwin.
- Waste bin enclosures, storage and pick-up shall be provided in accordance with City of Darwin's Waste Management Guidelines.
- All works on/over City of Darwin property shall be subject to separate application to City of Darwin and shall be carried out to the requirements and satisfaction of City of Darwin.
- Any proposed stormwater connections to City of Darwin stormwater system shall be subject to separate application to City of Darwin and shall be carried out to the requirements and satisfaction of City of Darwin.

If you require any further information in relation to this application, please feel free to contact City of Darwin's Innovation Team on 8930 0300 or darwin@darwin.nt.gov.au

Yours sincerely

Signed by:

F364137ACAF3F7E2
ALICE PERCY
GENERAL MANAGER INNOVATION

Phone 1800 245 092

Web powerwater.com.au

Record No: D2025/68706

Container No: NE200/1229

Your Ref: PA2025/0045

Madison Harvey
Development Assessment Services
GPO Box 1680
Darwin NT 0801

Dear Madison

Re: Lot 1229 (8) Mangola Court Larrkeyah Town of Darwin

In response to your letter of the above proposal for the purpose of Residential Care Facility (9 units and associated facilities in a 4-storey building), Power and Water Corporation (PWC) advises the following with reference to electricity enquiries:

1. Existing overhead service from Smith Street for the current single dwelling does not have the capacity to meet the new power demand of the proposed development on Lot 1229.
2. There is a package Substation 2954 on the adjacent Lot 1230 on Mangola Court which can be upgraded to provide the capacity and low voltage connection point to a new distribution pillar (with 1.0m x 1.0m electricity easement) on Lot 1229 for power supply to the proposed development.
3. The Developer shall engage accredited electrical consultant and contractor (from the attached accreditation list) to design and construct the low voltage electricity network extension as required in consultation with PWC.
4. The Developer's engaged electrical consultant shall provide details of AS-3000 maximum demand calculation and apply for a Negotiated Connection application under the Australian Energy Regulator (AER) compliance process for PWC's assessment on power supply capacity upgrade requirements.
5. PWC shall check and approve the consultant's electrical design drawings for construction by the Developer's contractor and carry out final connection work at applicable cost under the AER assessment process.
6. The Developer shall engage a licensed electrician to install customer's internal electricity reticulation in accordance with PWC's current NP018-Service Rules and Installation Rules 2024 and NP010-Meter Manual.

If you have any further queries, please contact the undersigned on 8924 5729 or email:

PowerDevelopment@powerwater.com.au

Yours sincerely



Thanh Tang
Manager Distribution Development

17 February 2025



POWER AND WATER CORPORATION (NT) - POWER SERVICES

DEVELOPER WORKS - GIFTED ASSETS

LIST OF OVERHEAD ACCREDITED ELECTRICAL CONTRACTORS

	Company Name	Contact Person	Contact Phone No.	Contact Email
1	AA ELECTRICAL SERVICES (NT)	SHELLEY GRAY	0448 298 158	accounts@aaelectrical.com.au
2	COPLINK (NT)	GRAHAM COPLEY	0409 842 598	coplink@bigpond.net.au
3	COWELL ELECTRIC SUPPLY (SA)	AARON JONES	(08) 8629 2136	admin@cowellelectric.com.au
4	DEC INSTALLATIONS (NT)	ROBERT GRAHL	(08) 8947 7650	robert.grahl@dec.net.au
5	ENERVEN (SA) - COMPANY OF SA POWER NETWORKS	ROD MITCHELL	0427 580 219	rod.mitchell@enerven.com.au
6	ESPEC (NT)	PETER BADKIN	0491 148 543	info@espec.com.au
7	DUITS ELECTRICAL (NT)	DENHAM HUSSIES	0447 187 032	duits.electrical@outlook.com
8	MECNT ELECTRICAL CONTRACTORS (NT)	SAM MOLLOY	0427 055 165	sam@mecnt.com.au
9	MG ELECTRICAL SERVICES (NT)	EUAN BUNTINE	0427 271 424	euan.buntine@mgelectrical.com.au
10	NIGHTCLIFF ELECTRICAL (NT)	RICHARD JOHNSTON	0457 733 456	admin@nightcliffelectrical.com.au
11	NORGROUP (NT)	DAMIEN RIDLEY	0427 040 078	damian@norgroup.com.au
12	NORTHERN POWER SERVICES (NT)	GORDON JABOUR	(08) 8983 3388	admin@nps1.com.au
13	NT ELECTRICAL GROUP (NT)	BRAD FULLWOOD	(08) 8947 5500	admin@nteg.com.au
14	NT POWER LINES AND ELECTRICAL (NT)	ROBERT TIMMS	0429 780 388	manager@ntpowerlines.com.au
15	AUS PROJECTS (NT) - previous Power Project	ANDREW HARVEY	(08) 8972 2211	andrew@auspnt.com.au

LIST OF UNDERGROUND ACCREDITED ELECTRICAL CONTRACTORS

	Company Name	Contact Person	Contact Phone No.	Contact Email
1	AA ELECTRICAL SERVICES (NT)	SHELLEY GRAY	0448 298 158	accounts@aaelectrical.com.au
2	ABR GROUP (NT)	ADAM RYKERS	0414 863 874	adam.rykers@abrgroupnt.com.au
3	ALENCO (NT)	NATHAN DRUMMOND	0423 681 753	nathan@alencont.com.au
4	AMPCONTROL NT	GARETH KRUGER	08 8947 5702	NTadmin@ampcontrolgroup.com
5	CENTRE ELECTRICAL SERVICES (NT)	STEVE BASKERVILLE	0427 976 952	centreelectrical@bigpond.com
6	CoMATE (NT)	MARK DUFFY	0439 217 084	mark.duffy@comate.com.au
7	COMBINED ELECTRICAL (NT)	JEFF REES	(08) 8924 9700	administration@combinedelectricalnt.com.au
8	COPLINK (NT)	GRAHAM COPLEY	0409 842 598	coplink@bigpond.net.au
9	COWELL ELECTRIC SUPPLY (SA)	AARON JONES	(08) 8629 2136	admin@cowellelectric.com.au
10	DEC INSTALLATIONS (NT)	ROBERT GRAHL	(08) 8947 7650	robert.grahl@dec.net.au
11	DELTA ELECTRICS (NT)	ANDREW BOLLER	(08) 8984 4033	reception@deltaelectrics.com.au
12	DICE (AUST) NT	TERRY DENT	(08) 8932 1109	info@diceaust.com.au
13	DUITS ELECTRICAL (NT)	DENHAM HUSSIES	0447 187 032	duits.electrical@outlook.com
14	ENERVEN (SA) - COMPANY OF SA POWER NETWORKS	ROD MITCHELL	0427 580 219	rod.mitchell@enerven.com.au
15	ESPEC (NT)	PETER BADKIN	0491 148 543	info@espec.com.au
16	KELLYCO ELECTRICAL SERVICES (NT)	DON KELLY	0429 897 630	don@kellyco.net.au
17	KENNELLY CONSTRUCTIONS (NT)	SHANE KENNELLY	0409 411 658	shane.kennelly@kennelly.com.au
18	MECNT ELECTRICAL CONTRACTORS (NT)	SAM MOLLOY	0427 055 165	sam@mecnt.com.au
19	MG ELECTRICAL SERVICES (NT)	EUAN BUNTINE	0427 271 424	euan.buntine@mgelectrical.com.au
20	NIGHTCLIFF ELECTRICAL (NT)	RICHARD JOHNSTON	0457 733 456	admin@nightcliffelectrical.com.au
21	NILSEN (NT)	BRENNAN PLOUGHMAN	(08) 8947 1134	brennanploughman@nilsen.com.au
22	NORGROUP (NT)	DAMIEN RIDLEY	0427 040 078	damian@norgroup.com.au
23	NORTHERN POWER SERVICES (NT)	GORDON JABOUR	(08) 8983 3388	admin@nps1.com.au
24	NRG SERVICES (QLD)	TIM O'NEILL	0498 989 048	tim.oneill@nrgservicesqld.com.au
25	NT ELECTRICAL GROUP (NT)	BRAD FULLWOOD	(08) 8947 5500	admin@nteg.com.au
26	NT POWER LINES AND ELECTRICAL (NT)	ROBERT TIMMS	0429 780 388	manager@ntpowerlines.com.au
27	AUS PROJECTS (NT) - previous Power Project	ANDREW HARVEY	(08) 8972 2211	andrew@auspnt.com.au
28	THE ELECTRICAL MOB (NT)	LEONARD EICHMANN	0402 519 851	admin@theelectricalmob.com.au
29	TOP END RACE (NT)	JASON KLEEFMAN	(08) 8946 5400	admin@topendrace.com.au

DISCLAIMER:

Power and Water disclaims all liability for any damage or financial loss arising from the use or reliance upon the above consultant and contractor credentials.

The Developer must carry out actual project checks from contractors' competency claims of specific fields of expertise prior to making appropriate decision for engagements.

Specific fields of construction expertise are: Overhead Reticulation Construction (up to 22kV), Underground Reticulation Construction (up to 22kV),

11kV/22kV Indoor Ground Level Substation Construction, 11kV/22kV Indoor Upper Level Substation Construction, Street Lighting Construction.



POWER AND WATER CORPORATION (NT) - POWER SERVICES

DEVELOPER WORKS - GIFTED ASSETS

LIST OF ACCREDITED ELECTRICAL DESIGN CONSULTANTS

	Company Name	Contact Person	Contact Phone No.	Contact Email
1	AECOM AUSTRALIA (NT)	JAMES JENTZ	0409 665 088	james.jentz@aecom.com
2	AGA CONSULTING ENGINEERS (NT)	ALEK GANGUR	0411 262 714	alekg@agaeng.com.au
3	APD ENGINEERING (NT)	DUMINDA BOWATA	(08) 8995 5805	admin.nt@apdeng.com.au
4	ASHBURNER FRANCIS (NT)	GRAHAM HEASLIP	(08) 8942 0585	GrahamH@ashburnerfrancis.com.au
5	AURECON AUSTRALIA (NT)	CLINT TEVLIN	0408 653 469	clint.tevlin@aurecongroup.com
6	BCA ENGINEERS (NT)	KELVIN LOI	(08) 8132 1700	kelvinloi@bcaengineers.com
7	BESTEC (SA)	CLAIRE BARBER	(08) 8629 2136	cbarber@bestec.com.au
8	CELL ENGINEERING (NT)	NATHAN TING	0428 110 999	nathan.ting@celleng.com.au
9	CLARENCE CONSULTANTS (NSW)	MATTHEW KARPIK	(02) 6642 7239	matt@clarenceconsultants.com.au
10	ENERVEN (SA) (PART OF SA POWER NETWORKS)	ROD MITCHELL	0427 580 219	rod.mitchell@enerven.com.au
11	ERDS (QLD)	SHAY QUINN	(07) 3518 3100	admin@erds.com.au
12	GHD (NT)	ANDREW SAXELBY	(08) 8982 0150	andrew.saxelby@ghd.com
13	GPA Engineering (NT)	HANNAH FARROW	(08) 8299 8300	Hannah.Farrow@gpaeng.com.au
14	HK SOLUTIONS (NT)	RICHARD OPPUSUNGGU	0431 662 275	richard.oppusunggu@hksolutions.com.au
15	JACOBS GROUP AUSTRALIA (NT)	RYAN KRATE	(08) 8982 4800	ryan.krate@jacobs.com
16	JDSi CONSULTING ENGINEERS (WA)	NORMAN MCKENDRY	0438 638 222	norman.mckendry@jdsi.com.au
17	PERACON GROUP (QLD) - previously LECTEL	CHARLIE VELLA	0412 021 651	cvela@peracon.com.au
18	LUCID (NT)	CIARAN FARRELL	(08) 8947 6824	ciaran.farrell@lucidconsulting.com.au
19	MDA CONSULTING (QLD)	MAURICE DUFFILL	(07) 3252 9560	info@mdaengineers.com.au
20	NTBS CONSULTING ENGINEERS (NT)	WILL PURTILL	(08) 8981 9888	will@ntbsconsulting.com
21	PCE (POWER CONROL ENGINEERS) (NSW)	BYRCE PARKER	0448 281 754	byrce.parker@pceng.com.au
22	SMEC (QLD)	TERRY McCAULEY	0457 821 034	Terry.McCauley@smec.com
23	TRINAMIC CONSULTANTS (SA)	DAVID WILSON	(08) 8232 3737	davidw@trinamic.com.au
24	Wallbridge Gilbert Aztec, WGA (NT)	ANDREW McLEOD	(08) 8941 1678	AMcLeod@wga.com.au
25	WSP (NT)	FIROUZE AMANPOOR	(08) 8980 5900	Firouzeh.Amanpoor@wsp.com

DISCLAIMER:

Power and Water disclaims all liability for any damage or financial loss arising from the use or reliance upon the above consultant credentials.

The Developer must carry out actual project checks from consultants' competency claims of specific fields of expertise prior to making appropriate decision for engagements.

Specific fields of expertise are: Overhead 11kV/22kV Subdivision Design, Underground 11kV/22kV Subdivision Design, Overhead 11kV/22kV Servicing Development Design,

Underground 11kV/22kV Servicing Development Design, 11kV/22kV Indoor Ground Level Substation Design, 11kV/22kV Indoor Upper Level Substation Design,

Overhead 66kV and above Transmission Lines Design, Underground 66kV and above Transmission Lines Design.



Container No: LD200/1229

DIPL - Development Assessment Services
GPO Box 1680
Darwin NT 0801

Dear Madison Harvey,

RE: PA2025/0045 - Lot 1229 Town of Darwin - 8 Mangola Court Larrakeyah - Residential Care Facility (9 units and associated facilities in a 4-storey building).

In response to your letter of the above proposal for development application purpose, Power and Water Corporation Water Services advises the following with reference to water and sewer enquiries:

1. The developer may need to upgrade the existing water and sewer service and should contact Services Development prior to start of construction.
2. Power and Water require separate water meters where there are residential and non-residential body corporate arrangements. Sewer charge differs between residential and non-residential and is billed to the appropriate body corporate. The developer must advise Power and Water of the body corporate arrangements as early as possible to ensure appropriate billing arrangements are made. All water and/or sewer easements must be identified on the appropriate levels under the unit title subdivision survey plans.
3. The developer must ensure that;
 - a) Backflow prevention is installed at the water service in accordance with AS/NZS 3500.1 – Plumbing and Drainage - Water Services
 - b) Where applicable, the device is tested annually in accordance with AS/NZS 2845.3 field testing and maintenance of testable devices.Visit <https://www.powerwater.com.au/developers/water-development/backflow-prevention> or contact BackflowPrevention.PWC@powerwater.com.au for all backflow prevention enquires.
4. The developer must ensure that;
 - a) Prior to construction Trade Waste approval or exclusion is obtained – to discuss requirements for the proposed development contact TradeWasteDept.PWC@powerwater.com.au
 - b) Before seeking clearance the owner/customer has obtained a License to discharge Trade Waste by applying here <https://www.powerwater.com.au/developers/water-development/trade-waste>

5. All required works mentioned above must all be at according to Power and Water's Connection Code and at the developer's expense. A letter has been sent to the applicant outlining the fees and charges applicable for this development. All standard and quoted charges, as well as contribution charges will be valid for a period of 6 months from date of letter issue. As required, Power and Water will reassess the charges for the development.
6. Power and Water advises that the Water and Sewer Services Development Section (waterdevelopment@powerwater.com.au) and Power Network Engineering Section (powerdevelopment@powerwater.com.au) must be contacted via email a minimum of 1 month prior to construction works commencing.

If you have any further queries, please contact the undersigned on (08) 8924 5226, or email waterdevelopment@powerwater.com.au

Yours sincerely

V. Ferraz

Voyia Ferraz

Services Development

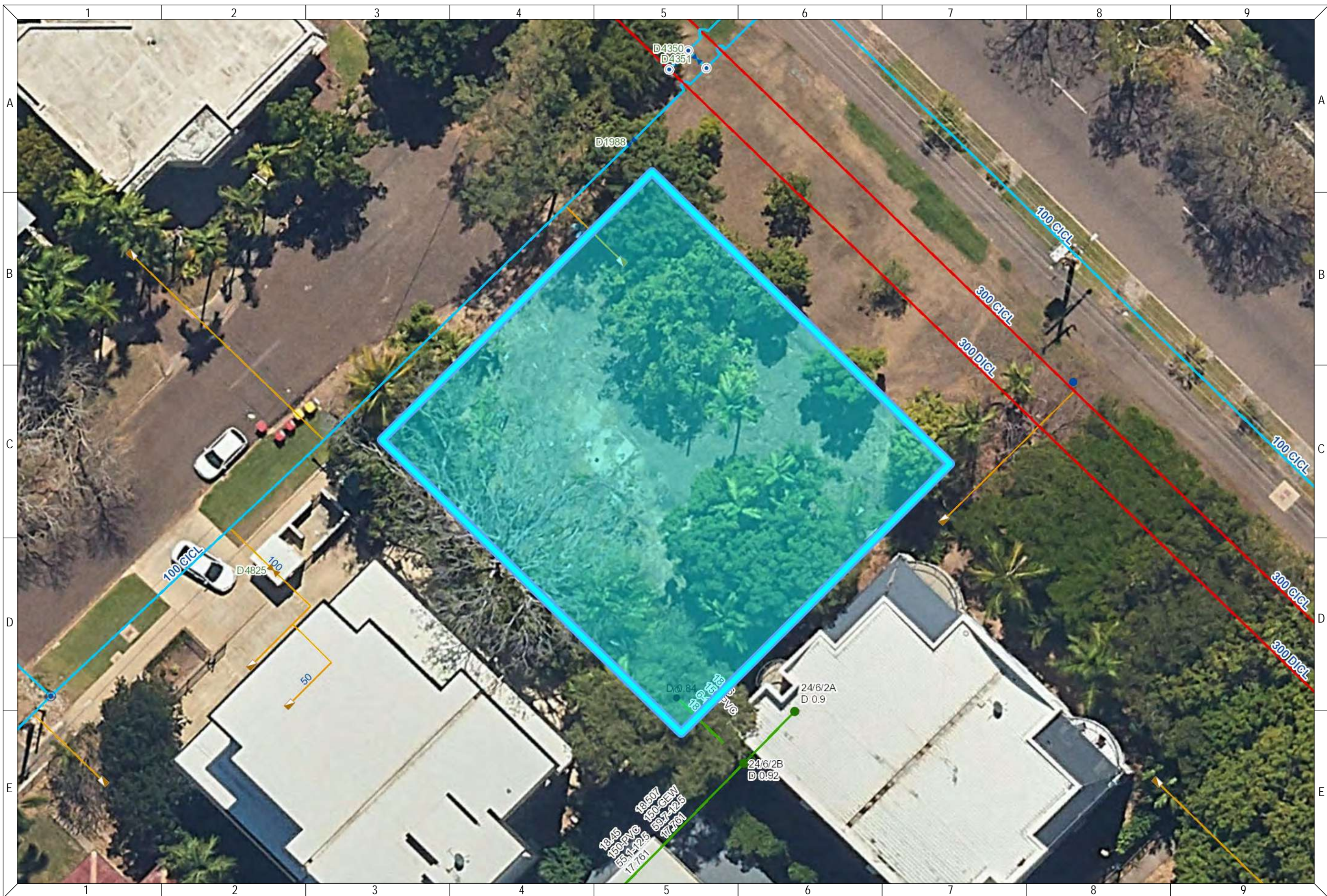
25 March 2025

cc: Maria Pajarillo

email: mmp@goldbox.com.au

All network data is the property of Power and Water and no warranty as to the accuracy or completeness of information is provided. No liability for any loss or damage arising from the use of this information will be accepted. Copyright (c) Power and Water Corporation.

Land information has been provided by the NT Department of Infrastructure, Planning and Logistics. Land data should not be used externally to Power and Water. Copyright (c) Northern Territory Government.



Ms Madison Harvey
Department of Lands, Planning and Environment
GPO Box 1680
DARWIN NT 0801

Dear Ms Harvey

Re: PA2025/0045 Residential Care Facility (9 units and associated facilities in a 4-storey building)

The above application has been assessed by the relevant environmental divisions within the department and the following comment is provided:

Environment Division

Environmental Operations

The information provided regarding the proposal does not appear to trigger licensing requirements of an Environment Protection Approval under the *Waste Management and Pollution Control Act 1998* (WMPC Act).

Should the proponent collect, transport, store, recycle or treat listed wastes on a commercial or fee for service basis as part of the premises development, then an Environment Protection Approval or Licence will be required to authorise the activity under the WMPC Act. Any listed wastes generated during the construction or operation of the facility must be transported by an appropriately licensed waste handler to an appropriately licensed facility for treatment, recycling and/or disposal.

There are statutory obligations under the WMPC Act that require all persons to take all measures that are reasonable and practicable to prevent or minimise pollution or environmental harm and reduce the amount of waste. The proponent is required to comply at all times with the WMPC Act, including the General Environmental Duty under section 12 of the WMPC Act. There is also a requirement to obtain an authorisation prior to conducting any of the activities listed in Schedule 2 of the WMPC Act.

Guidelines to assist proponents to avoid environmental impacts are available on the Northern Territory Environment Protection Authority (NT EPA) website¹.

To help satisfy the General Environmental Duty, the proponent is advised to take notice of the list of environmental considerations below. The list is not exhaustive, and the proponent is responsible for ensuring their activities do not result in non-compliance with the WMPC Act.

¹ <https://ntepa.nt.gov.au/publications-and-advice/environmental-management>

The WMPC Act, administered by the NT EPA, is separate to and not reduced or affected in any way by other legislation administered by other departments or authorities. The NT EPA may take enforcement action or issue statutory instruments should there be non-compliance with the WMPC Act.

A non-exhaustive list of environmental issues that should be considered to help satisfy the environmental duty are listed below.

1. **Dust:** The proposed activities have the potential to generate dust, particularly during the dry season. The proponent must ensure that nuisance dust and/or nuisance airborne particles are not discharged or emitted beyond the boundaries of the premises.
2. **Noise:** The proponent is to ensure that the noise levels from the proposed premises comply with the latest version of the NT EPA Northern Territory Noise Management Framework Guideline available online².
3. **Erosion and Sediment Control (ESC):** The proponent must ensure that pollution and/or environmental harm do not result from soil erosion.

The ESC measures should be employed prior to and throughout the construction stage of the development. Larger projects should plan, install and maintain ESC measures in accordance with the current International Erosion and Sediment Control Association (IECA) Australia guidelines and specifications.

Where sediment basins are required by the development, the NT EPA recommends the use of at least Type B basins, unless prevented by site specific topography or other physical constraints.

Basic advice for small development projects is provided by the NT EPA document: Guidelines to Prevent Pollution from Building Sites³ and Keeping Our Stormwater Clean⁴.

4. **Water:** If this activity requires the discharge of waste to water or could cause water to be polluted then a waste discharge licence under the *Water Act 1992* (NT) may be required. Please refer to the Guidelines⁵.
5. **Storage:** If an Environment Protection Approval or Environment Protection Licence is not required, the proponent should store liquids only in secure bunded areas in accordance with VIC EPA Publication 1698: Liquid storage and handling guidelines, June 2018, as amended. Where these guidelines are not relevant, the storage should be at least 110% of the total capacity of the largest vessel in the area.

Where an Environment Protection Approval or Environment Protection Licence is required, the proponent must only accept, handle or store at the premises listed waste, including asbestos, as defined by the WMPC Act, in accordance with that authorisation.

6. **Site Contamination:** If the proposal relates to a change of land use or if the site is contaminated, including as a result from historical activities such as cyclones, a contaminated land assessment maybe required in accordance with the National Environment Protection (Assessment for Site Contamination) Measure (ASC NEPM). The proponent is encouraged to refer to the information provided on the NT EPA website⁶ and the NT Contaminated Land Guidelines⁷.

² https://ntepa.nt.gov.au/_data/assets/pdf_file/0004/566356/noise_management_framework_guideline.pdf

³ https://ntepa.nt.gov.au/_data/assets/pdf_file/0010/284680/guideline_prevent_pollution_building_sites.pdf

⁴ https://ntepa.nt.gov.au/_data/assets/pdf_file/0006/284676/guideline_keeping_stormwater_clean_builders_guide.pdf

⁵ https://ntepa.nt.gov.au/_data/assets/pdf_file/0005/950603/guidelines-waste-discharge-licensing.pdf

⁶ <https://ntepa.nt.gov.au/your-environment/contaminated-land>

⁷ https://ntepa.nt.gov.au/_data/assets/pdf_file/0020/434540/guideline_contaminated_land.pdf

7. **Waste Management - Import and Export of Fill:** The proposed activities have the potential to generate fill and/or involve the importation of fill for use on-site. Untested fill material may already be present on the site. All fill imported or generated and exported as part of the activity must either be certified virgin excavated natural material (VENM) or be sampled and tested in line with the NSW EPA Guidelines⁸.

All imported fill material must be accompanied by details of its nature, origin, volume, testing and transportation details. All records must be retained and made available to authorised officers, upon request. The proponent should also consider the following NT EPA fact sheets: How to avoid the dangers of accepting illegal fill onto your land⁹, and Illegal Dumping - What You Need to Know¹⁰.

8. **Odour or Smoke:** The proposed activities may have the potential to create odours and/or smoke. The proponent must ensure that nuisance odours or smoke are not emitted beyond the boundaries of the premises.

Heritage Branch

Context of Heritage Branch Advice

The Northern Territory (NT) Government's Heritage Branch administers the *Heritage Act 2011* and provides authoritative advice about obligations under the *Heritage Act 2011*, including steps to take to manage the impact of proposed work on Aboriginal and Macassan archaeological places and objects.

It is important that advice provided by the Heritage Branch is followed. A failure to follow advice received from the Heritage Branch may be considered as evidence in an investigation if damage occurs to a declared heritage place, an Aboriginal or Macassan archaeological place or object.

Relevant parts under the NT's *Heritage Act 2011*:

1. All provisionally declared and declared heritage places and objects are protected under the *Heritage Act 2011*;
2. All Aboriginal or Macassan archaeological places and objects are automatically protected - this includes places and objects not previously recorded;
3. Places and objects include an artefact or thing given shape by a person - examples include stone tools, stone arrangements, fish traps, rock art, modified trees, and shell middens;
4. Ancestral remains are also protected;
5. Underwater Cultural Heritage is protected, up to three nautical miles from the coast; and
6. There is an obligation to notify of the discovery of Aboriginal or Macassan archaeological places or objects.

Conditions of advice

1. This advice is based on the description of the works provided to the Heritage Branch. If the work expands or changes significantly seek further advice.
2. In preparing this advice, the Heritage Branch has referred to the NT Heritage Register and the Heritage Branch archaeological database which includes information about Aboriginal and Macassan archaeological places and objects in the NT. However, the database only includes information about known archaeological places. The fact that there are no known archaeological

⁸ <https://www.epa.nsw.gov.au/your-environment/waste/classifying-waste/virgin-excavated-natural-material>

⁹ https://ntepa.nt.gov.au/_data/assets/pdf_file/0005/285728/factsheet_avoid_danger_accepting_illegal_fill_to_your_land.pdf

¹⁰ https://ntepa.nt.gov.au/_data/assets/pdf_file/0008/285740/factsheet_illegal_dumping_what_you_need_to_know.pdf

places recorded may be because no archaeological surveys have been conducted in that particular area and is not necessarily an indication they do not exist.

Actions

The following actions have been taken in relation to the enquiry:

- A search of the NT Heritage Register;
- A search for known archaeological places located within the subject site on the Heritage Branch archaeological database;
- A search for known archaeological places located within the proximity of the subject site on the Heritage Branch archaeological database;
- The extent of pre-existing ground disturbance;
- The scale and nature of the work proposed (major, moderate or minor);
- Areas identified as being excluded from the work footprint e.g. riparian buffers; and
- An assessment of the likelihood of unrecorded archaeological places existing within the subject site, based on landscape features, known archaeological places in the vicinity, and other predictive tools.

Advice

The search has found that there are no known Aboriginal or Macassan archaeological places and objects within the subject site, and the likelihood of unrecorded Aboriginal or Macassan archaeological places existing is unlikely. If archaeological places are discovered over the course of the work, establish an exclusion zone around the site and contact the Heritage Branch immediately.

The search has found that there are no nominated, provisionally declared or declared heritage places or objects within the subject area.

Should you have any further queries regarding these comments, please contact the Development Coordination Branch by email DevelopmentAssessment.DEPWS@nt.gov.au or phone (08) 8999 4446.

Yours sincerely



Maria Wauchope
Executive Director Rangelands

27 February 2025

Technical Assessment PA2025/0045

TECHNICAL ASSESSMENT OF PROPOSED DEVELOPMENT AGAINST RELEVANT PROVISIONS OF THE NORTHERN TERRITORY PLANNING SCHEME 2020

Application No: PA2025/0045

Lot number: 01229

Town/Hundred: Town of Darwin

Zone: HR (High Density)

Site Area: 726 m²

Proposal: Residential Care Facility (15 beds) in a 4 storey building

Plans used for assessment: Architectural plans prepared by Jazz Designs; Statement of Effect prepared by Goldbox

Date assessment finalised: 16 May 2025

This review has been completed pursuant to the Northern Territory Planning Scheme 2020 (the Planning Scheme). The proposal has been assessed as being for Residential Care Facility within Zone HR.

The application requires consent under the Northern Territory Planning Scheme 2020 as described in the tables and sections below:

Assessment Table – Zone HR					
Defined Use	Assessment Category	Overlays	General Development Requirements	Location Specific Development Requirements	Specific Development Requirements
Residential Care Facility	Impact Assessable	N/A	5.2.1 General Height Control 5.2.4 Car Parking 5.2.5 Loading Bays 5.2.6 Landscaping 5.2.7 Setbacks for Development Adjacent to Land in Zones LR, LMR, MR or HR 5.3.7 End of Trip Facilities in Zones HR, CB, C, SC and TC	N/A	5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures 5.4.7 Communal Open Space 5.4.8 Residential Building Design 5.4.15 Residential Care Facility 5.4.17 Building Articulation 5.4.18 Fencing

The application is **Impact Assessable under Clause 1.8(1)(c)(i)** of the NTPS2020 as the use is shown as *Impact Assessable* on the relevant assessment table in Part 4 of the NTPS2020.

An assessment of the relevant clauses are summarised in the table below.

Part 5 Clauses (General Development Requirements)	Compliance		
	Yes	No	N/A
5.2.1 General Height Control	X		
5.2.4.1 Car Parking Spaces	X		
5.2.4.4 Layout of Car Parking Area	X		
5.2.4.5 Vehicle Access and On-site Parking for Dwellings-Single on Lots Less			X
5.2.5 Loading Bays			X
5.2.6.1 Landscaping in Zones other than Zone CB	X		
5.2.6.2 Landscaping in Zone CB			X
5.2.7 Setbacks for Development Adjacent to Land in Zones LR, LMR, MR or HR			X

Part 5 Clauses (General Development Requirements in Specific Zones)	Compliance		
	Yes	No	N/A
5.3.7 End of Trip Facilities in Zones HR CB C SC and TC			X

Part 5 Clauses (Residential Specific Development Requirements)	Compliance		
	Yes	No	N/A
5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures		X	
5.4.3.2 Distance between residential buildings on one site			X
5.4.3.3 Reduced Setbacks for Dwellings-Single			X
5.4.4 Extensions and ancillary structures to a dwelling-group or dwelling-multiple development			X
5.4.7 Communal Open Space		X	
5.4.8 Residential Building Design	X		
5.4.8.2 Building design for dwelling-multiple			X
5.4.15 Residential Care Facility	X		
5.4.17 Building Articulation		X	
5.4.18 Fencing		X	

1.8 When development consent is required

1. The need for **consent** and the level of assessment that applies to the use and development of land is set out in the framework below:
 - (c) *Impact Assessable* – use and development that requires the exercise of discretion by the consent authority to determine if it is appropriate given the location of the **site** and the potential impacts on surrounding uses, and if it accords with the Strategic Framework.

Use and development of land requires **consent** and is *Impact Assessable* when any of the following apply:

- i. it is shown as *Impact Assessable* on the relevant assessment table in Part 4;
- ii. it is for the subdivision of land other than that included at Clause 1.8(1)(b)(iii); or
- iii. it is identified as *Impact Assessable* in Clause 1.9; or
- iv. it is a *Prohibited* development which relates to a **heritage place** as set out in Clause 1.10(7)(b); or
- v. a provision of this Planning Scheme expressly requires assessment as *Impact Assessable*.

1.10 Exercise of Discretion by the Consent Authority

4. In considering an application for a use or development identified as *Impact Assessable* the consent authority must take into account all of the following:
 - (a) any relevant requirements, including the purpose of the requirements, as set out in Parts 5 or 6;
 - (b) any Overlays and associated requirements in Part 3 that apply to the land;
 - (c) the guidance provided by the relevant zone purpose and outcomes in Part 4, or Schedule 4.1 Specific Use Zones; and
 - (d) any component of the Strategic Framework relevant to the land as set out in Part 2.
5. The consent authority may **consent** to a proposed use or development that is not in accordance with a requirement set out in Parts 3, 5 or 6 only if it is satisfied that the variation is appropriate having regard to:
 - (a) the purpose and administration clauses of the requirement; and
 - (b) the considerations listed under Clause 1.10(3) or 1.10(4).

6. When consenting to the use or development of land, the consent authority may impose a condition requiring a higher standard of development than is set out in a requirement of Parts 3, 5 or 6 if it considers it necessary to the achievement of the Strategic Framework, the purpose of the overlay or the zone, or it considers it is otherwise necessary to do so.

This is a technical assessment of the proposal against the requirements of the Northern Territory Planning Scheme 2020 (NTPS2020) and is no indication of whether or not approval will be given by the consent authority.

2. Strategic Framework

The site is located within the following strategic frameworks:

Darwin Regional Land Use Plan (DRLUP) 2015:

The DRLUP 2015 applies to the site. It provides a broad framework for developing land in the NT and identifies the subject area for urban / peri-urban land-uses. The DRLUP provides key urban and peri-urban residential objectives as follows:

- Identify sufficient suitable opportunities for residential development to ensure an ongoing supply of lots to meet market demand.
- Encourage a diverse range of dwelling types and residential localities to cater for changing demographics (including single person households and an ageing population), to meet increasingly diverse community aspirations and minimise the impacts of development on established localities.
- Focus future urban development in localities close to established areas to enhance the economic viability of infrastructure extensions.
- Encourage detailed design that:
 - recognises the contribution natural and cultural sites make to urban character
 - provides for appropriate protection and maintenance of natural and conservation areas
 - is climatically appropriate and avoids the creation of heat islands

The proposed development is for a residential care facility which contributes to providing a diverse range of dwelling types. The site is currently vacant in an established locality and will contribute to providing ongoing supply of residential development.

Darwin Central Area Plan, September 2019 (CDAP)

The CDAP specifies that acceptable responses serve as action-based policy statements to guide land use and development, however, do not prevent the use of land consistent with the current zoning of the site. Furthermore, the CDAP 2019 may specify additional requirements for a development consistent with an existing zone

The site is identified for residential land uses and high density.

See below assessment of key objectives and acceptable responses for the 'Residential Theme'.

<i>1. Encourage appropriate housing options, neighbourhood and residential amenity to support the lifestyle of a diverse demographic</i>		
Objectives	Acceptable Responses	Assessment
1.1 Encourage residential buildings that provide for a broad spectrum of demographic groups	i. A variety of dwelling types are provided.	The proposed development is for a residential care facility which contributes to providing a diverse range of dwelling types. COMPLIES
1.2 Encourage development that contributes to the amenity of the public realm and reflects the character of the area	i. Building design responds to adjacent buildings and environments or adjacent buildings and environments reasonably anticipated.	The surrounding land uses are primarily residential in nature with all adjoining properties developed as mid-rise residential apartment buildings. Vegetation and landscaping within building

	<p>ii. Development fronting existing and future public spaces responds to the role and function of the individual space and provides opportunities for passive surveillance.</p> <p>iii. Bulk and scale of wide buildings is addressed through architectural design including, but not limited to, the presentation of multiple frontage types to the streetscape, modulation of the facade, or changes in material.</p> <p>iv. Buildings provide interest and active frontages at street level. Large expanses of blank walls or inactive frontages are to be avoided.</p>	<p>setbacks is a strong feature of the locality.</p> <p>The proposed development provides the following acceptable responses:</p> <ul style="list-style-type: none"> • The proposed development has a maximum building height of 4 storeys which responds to the existing height of surrounding properties. In addition, the development incorporates landscaping setbacks to all boundaries which responds to the landscape features of the locality. • The development adjoins an existing pedestrian footpath along Smith Street and provides habitable room windows and balconies which face Smith Street providing passive surveillance of the space.
1.3 Encourage sustainable development.	<p>i. Buildings and the urban environment demonstrate innovative responses to support cooling, heat mitigation, greening, water and energy efficiency, and waste reduction.</p>	<p>All dwellings have some windows that face either west or east, however, also have some windows that face south and north. The windows that face west and north are provided a buffer through the provision of balconies.</p> <p>All dwellings have windows located on different external walls allowing for natural ventilation and maximising breezes.</p>
1.4 Maintain residential areas in Larrakeyah and Cullen Bay.	<p>i. Residential development accords with current zoning unless specifically identified as a Potential Area for Change on the Residential and Mixed Use Map</p>	<p>Refer to section 4.5 below for an assessment against the current Zone HR (High Density).</p>

COMPLIES

3 Overlays

No overlays affect the site.

NOT APPLICABLE

4.5 Zone HR – High Density Residential

Zone Purpose

Provide for a range of high rise housing options close to activity centres, public transport, open space and community facilities, where reticulated services can support high density residential development.

Zone Outcomes

1. High density residential developments generally not exceeding eight **storeys** in height that maximise the utilisation of the reticulated services and the development potential of the **site**.
2. **Home based businesses** and **dwelling-community residence** are conducted in a manner consistent with residential **amenity**.
3. **Hotel/motels, residential care facilities** and **rooming accommodation** are operated in a manner that is compatible with the **amenity** associated with high density residential development.
4. Non-residential activities, such as **education establishment, leisure and recreation, medical clinic, place of worship, and restaurant**:
 - (a) are integrated with residential uses;
 - (b) avoid adverse impacts on the local road networks;
 - (c) are managed to minimise unreasonable impacts to the **amenity** of surrounding residents; and
 - (d) are of a scale, intensity and nature that reflects the predominantly residential character of the zone.
5. Development integrates with walking, cycling and public transport networks to promote accessibility and use.
6. Innovative building design, **site** layout and landscaping that:
 - (a) responds to microclimates, including breeze flow;
 - (b) minimises privacy and overlooking impacts;
 - (c) reduces the appearance of building mass relative to its surroundings; and
 - (d) creates attractive outdoor spaces and enhances the streetscape.
7. An efficient pattern of land use with all lots connected to reticulated services, integrated with existing transport networks and with convenient **access** to open space, community and educational facilities.

Assessment

Sub-clauses 2 and 4 are not relevant to the proposed residential care facility.

The proposed development has a maximum height of 13.856 metres and 4 storeys which complies with sub-clause 1.

Sub-clause 3 of Zone HR requires residential care facilities to be *‘operated in a manner that is compatible with the amenity associated with high density residential development’*.

The definition of amenity in the Planning Act 1999 states that *‘amenity in relation to a locality or building, means any quality, condition or factor that makes or contributes to making the locality or building harmonious, pleasant or enjoyable’*.

The proposed development is consistent with the ‘amenity associated with high density residential development’ for the following reasons:

- The design, height, setbacks and appearance of the proposed development is compatible with the character of the area, will sit comfortably within the streetscape and enhance the site’s relationship with the public realm and effectively integrate into the character of the Larrakeyah.
- The building will be well-articulated through building expression as well as a mix of building materials including rendered blockwall, NRG board parapet painted rendered finish, vertical battens and blades, aluminium balustrades and colorbond custom orb wall cladding.
- Sufficient on-site car parking, safe access and appropriately designed accessways are provided in accordance with the requirements of Clause 5.2.4 Car Parking Spaces. In addition, space is provided for emergency vehicle or mini bus parking. The DCA may query if the clearance height of the entry to the car parking area is adequate for emergency vehicle access.
- Screening is proposed to the balconies that face towards the existing residential building to the south-east of the site, ensuring that overlooking and privacy impacts are minimised. All other habitable room windows and balconies are unscreened and are setback from adjoining residential buildings by at least 5.5 metres, which is considered adequate to avoid overlooking impacts.
- The facility will have one overnight support carers on site at all times. A dwelling to be used for overnight carer accommodation is located on level 3 and a general condition is recommended to be applied to the permit to ensure the use as shown on the endorsed plans is not altered.
- The noise levels generated by the development will not be significantly above that of the surrounding area. Residents are no more or less likely to generate excessive noise than the occupiers of the surrounding dwellings.

In relation to sub-clause 5, the proposed development provides clear pedestrian paths internally in the site and provides bicycle storage facilities, promoting the accessibility and use of the surrounding walking, cycling and public transport networks.

In relation to sub-clause 6, the proposed design, site layout and landscaping:

- responds to microclimates, including breeze flow through ensuring all dwellings have windows located on different external walls allowing for natural ventilation and maximising breezes.
- reduces the appearance of building mass relative to its surroundings through its variable form, setbacks, landscaping and architectural treatments that provide articulation.
- creates attractive outdoor spaces and enhances the streetscape through providing landscaping in all boundary setbacks.
- Minimise privacy and overlooking impacts through the provision of overlooking screening to balconies that face towards the existing residential buildings to the south-east of the site.

In relation to sub-clause 7, the site is connected to reticulated water, sewer, power and telecommunications in relation to servicing the development. Comments from service authorities are recommended to be addressed through conditions and notes being applied to any permit issued.

COMPLIES

5.2.1 General Height Control

Purpose

Ensure that the heights of buildings and structures are appropriate to the strategic and local context of the location and meet community expectations for development in the zone.

Administration

1. This clause does not apply if:
 - (a) The development is for the purpose of:
 - i. a **telecommunications facility**;
 - ii. a chimney, flag pole, aerial, antenna or lightning rod; or
 - iii. the housing of equipment relating to the operation of a lift; or
 - (b) an alternative height control is specified in clause 5.9 (Location specific development requirements).
2. The consent authority must not **consent** to a development in Alice Springs that is not in accordance with sub-clause 5.
3. The consent authority must not **consent** to a development on land in Zone MR abutting land in Zone LR that is not in accordance with sub-clause 6.
4. Except as set out in sub-clause 3, the consent authority may **consent** to a development that is not in accordance with sub-clause 6 if it is satisfied the **building height** is consistent with the intended character and **amenity** of the area, having regard to:
 - (a) the heights of other buildings in the immediate vicinity; and
 - (b) measures taken to mitigate potential impacts (such as unreasonable overshadowing, or overlooking of dwellings and private open space) on abutting properties.

Requirements

5. The **building height** of a development in the Municipality of Alice Springs is not to exceed:
 - (a) the maximum **building height** for the zone and use as specified in table A to this clause; or
 - (b) two **storeys** to a maximum of 8.5m if the zone and use is not included in table A to this clause.
6. The **building height** in all other areas is not to exceed:
 - (a) the maximum **building height** for the zone and use as specified in table B to this clause; or
 - (b) two **storeys** to a maximum of 8.5m if the zone and use is not included in table B to this clause.

Assessment

The site is located in Zone HR and has a maximum height requirement of 8 storeys for all uses. The proposed development has a maximum height of 13.856 metres and 4 storeys.

COMPLIES

5.2.4.1 Car Parking Spaces

Purpose

Ensure that sufficient off-street car parking, constructed to a standard and conveniently located, are provided to service the proposed use of a **site**.

Administration

1. This clause does not apply where alternative car parking space requirements are established under clause 5.9 (Location specific development requirements).
2. The consent authority may **consent** to a use or development that is not in accordance with sub-clause 4 if it is satisfied a reduction of the number of **car parking spaces** is appropriate with regard to:
 - (a) the zoning of the land, the use or development or proposed use or development of the land, and the possible future use or development of the land;
 - (b) the provision of **car parking spaces** in the vicinity of the land;
 - (c) the availability of public transport in the vicinity of the land; and
 - (d) the potential impact on the surrounding road network and the **amenity** of the locality and adjoining property;
 or if the use or development relates to a **heritage place** and the Minister responsible for the administration of the *Heritage Act 2011* supports the reduced provision of **car parking spaces** in the interest of preserving the significance of the **heritage place**.
3. The consent authority may require the provision of **car parking spaces** for any **ancillary** use or development in addition to that specified for the **primary use** or development in the table to this clause.

Requirements

4. Use and development is to include the minimum number of **car parking spaces** specified in the table to this clause (rounded up to the next whole number).

Assessment

The applicable car parking space requirements are as follows:

Use	Statutory rate	Required	Proposed
Residential care facility	1 for every 4 beds Plus 4 for every 100m ² of net floor area used for administrative purposes	16 beds (inclusive of one OOA bed) are proposed. This requires 4 car parking spaces	7 car parking spaces

Four car parking spaces are required, and 7 car parking spaces have been provided.

COMPLIES**5.2.4.4 Layout of car parking areas**Purpose

Ensure that a **car parking area** is appropriately designed, constructed and maintained for its intended purpose.

Administration

1. This clause does not apply to a **car parking area** where the car parking is required in association with a **dwelling-single, dwelling-independent** or a **home based business**.
2. A **car parking area** may be used for the purpose of a **market** if:
 - (a) a market is Permitted in the zone; and
 - (b) the market operates outside of the operating hours of the use for which the car parking area is established.
3. The consent authority may **consent** to a **car parking area** that is not in accordance with sub-clause 6 if it is satisfied that the non-compliance will not unreasonably impact on the **amenity** of the surrounding locality.
4. The consent authority may **consent** to a **car parking area** that is not in accordance with sub-clauses 7 and 8 if it is satisfied that the design and construction is safe and functional with regard to the location of the development.
5. The consent authority may **consent** to a **car parking area** that is not in accordance with sub-clause 9 if it is satisfied that the non-compliance will not result in adverse impacts on the local road network or internal functionality of the car parking area.

Requirements

6. A **car parking area** is to:
 - (a) be not less than 3m from any lot boundary abutting a road; and
 - (b) provide landscaping to the setback area to a minimum depth of 3m immediately adjacent to any lot boundary abutting a road, using species designed to lessen the visual impact of the **car parking area** when viewed from the road.
7. A **car parking area** is to be constructed and maintained to be:
 - (a) of a suitable gradient for safe and convenient parking; and
 - (b) sealed and well drained in urban areas, or dust suppressed in non-urban areas.
8. The layout of a **car parking area** is to:
 - (a) be functional and provide separate access to every car parking space;
 - (b) allow a vehicle to enter from and exit to a road in a forward gear;
 - (c) be in accordance with the dimensions set out in the diagram to this clause; and
 - (d) ensure parking spaces at the end of and perpendicular to a driveway are 3.5m wide or so that the driveway projects 1m beyond the last parking space.
9. The number of **access** points to the road is to be limited, and **access** points to **car parking areas** are to:
 - (a) have driveways with a minimum width of 6m for two-way traffic flow or 3.5m for one-way traffic flow; and
 - (b) maximise sight lines for drivers entering or exiting the car parking area.

Assessment

Subclause	Assessment
6. A car parking area is to:	
a) be not less than 3m from any lot boundary abutting a road; and	COMPLIES The car parking area is setback 6 metres from the lot boundary fronting Mangola Court and 3.5 metres from the lot boundary fronting Smith Street.
b) provide landscaping to the setback area to a minimum depth of 3m immediately adjacent to any lot boundary abutting a road, using species designed to lessen the visual impact of the car parking area when viewed from the road	COMPLIES Landscaping to a minimum depth of 3 metres is provided to each boundary.
7. A car parking area is to be constructed and maintained to be:	
a) of a suitable gradient for safe and convenient parking; and	COMPLIES The car parking area is flat and appears to be safe and convenient for parking.
b) sealed and well drained in urban areas, or dust suppressed in nonurban areas.	COMPLIES The car parking area appears to be sealed. Additionally, conditions can be included on any development permit issues requiring that the car parking area is sealed and drained.
8. The layout of a car parking area is to	
a) be functional and provide separate access to every car parking space;	COMPLIES The carpark layouts provides separate access to every car parking space.
b) allow a vehicle to enter from and exit to a road in a forward gear	COMPLIES The driveway width is a minimum of 6m and the layout allows vehicles to enter and exit in a forward gear.
c) be in accordance with the dimensions set out in the diagram to this clause; and	COMPLIES The notations included on the plans provided meet the dimensions set out in the diagram to this clause.
d) ensure parking spaces at the end of and perpendicular to a driveway are 3.5m wide	COMPLIES

or so that the driveway projects 1m beyond the last parking space	The end of a driveway projects 1 metre beyond the last car parking space.
9. The number of access points to the road is to be limited, and access points to car parking areas are to:	
1. have driveways with a minimum width of 6m for two-way traffic flow or 3.5m for one-way traffic flow; and	COMPLIES The driveway width is a minimum of 6m for two-way traffic.
2. maximise sight lines for drivers entering or exiting the car parking area	COMPLIES Sightlines are provided at the entry to the site.

COMPLIES**5.2.5 Loading Bays**Purpose

Provide for the loading and unloading of vehicles associated with the use of land.

Administration

1. The consent authority may **consent** to a use or development that is not in accordance with sub-clauses 3 and 4 only if it is satisfied sufficient, safe and functional loading areas are available to meet the needs of the use with regard to:
 - (a) the scale of the use and development on the **site**;
 - (b) any potential adverse impacts on the local road network; and
 - (c) any agreements for off-site loading and unloading of vehicles, such shared loading areas or approval to carry out loading activities in a laneway or **secondary street**.
2. For the purposes of this clause, where an **exhibition centre, food premises (fast food outlet and restaurant), office, place of assembly, shop or shopping centre** are part of an integrated development, the minimum number of loading bays is to be calculated based on the combined **net floor area** of the integrated uses.

Requirements

3. Use and development is to include provision of a minimum number of loading bays in accordance with the table to this clause (rounded up to the next whole number).
4. A **loading bay** is to:
 - (a) provide areas wholly within the **site** for loading and unloading of vehicles;
 - (b) be at least 7.5m by 3.5m;
 - (c) have a clearance of at least 4m; and
 - (d) have access that is adequate for its purpose.

Assessment

Residential Care Facility is not listed in the table and therefore no loading bays are required to be provided.

COMPLIES

5.2.6.1 Landscaping in Zones other than Zone CB

Purpose

Ensure appropriate landscaping that is attractive, water efficient and contributes to a safe environment, is provided to development to enhance the streetscape and overall **amenity** of the locality.

Administration

1. Landscaping may include provision of paved areas and areas for entertainment and recreational activities.
2. The consent authority may **consent** to landscaping that is not in accordance with sub-clauses 5, 6 and 7 only if it is satisfied it is consistent with the purpose of this clause and the zone purpose and outcomes, and is appropriate to the **site** having regard to the **amenity** of the streetscape, and the potential impact on the **amenity** of the locality and adjoining property.

Requirements

3. Where landscaping is required by this Scheme it should be designed so that:
 - (a) planting is focused on the area within the street frontage setbacks side setbacks, communal open space areas and uncovered **car parking areas**;
 - (b) it maximises efficient use of water and is appropriate to the local climate;
 - (c) it takes into account the existing streetscape, or any landscape strategy in relation to the area;
 - (d) significant trees and vegetation that contribute to the character and **amenity** of the **site** and the streetscape are retained;
 - (e) energy conservation of a building is assisted having regard to the need for shade and sunlight at varying times of the year;
 - (f) the layout and choice of plants permits surveillance of public and communal areas; and
 - (g) it facilitates on-site infiltration of stormwater run-off.
4. The quality and extent of the landscaping consented to must be maintained for the life of the development.
5. Other than in Zones CB, C and TC, not less than 30% (which may include communal open space) of a **site** that is used for **rooming accommodation, dwellings-group, dwellings-multiple** and **residential care facility** is to be landscaped.
6. In Zones LI, GI and DV all street frontages, except **access** driveways or footpaths, are to be landscaped to a minimum depth of 3m.
7. In Zones MR and HR, side and rear setbacks are to include planting to the length of the setback of no less than 2m deep, except for areas that are used for private open space.

Assessment

The application includes a landscape plan which provides planting in all side and rear setbacks to a minimum depth of 2 metres and 37% of the site is landscaped. A general condition is recommended to be applied to any permit issued, to require the landscape plan to be planted and maintained.

COMPLIES

5.3.7 End of trip facilities in Zones HR, CB, C, SC and TC

Purpose

Ensure that new commercial and high density **residential buildings** provide sufficient safe, quality and convenient **end of trip facilities** to enable active travel choices by residents, visitors, workers and customers for the proposed use of the **site**.

Administration

1. The consent authority may **consent** to a use or development with fewer bicycle parking spaces, lockers and/or showers and changing facilities than required by sub-clauses 2-6 if satisfied that either:
 - (a) there are alternative **end of trip facilities** (on or off the **site**), where:
 - i. the same function is provided which can accommodate the same number of bicycles and/or users required by the clause;
 - ii. **access** to the alternative **end of trip facilities** is safe and convenient for users;
 - iii. the alternative **end of trip facilities** are sheltered and secure; and
 - iv. the size and layout of alternative storage areas allows for safe and comfortable storage and **access** to bicycles and/or personal items; or
 - (b) it would be unreasonable to provide the **end of trip facilities** as required by this clause with regard to, but not limited to, the location of the development and likely commute distances; or
 - (c) it would be unreasonable to provide shower and changing facilities for a small development, where the development becomes unfeasible should such facilities be required.

Requirements

2. All new buildings in Zones HR, CB, C, SC and TC should provide bicycle parking facilities with a number of bicycle parking spaces calculated at the rate specified in the table to this clause (rounded up to the nearest whole number).
3. All bicycle parking facilities and associated bicycle parking devices should be designed in accordance with *Australian Standard AS2890.3 – Bicycle Parking* and must:
 - (a) be located in a convenient and safe location with adequate security for the storage of bicycles;
 - (b) have an appropriate mix of long and short term, wall and floor mounted bicycle parking;
 - (c) where secure parking is provided, provide e-bike charging facilities, as necessary;
 - (d) not require **access** via steps;
 - (e) be protected from the weather;
 - (f) enable the wheels and frame of a bicycle to be locked to the device without damaging the bicycle;
 - (g) be located outside pedestrian movement paths;
 - (h) be easily accessible from the road;
 - (i) be arranged so that parking and manoeuvring motor vehicles will not damage adjacent bicycles;
 - (j) be protected from manoeuvring motor vehicles and opening car doors;
 - (k) be as close as possible the cyclist's ultimate destination;
 - (l) be well lit by appropriate existing or new lighting; and

- (m) be sympathetic in design, material and colour to compliment the surrounding environment.
- 4. A locker should accompany every secure bicycle parking space provided, and should be:
 - (a) of suitable volume and dimensions to allow storage of clothing, cycling helmets and other personal items;
 - (b) well ventilated, secure and lockable; and
 - (c) located close to shower and changing facilities.
- 5. All new **non-residential buildings, hotels/motels, and serviced apartments** in Zones HR, CB, C, SC and TC should provide sufficient and accessible shower and changing facilities for staff with the number of showers calculated at the rate specified in the table to this clause.
- 6. Shower and changing facilities must be secure facilities capable of being locked, and should:
 - (a) be located as close as practical to the associated bicycle parking facilities;
 - (b) provide one change space per shower; and
 - (c) Provide for separate male and female facilities where more than one shower is provided.

Assessment

Residential Care Facility is not listed in the table and therefore no bicycle parking facilities are required to be provided.

COMPLIES

5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures

Purpose

Ensure that **residential buildings** and **ancillary** structures are located in a manner that:

- (a) is compatible with the streetscape and surrounding development including **residential buildings** on the same **site**;
- (b) minimises adverse effects of building massing when viewed from adjoining land and the street;
- (c) avoids undue overlooking of adjoining properties; and
- (d) facilitates breeze penetration through and between buildings.

Administration

- 1. This clause does not apply in Zones CB, LI, GI and DV.
- 2. In this clause:
 - (a) an **ancillary** structure includes an **outbuilding** (excluding shade sails), balcony, portico and the like, which may or may not include external walls; and
 - (b) for all developments except **dwelling-multiple** in Zone MR or HR, where a lot has a boundary with a public street from which vehicular **access** to the lot is restricted by the controlling Agency or local government council, this boundary shall be considered a side or rear lot boundary for the purpose of calculation of the **building setback**.
- 3. The consent authority may **consent** to a development that is not in accordance with sub-clause 6-8 only if it is satisfied that the reduced setback is consistent with the purpose of

this clause and it is appropriate to the **site** having regard to such matters as its location, scale and impact on adjoining and nearby property.

4. If a building setback plan in Schedule 9 does not establish a specific setback to a nominated boundary, **residential buildings** and **ancillary** structures are to be set back from that boundary in accordance with sub-clause 6(a) or clause 5.4.3.3 as appropriate.
5. Despite sub-clause 6 sheds in Zones other than H, A, RR, RL and R may have a nil setback to the side and rear boundaries provided it is
 - (a) 6m or more from the **primary street** and 2.5m or more from a **secondary street** when measured to the wall of the shed or where there is no wall, the outer face of any column;
 - (b) has a cumulative **floor area** of 15m² or less;
 - (c) is 2.5m or less in height;
 - (d) has no openings in walls that are less than 1.5m from a lot or unit title; and
 - (e) does not discharge rainwater on an adjacent lot or unit title.

Requirements

6. Subject to clause 5.2.7, **building setbacks** of **residential buildings** and **ancillary** structures are to be set back from lot boundaries in accordance with:
 - (a) the relevant table to this clause; or
 - (b) any setbacks established in a building setback plan that is included in Schedule 9.
7. Where a zero or 300mm setback is identified on a building setback plan in Schedule 9, a zero or 300mm setback can only be established to the boundary nominated on the setback plan.
8. Unless detailed in a table to this clause or within a building setback plan in Schedule 9, no part of the roof structure, including gutters and eaves, is to encroach more than 0.9m into the minimum **building setbacks** (subject to the Building Code of Australia) from the lot boundaries.

Editor's Note: If a zero or 300mm setback identified within a building setback plan is not used, the requirements of sub-clause 6(a) apply.

Assessment

Table B to Clause 5.4.2 specifies the following minimum building setbacks for residential buildings, ancillary structures and balconies in Zones MR and HR:

Table B to Clauses 5.4.3: Minimum building setbacks for residential buildings, ancillary structures and balconies in Zones MR and HR

Lot Boundary	Minimum Setback for first four storeys above ground level	Minimum Setback above first four storeys above ground level	Minimum setback for roofline
Primary street frontage	6m for residential buildings and ancillary structures 3m for balconies	9m for residential buildings 6m for balconies	2.1m - provided that no supporting member is located within 6m of the boundary
Secondary street frontage	4.5 m for residential buildings and ancillary structures 1.5m for balconies	7.5m for residential buildings 4.5m for balconies	2.1m - provided that no supporting member is located within 4.5m of the boundary
Side and rear lot boundaries	3m for residential buildings, ancillary structures and balconies	6m for residential buildings 4.5m for balconies	2.1m

Schedule 2 of the NTPS 2020 provides the following relevant definitions:

primary street means the street or where there is more than one street, the street with the wider carriageway or that which carries the greater volume of traffic but does not include any street where access is restricted by the controlling Agency

secondary street means – in the case of a site that has frontage to more than one public street – the street or streets that are not the primary street;

In this instance, the primary street is Mangola Court, as despite Smith Street having the wider carriageway and carrying the greater volume of traffic, the controlling Agency (City of Darwin) has restricted access from the site to Mangola Court.

In addition, sub-clause 2(b) of Clause 5.4.3 specifies that '*for all developments except dwellings-multiple in Zone MR or HR, where a lot has a boundary with a public street from which vehicular access to the lot is restricted by the controlling Agency or local government council, this boundary shall be considered a side or rear lot boundary for the purpose of calculation of the building setback*'. As the controlling Agency has restricted access from the site to Mangola Court, Smith Street is considered a side setback.

The proposed development has a maximum height of 4 storeys and see below setback assessment:

Setback Assessment				
Lot Boundary	Measured to	NTPS 2020	Proposed setback	Compliance
Primary street frontage (Mangola Court)	Ground floor Stairwall building wall	6 metres	6 metres	Complies
	Ground floor – blockwork walls and gatehouse	6 metres	2 metres	Does not comply

	Level one – 3 Stairwall building wall	6 metres	6 metres	Complies
	Level one – 3 balconies	3 metres	5 metres	Complies
Smith Street (side)	Ground floor Storage area	3 metres	4.69 metres	Complies
	Level one – 3 dining / living area wall	3 metres	4.5 metres	Complies
	Level one – 3 balconies	3 metres	4 metres	Complies
South-east (rear)	Ground floor storage building wall	3 metres	3 metres	Complies
	Level one – 3 bedrooms building wall	3 metres	3 metres	Complies
	Level one – 3 balconies	3 metres	3.5 metres	Complies
South-west (side)	Ground floor storage building wall	3 metres	3 metres	Complies
	Level one – 3 bedrooms / dining / living building wall	3 metres	3 metres	Complies
	Level one – 3 balconies	3 metres	2.5 metres	Does not comply

DOES NOT COMPLY – Variation sought for the proposed setbacks to Mangola Court for the ground level blockwork walls and gatehouse and for the level one – 3 balcony setbacks to south-west boundary (side).

5.4.7 Communal Open Space

Purpose

Ensure that suitable areas for communal open space are provided for **dwelling-multiple**, **residential care facilities** and **rooming accommodation**.

Administration

1. This clause does not apply to **dwelling-multiple** where each **dwelling** has direct and independent **access** to private open space at **ground level**.
2. The consent authority may **consent** to a **dwelling-multiple** comprising **serviced apartments** in Zone TC that is not in accordance with sub-clauses 5 and 6 only if it is satisfied it is consistent with the purpose of this clause and that the private open space associated with each **dwelling** provides appropriate opportunities for outdoor activities.

3. The consent authority may **consent** to a development in Zone C or Zone CB that is not in accordance with sub-clauses 5 and 6 if appropriate recreational space for the occupants of the development is provided, having regard to the following matters:
 - (a) whether the communal open space has usable dimensions and is of a sufficient size for the density of the development;
 - (b) the development is in proximity to adequate public open space or sufficient amenities; and
 - (c) whether there is an appropriate increase in private open space provided (over that which is required by Clause 5.4.6), for each dwelling in the development.
4. For zones and uses not covered by sub-clauses 2 and 3, the consent authority may **consent** to a development that is not in accordance with sub-clauses 5 and 6 if it is satisfied the communal open space has usable dimensions and is of a sufficient size for the development.

Requirements

5. A minimum of 15% of the **site**, being not less than 6m wide at any point, is to be communal open space.
6. Communal open space is to be designed to:
 - (a) be clearly delineated from private and **public open space**;
 - (b) maintain reasonable privacy of nearby **dwelling**s;
 - (c) provide recreational facilities for occupants; address the projected needs of children;
 - (d) include landscaping and shade where located outdoors;
 - (e) minimise safety issues, including through lighting and passive surveillance;
 - (f) minimise the effects of any on-site traffic circulation and **car parking areas**; and
 - (g) be capable of efficient maintenance and management.

Assessment

Sub-clause 5 requires that 112.8m² (15%) of the site, no less than 6 metre wide at any point, is provided as communal open space.

The proposed development provides a 150m² communal open space that is less than 6 metres wide and therefore does not comply with sub-clause 5.

The proposed communal open space comprises grassed areas, paved areas, seating, shade structures and bbq and is considered to comply with sub-clause 6.

DOES NOT COMPLY – Variation sought to not provide communal open space designed in accordance with sub-clause 5

5.4.8.1 Building Design for Dwelling-group, Rooming Accommodation and Residential Care Facility

Purpose

Promote site-responsive designs for **dwelling-group, rooming accommodation** and **residential care facility**, which provide a pleasant living environment for the occupants and a sympathetic interface with adjoining lots, to minimise unreasonable impacts on the privacy and **amenity** of surrounding residents.

Administration

1. This clause does not apply when only two **dwelling**s form the **dwelling**s-group.
2. The consent authority should take into account how the building design has addressed sub-clauses 3-14.

Requirements

3. Locate development on the **site** for correct solar orientation.
4. Minimise expanses of walls by varying **building heights**, **building setbacks** and façades.
5. Locate air conditioners where they are accessible for servicing.
6. Conceal service ducts, pipes, air conditioners, air conditioning plants etc.
7. Avoid overlooking of private open spaces and **habitable rooms** of adjacent residences on the same and adjacent **sites**.
8. Locate bedrooms and private open spaces away from noise sources.
9. Control its own noise sources and minimise the transmission of noise between **dwelling**s.
10. Where close to high noise sources (such as busy roads and airport flight paths), be of appropriate acoustic design and construction.
11. Balance the achievement of visual and acoustic privacy with passive climate control features.
12. Allow breeze penetration and circulation.
13. Minimise use of reflective surfaces.
14. Provide internal drainage of balconies and coving on the edge of balconies.

Assessment

An assessment of sub-clauses 3 – 14 is provided in the below table.

Subclause	Assessment
3. Locate development on the site for correct solar orientation.	<p>COMPLIES</p> <p>All dwellings have some windows that face either west or east, however, also have some windows that face south and north. The windows that face west and north are provided a buffer through the provision of balconies.</p> <p>All dwellings have windows located on different external walls allowing for natural ventilation and maximising breezes.</p>

4. Minimise expanses of walls by varying building heights, building setbacks and façades	COMPLIES The expanse of blank walls is minimised through varying setbacks and materials and colours to the façade along with landscaping planted within in all boundary setbacks.
5. Locate air conditioners where they are accessible for servicing	COMPLIES Air conditioners are located on each dwelling and support rooms balconies and are easily accessible.
6. Conceal service ducts, pipes, air conditioners, air conditioning plants etc	COMPLIES WITH CONDITIONS A condition on any development permit issued can be included to require that all service ducts, air conditioners etc are screened.
7. Avoid overlooking of private open spaces and habitable rooms of adjacent residences on the same and adjacent sites.	COMPLIES WITH CONDITIONS There is an existing apartment development located at 135 Smith Street Larrakeyah which appears to be setback approx. 2 metres from the common boundary. The proposed balconies and habitable room windows directly face towards 135 Smith Street Larrakeyah and are setback approximately 5 and 5.5 metres, respectively, from the existing building. All balconies that face towards 135 Smith Street are screened to a height of 1.8 metres and minimise overlooking impacts. The bedroom windows are not screened, however, the windows are setback a further 500mm than the balconies and internal blinds can be used to minimise overlooking impacts. In addition, there is an existing apartment development located at 6 Mangola Court, however, the proposed balconies and habitable room windows are setback approx. 7 metres from the existing building. The siting of the proposed development is considered adequate to avoid overlooking of private open spaces and habitable rooms.
8. Locate bedrooms and private open spaces away from noise sources	COMPLIES Dwellings are located away from the proposed lift and stairwall.
9. Control its own noise sources and minimise the transmission of noise between dwellings	COMPLIES Noise sources will be controlled through solid walls between dwellings providing a noise barrier.
10. Where close to high noise sources (such as busy roads and airport flight paths), be of	COMPLIES The site is not located close to busy road or airport flight paths.

appropriate acoustic design and construction	
11. Balance the achievement of visual and acoustic privacy with passive climate control features	<p>COMPLIES</p> <p>The statement of effect <i>advises 'The provision of different kinds and location of windows and doors throughout will ensure visual privacy is maintained whilst encouraging cross ventilation throughout the building. Spaces such as balconies, foyers & hallways are extensions to the units that provide visual barriers to the internal areas. Balconies and awnings also provide additional shading to the internal areas'.</i></p>
12. Allow breeze penetration and circulation	<p>COMPLIES</p> <p>The proposed dwellings are provided with window openings on different external walls, allowing for breeze penetration and circulation.</p>
13. Minimise use of reflective surfaces	<p>COMPLIES</p> <p>The proposed building is constructed of a range of materials with glazing limited to that which is necessary to provide windows.</p>
14. Provide internal drainage of balconies and coving on the edge of balconies	<p>COMPLIES WITH CONDITIONS</p> <p>A condition on any development permit issued can be included to require that internal drainage of balconies and covering on the edge of balconies is provided.</p>

COMPLIES

5.4.15 Residential Care Facility

Purpose

Ensure that a **residential care facility** is established in an appropriate location to meet the needs of its residents and is operated in a manner that:

- (a) adequately supports persons in care, staff and visitors;
- (b) does not unreasonably impact on the **amenity** of adjoining and nearby property; and
- (c) is commensurate with the scale of utilities and transport infrastructure provided in the locality.

Administration

1. The consent authority may approve an application for a **residential care facility** that is not in accordance with sub-clauses 2-4 only if it is satisfied it is consistent with the purpose of this clause and the zone purpose and outcomes, and it is appropriate to the **site** having regard to such matters as its location, nature, scale and impact on surrounding **amenity**.

Requirements

2. The facility provides rehabilitation, social, health and recreational facilities on-site or is located to ensure residents have convenient **access** to such facilities and the public transport network.
3. The scale and day to day operation is compatible with the character and **amenity** of the zone.
4. No greater demand or load is imposed on the services provided by a public utility organisation than that which is ordinarily required in the locality.

Assessment

Sub-clause 2 requires that either appropriate access to services are provided on-site, or the proposal has convenient access to public transport. The proposal provides support rooms which the application identifies that can be used to assist the carers to facilitate allied health support. The site is well located close to existing parks and bus stops along Mitchell Street.

Sub-clause 3 requires that the proposal is of a scale and day-to-day operation is compatible with the local zoning. The application highlights that the proposed development has a smaller capacity which mitigates potential negative impacts on traffic, parking, noise, and community dynamics, fostering a more harmonious integration into the existing neighborhood.

In response to sub-clause 4, the site is connected to reticulated water, sewer, power and telecommunications and service authorities have raised no concerns in relation to servicing the development, therefore complying with sub-clause 4.

COMPLIES

5.4.17 Building Articulation

Purpose

Ensure that **residential buildings** mitigate the perception of building mass and bulking when viewed from adjoining properties and the street, and provide opportunities for cross-ventilation within building design.

Administration

1. This clause applies to all sides of **residential buildings** that are longer than 15m, except the ground floor of buildings in Zone CB.
2. The consent authority may **consent** to a development that is not in accordance with sub-clause 4 only if it is satisfied it is consistent with the purpose of this clause.
3. The length of the building excludes verandahs, balconies, porches and carports integrated into the **residential building** design.

Requirements

4. A step or recess to the building line of no less than 1m by 1m is required for every 15m of building length, or part thereof.

Editor's Note: Refer to *Design Guidance: Articulation* for guidance on interpreting sub-clause 4.

Assessment

The proposed north-eastern and south-western walls do not provide a step or recess to the building line of no less than 1m by 1m.

DOES NOT COMPLY – Variation sought to length of the proposed north-eastern and south-western walls

5.4.18.1 Fencing in Zones MR and HR

Purpose

Promote fencing in medium and high density areas that provides a positive interface with the public domain, while allowing necessary privacy for residents and neighboring properties.

Administration

1. The consent authority may **consent** to a use or development that is not in accordance with sub-clause 4 if it is satisfied the fence enhances the streetscape and allows for passive surveillance to the public domain. .
2. The consent authority may **consent** to a use or development that is not in accordance with sub-clause 5 if it is satisfied the fencing provides sufficient sightlines for pedestrian and cyclist safety.
3. The consent authority may **consent** to a use or development that is not in accordance with sub-clause 6 if it is satisfied the development protects the privacy of adjacent lower density residential development.

Requirements

4. All fences adjacent to road boundaries or boundaries adjoining **public open space** are to be constructed so that:
 - (a) the maximum height is 2m above **ground level** measured at the relevant **site** boundary; and
 - (b) the area of materials that is not **visually permeable** does not exceed an area equivalent to the length of the **site** boundary (excluding driveways) multiplied by 1.2m.
5. Fencing within 1.5m of driveways, pedestrian entries, and street corners is to be **visually permeable** above 0.6m (unless there is truncation provided within these areas to the same distance).
6. Where the development abuts land in Zones LR or LMR, development is to provide a solid screen fence to a minimum height of 1.8m to that boundary.

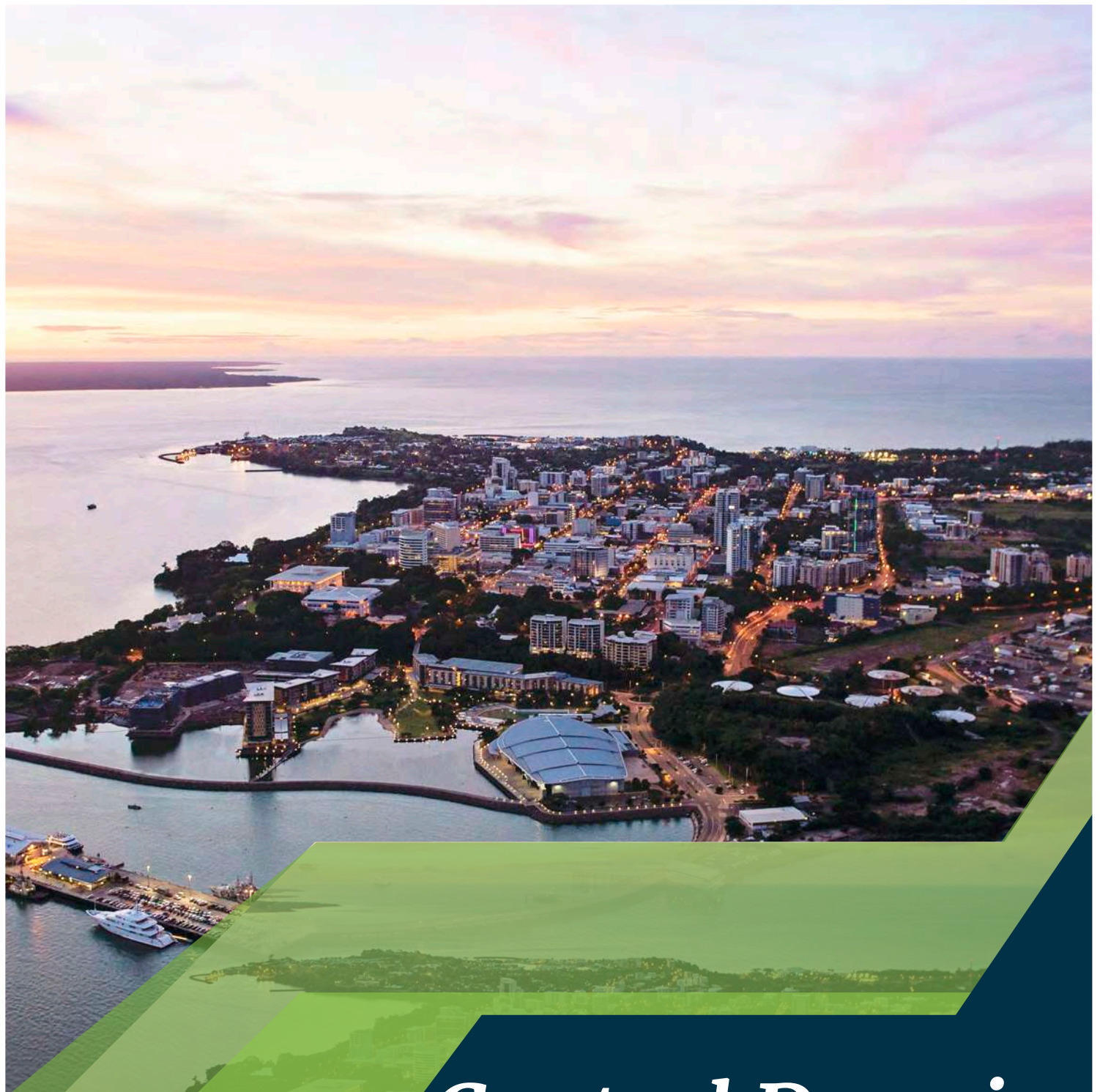
Editor's Note: Refer to [Design Guidance: Fencing](#) for guidance on interpreting this clause.

Assessment

The Mangola Court boundary incorporates a variety of structures including a 1.8 metre high wall, a driveway gate, letterbox and building services.

The Smith Street boundary is fenced to a height of approx. 2.3 metres and therefore does not comply with sub-clause 4(a). All fencing along Smith Street is visually permeable above 0.6 metres and therefore complies with sub-clause 4(b)

DOES NOT COMPLY – Variation sought to the permeability of the Smith Street boundary fence



Central Darwin **AREA PLAN**

Version Control

Version	Amendment No.	Date Published	Details
1	518 (NTPS 2007)	15.11.2019	Introduction of the Central Darwin Area Plan
2	3 (NTPS 2020)	30.10.2020	Minor alterations for consistency with the NT Planning Scheme 2020

CONTENTS

Part One - Introduction	4
Introduction to the Central Darwin Area Plan	5
A Liveable City	6
Understanding the Area Plan	8
The Rezoning of Land	8
Existing Zoning and Existing Use Rights	9
Supplementary Material	9
Land Use Vision	12
Part Two - Themes	15
Residential Theme	17
Mixed Use Development Theme	18
Social Infrastructure Theme	22
Culture and Heritage Theme	24
Environment Theme	27
Movement and Transport Theme	31
Essential Infrastructure Theme	33
Part Three - Focus Areas	35
Focus Area A1: City Centre – Core	36
Focus Area A2: City Centre – Former Shell Site	38
Focus Area A3: City Centre – Education and Civic Precinct	41
Focus Area A4: Esplanade Character Area	44
Focus Area B: Darwin Waterfront	47
Focus Area C: Site of Kahlin Compound / Old Hospital Site / Myilly Terrace	51
Focus Area D: Frances Bay	54
Focus Area E: Former Tank Farm	58
Appendix 1 - Defence (Aviation Areas) Regulations Map	61
Glossary Of Terms	62



PART ONE: INTRODUCTION

INTRODUCTION

This Area Plan encompasses the area from Cullen Bay to the Darwin Waterfront, and as far north as the largely undeveloped, Former Tank Farm area located between the old rail corridor and Stuart Park. The Central Darwin Area Plan Study Area map shows this area, which is referred to as “Central Darwin” in this framework.

Central Darwin and the adjacent Darwin Harbour is the place where our city began. George Goyder, the Surveyor-General of South Australia, designed and planned the new northern city around an oblong grid of main streets and laneways now known as the ‘Goyder grid’. Darwin shares this model with some of the most liveable cities across the world. Today the sound planning of 150 years ago provides the enduring foundations for our 21st Century city.

The history of Darwin has informed the preparation of this Area Plan. This Area Plan is underpinned by the Goyder grid of streets and laneways that enable pedestrians to easily move through the city with clear sightlines and means of orientation.

Central Darwin has a history much older than European settlement. This history belongs to the traditional owners of Darwin, the Larrakia (saltwater people), who continue to be visibly engaged in the cultural, economic and political life of Darwin and have a major influence over the growth of the city in the 21st Century.

Central Darwin contains places that are highly valued by the community for the connection they make with our shared histories. From the 19th century buildings of porcelenite stone, to the relics of war and cyclones, and places where no physical remains now exist but hold especially significant meaning, these places are recognised in this framework as focal points for the community. Many of these places contribute to the economy as attractions for visitors and tourists.

This Area Plan recognises the importance of historic and culturally significant places and suggests approaches to preserve and revitalise these places so that they continue to be enjoyed by the Darwin community.



A Liveable City

For the city to work, people must feel comfortable moving about. Many people now feel the city is too hot.

Recent heat mapping has confirmed that a 'heat island' exists within Central Darwin. Heat island is a term that is applied where urban environments are hotter than their surrounding hinterland. It is a common occurrence for cities particularly in hot or tropical locations. The heat mapping identified very high surface and air temperatures for areas such as Cavenagh Street, the Post Office car park, the Supreme Court car park, and other locations as identified in the image below.

This Area Plan encourages tree planting on private property and along streets. The shade and water evaporating from the leaves of trees significantly decrease the surrounding

temperature. Building design which incorporates planting on structures i.e. roof-top or vertical gardens is also encouraged by this Plan. This approach also has the potential to contribute to the energy of buildings as well as creating micro climates with reduced temperatures.

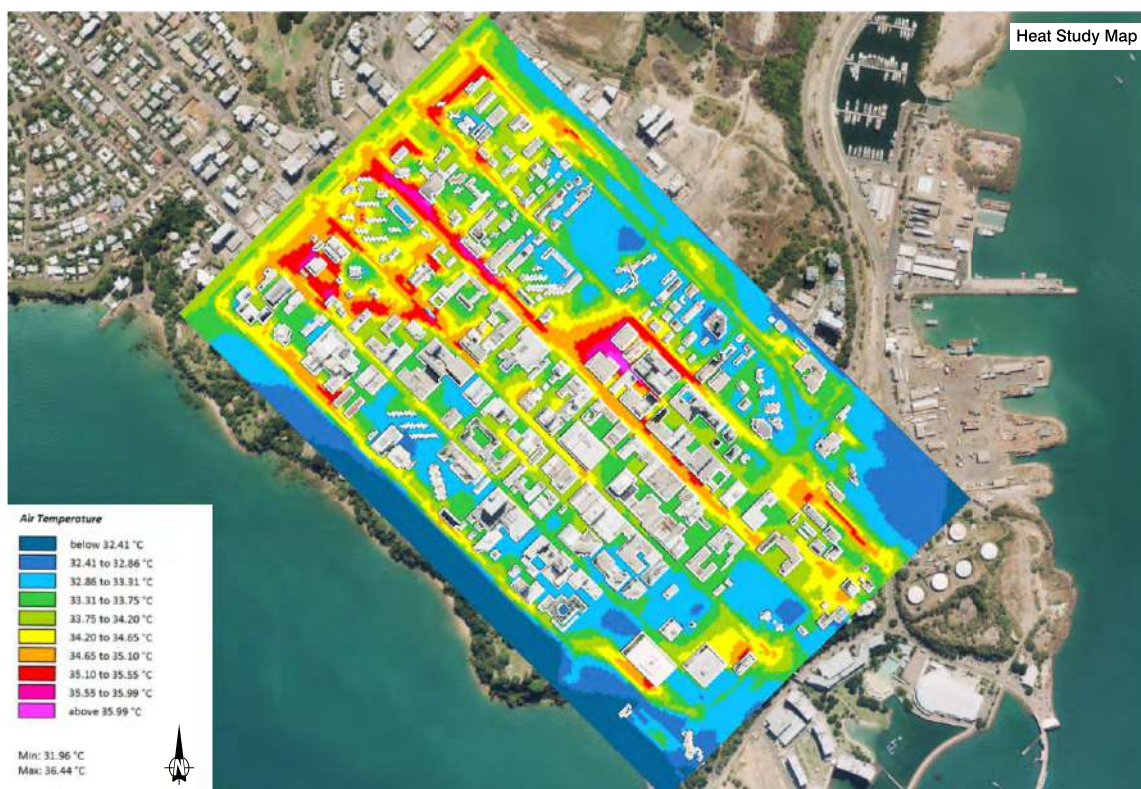
Potential economic benefits are also recognised including energy benefits via reduced need for air conditioning and through creating an environment that people enjoy being in.

This Area Plan recognises the importance of continuous public access to a network of green spaces being maintained, including the Esplanade, foreshore spaces and nearby regional open spaces.

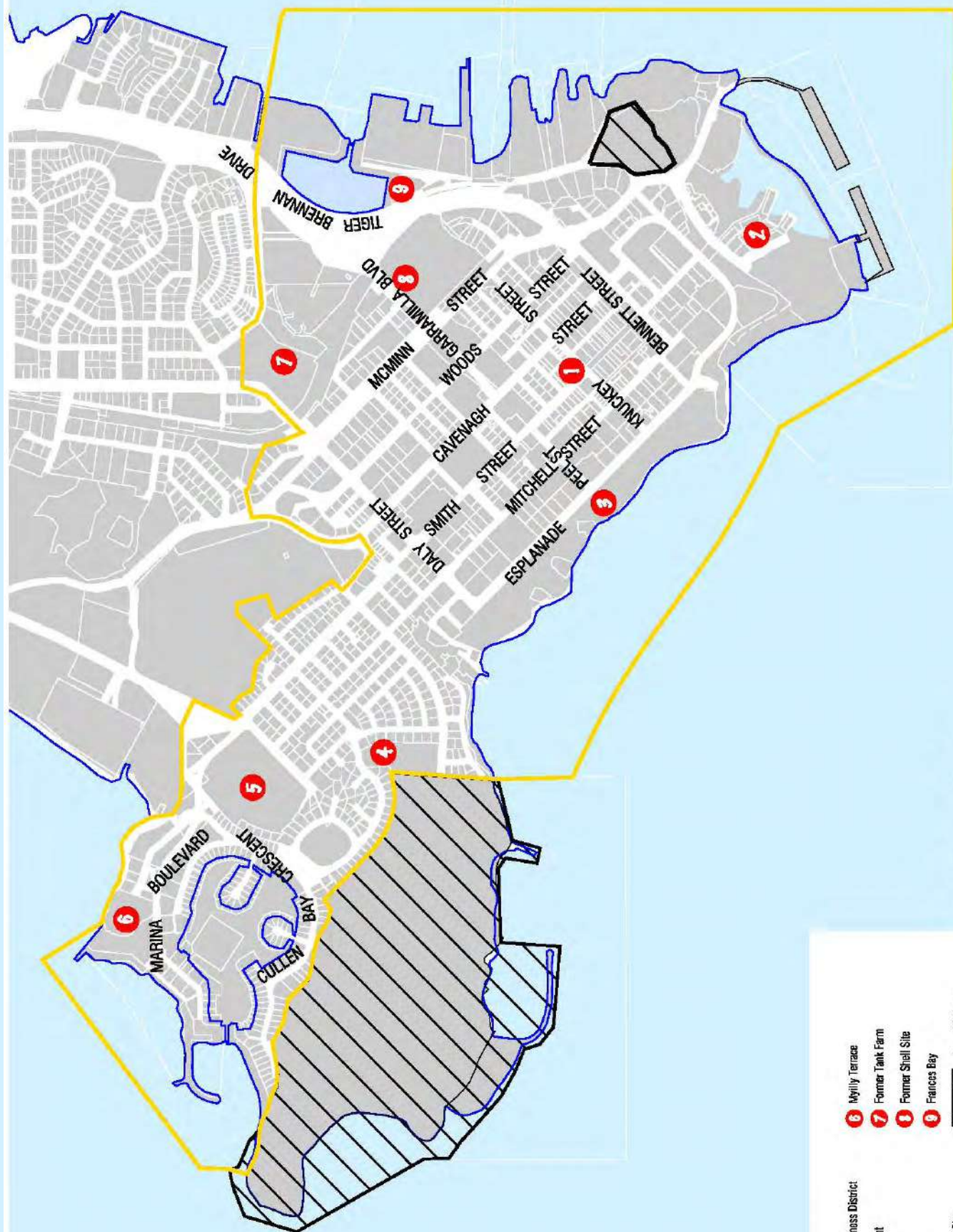
The valuable contribution that performance art, festivals, and cultural activities make to a cosmopolitan Darwin is

recognised by this Area Plan. These activities are encouraged and sustained by objectives and designs that maintain open space that is versatile, and supports formal and informal recreation and public events.

The streets, laneways and arcades within Central Darwin provide an opportunity to create a cohesive city centre with high amenity. This may be achieved by creating engaging experiences that encourage people to visit, stay and spend time within Central Darwin. Recent initiatives such as the Darwin Street Art Festival and the Laneway Series events are successful examples of laneway spaces being revitalised to make an interesting contribution to the character of the city.



Central Darwin Area Plan Study Area



Legend

1 The Central Business District

2 Darwin Waterfront

3 The Esplanade

4 Larrakayah

5 The Old Hospital Site

6 Myilly Terrace

7 Former Tank Farm

8 Former Shell Site

9 Frances Bay

Area of Influence

* Commonwealth Land



Understanding this Area Plan

The NT Planning Commission has prepared this Central Darwin Area Plan having regard to feedback received during Stage 1 Consultation undertaken in 2017 and Stage 2 Consultation undertaken in 2018. This Area Plan comprises the following components:

Part 1 – Introduction to the Area Plan, including descriptions of the Area Plan’s context, purpose, and structure as well as the Land Use Vision for Central Darwin;

Part 2 – Themes presenting guidance and policy that are applicable across the whole of Central Darwin; and

Part 3 - Focus Areas with provisions to address particular issues at specific locations.

Each theme and focus area provides an overarching principle statement prefaced by a brief contextual comment. Each planning principle is supported by a set of objectives and acceptable responses that provide more detailed direction and serve as policy. These terms are further explained below:

- **Planning Principles** and the contextual comment provide context to guide the interpretation of the objectives and the acceptable responses contained within a theme or a focus area.

- **Objectives** are the desired outcomes of a planning principle, often given in relation to a place. A proponent must demonstrate how a proposal will meet each objective.
- **Acceptable Responses** identify potential standards which will contribute to the achievement of the objectives. A departure from the acceptable responses can be considered only where:
 - an alternative solution that achieves the objective is provided; and
 - the alternative solution demonstrates an equal or higher standard than that set out by the acceptable response.

Artists impressions have also been included within some focus areas to communicate the vision for the locality and support interpretation of the provisions, however these are purely conceptual.

“this Area Plan does not automatically rezone land; remove the need to apply to the Minister responsible for administering the Planning Act 1999 to rezone land; or pre-empt the Minister's decision in response to a request to amend the zone”

The Rezoning of Land

This Area Plan indicates that the land use on specific sites may change in the future. These areas are indicated as ‘Potential Areas for Change’. A number of sites may require rezoning before the land use and development potential envisaged by this Area Plan can be realised. However, this Area Plan does not automatically rezone land; remove the need to apply to the Minister responsible for administering the *Planning Act 1999* to rezone land; or pre-empt the Minister's decision in response to a request to amend the zone.

Instead, this Area Plan provides a framework to inform consideration of any future proposal to rezone land or alter land use. Decisions regarding rezoning or change of use proposals will be informed by this Area Plan and servicing requirements. While this Area Plan identifies sites as ‘Potential Areas for Change’ it defers to the Planning Scheme Amendment process to consider and determine the merit of rezoning proposals.

Relevant service authorities and the City of Darwin should be contacted to ascertain any service upgrades required before applying to rezone land, noting that the rezoning of land may require contribution to the upgrade of services.

Existing Zoning and Existing Use Rights

This Area Plan does not prevent the use of land consistent with the current town planning zone that applies to a site. Further, the Area Plan does not prevent the use of land consistent with a planning permit or existing use rights that have not been extinguished. However, this Area Plan may specify additional requirements for a development consistent with an existing zone.

“this Area Plan provides a framework to inform consideration of any future proposal to rezone land or alter land use”

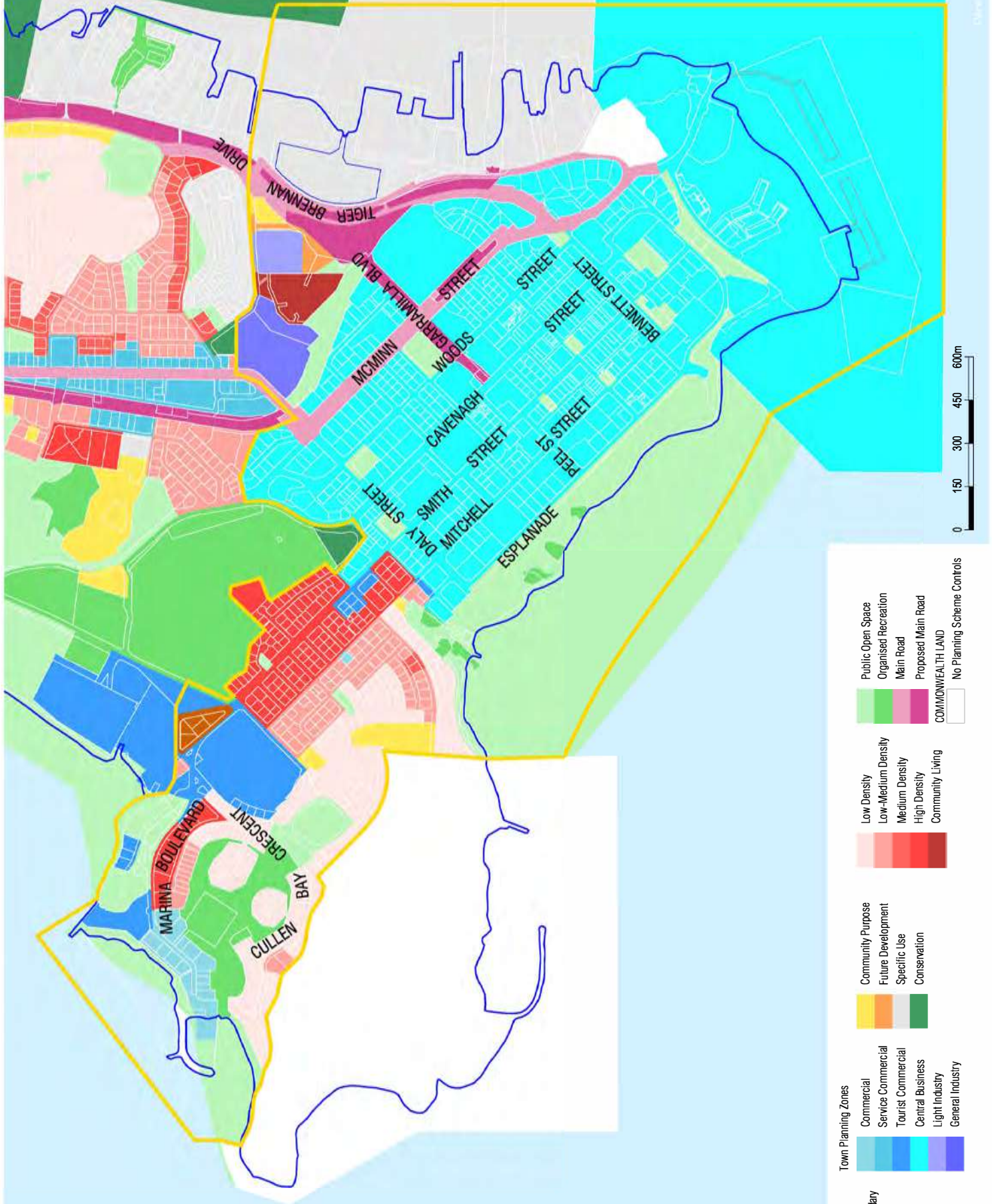
Supplementary Material

This Area Plan has been informed by a Needs Assessment that contains a record of investigations and community feedback. A copy of the Needs Assessment is available through the NT Planning Scheme website.

The Themes and Focus Areas within this Area Plan have been prepared in response to the development challenges associated with the growing and diversifying population identified within the Needs Assessment.

It is recommended that the Needs Assessment be consulted where there are questions about interpretation of the approach outlined in this Area Plan.

Central Darwin Current Land Use Zoning Map



- Legend**
- Study Area Boundary
 - Town Planning Zones
 - Commercial
 - Service Commercial
 - Tourist Commercial
 - Central Business
 - Light Industry
 - General Industry
 - Community Purpose
 - Future Development
 - Specific Use
 - Conservation
 - Low Density
 - Low-Medium Density
 - Medium Density
 - High Density
 - Community Living
 - Public Open Space
 - Organised Recreation
 - Main Road
 - Proposed Main Road
 - COMMONWEALTH LAND
 - No Planning Scheme Controls

Context

The Darwin Regional Land Use Plan (2015) provides a land use vision for the region. It confirms the capital city role of the Darwin CBD and its function as the dominant commercial, cultural, administrative, tourist, and civic centre within the region.

This Area Plan works to enhance Darwin's role and identity by recognising and reinforcing the Darwin city centre as the heart of the Northern Territory and home for a growing inner city population. Key to achieving this is the:

- encouragement of an urban environment that celebrates Darwin's heritage, multi-cultural nature and climate; and
- planning for tourism and population growth supported by retail and commercial development and adequate infrastructure provision.

Central Darwin will accommodate a significant portion of the population growth anticipated by the Darwin Regional Land Use Plan (2015). This can be achieved by focusing on a sustainable, compact and higher density city with suitable transitions to the surrounding localities.

Purpose

The purpose of this Area Plan is to guide the future development of land within Central Darwin. The Area Plan will inform the exercise of discretion when assessing requests to vary scheme provisions, change land use, and/or rezone property.

This Area Plan caters for the needs of the future population and business by:

- providing a city centre flexible to the evolving needs of the commercial and retail sectors;
- supporting the efficient delivery of infrastructure and ongoing viability of the city centre;
- encouraging improved amenity for residents and visitors through a focus on intermodal transport and ease of access to tourism, cultural and entertainment venues; and
- recognising the established character of the residential areas of Larrakeyah and Cullen Bay, and the role these localities and the Darwin Waterfront play in providing housing diversity in close proximity to the city centre.

Plan Structure

The Land Use Vision map (on page 13) identifies the vision for the future use of land to which this Area Plan applies. This map illustrates a combination of anticipated land uses and zonings. Sites that may have a different use into the future have been indicated as Potential Areas for Change. A Vision Statement is included on the Land Use Vision map to provide context to the land uses shown.

The Land Use Vision is an easy reference tool to identify the main themes that apply to a site. While in most instances a single theme will apply to a site, it is also important to check other themes, such as service infrastructure or movement and transport.

The Focus Area Index Map (on page 14) may be used as an index to identify which focus area applies to a specific site and to locate the relevant section(s) of this Area Plan.

Planning principles and contextual comments provide guidance to the interpretation of the objectives and acceptable responses, which serve as action based policy statements to guide land use and development. Objectives and acceptable Responses must be addressed as part of future development of land to which this Area Plan applies. Alternatives to the acceptable responses that demonstrate an equal or better response to the objective will also be considered.

This Area Plan is structured around themes that apply across the whole of Central Darwin and focus areas which are localities that specifically require more attention.

The 'themes' section includes:

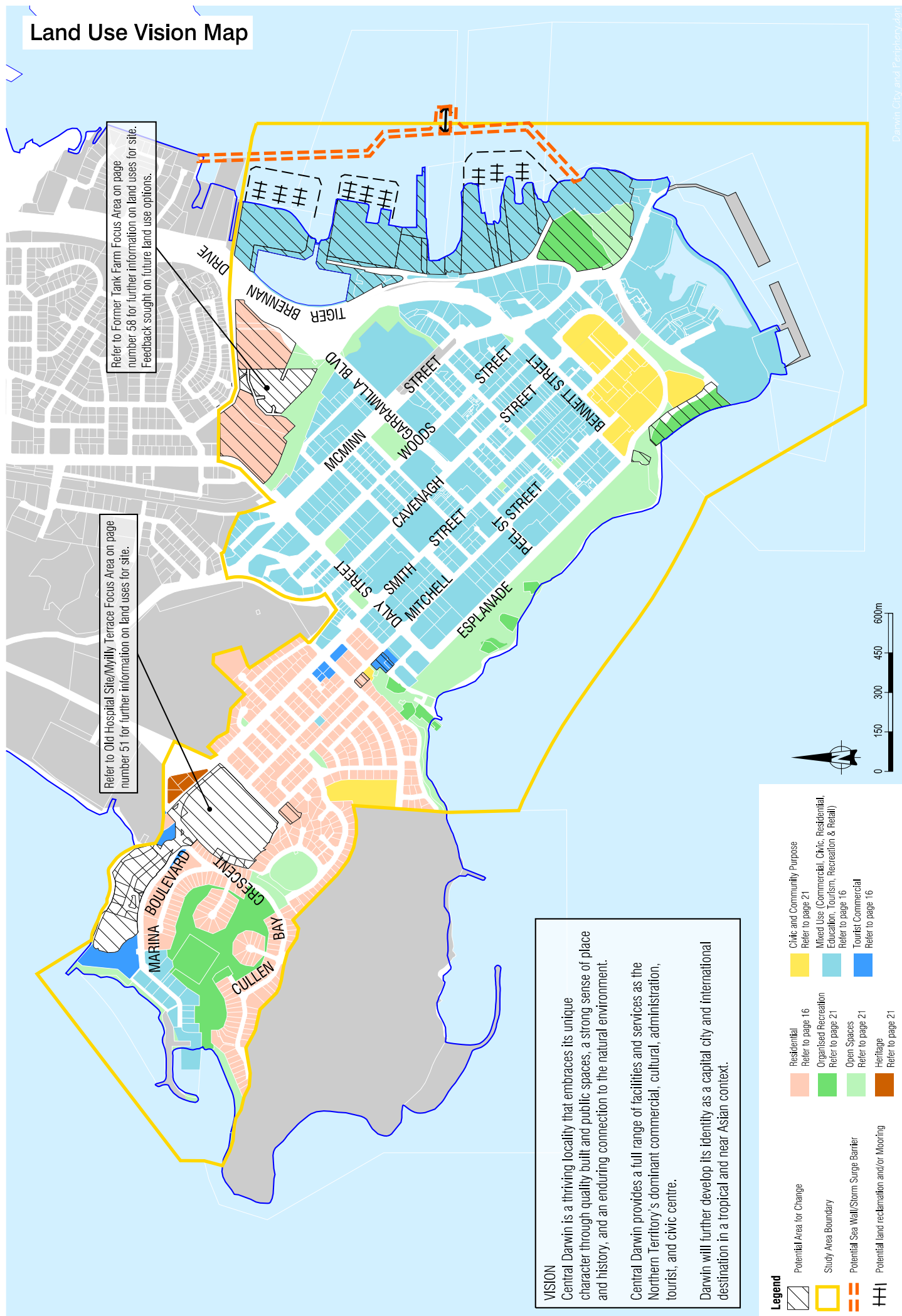
- Residential and Mixed Use
- Social Infrastructure
- Culture and Heritage
- Environment
- Movement and Transport
- Essential Infrastructure

These themes are supported by a number of compilation plans to visually demonstrate the data that has informed the planning principles.

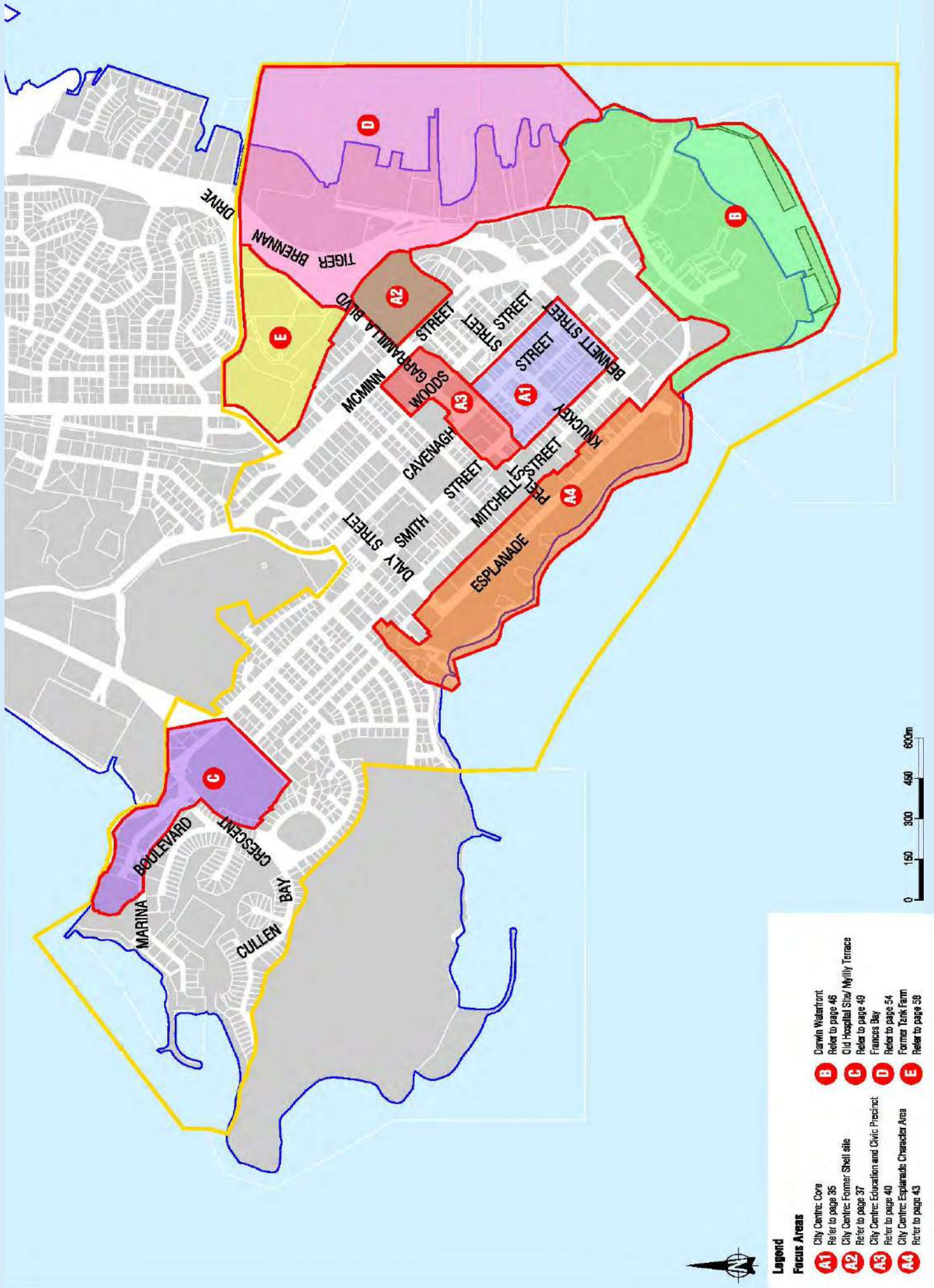
The focus areas can be considered as an inset of the overall Land Use Vision and apply only to the following locations:

- A1: City Centre – Core
- A2: City Centre – Former Shell Site
- A3: City Centre – Education and Civic Precinct
- A4: Esplanade Character Area
- B: Darwin Waterfront
- C: Site of Kahlin Compound / Old Hospital Site / Myilly Terrace
- D: Frances Bay
- E: Former Tank Farm

Land Use Vision Map



Focus Areas: Index Map





PART TWO: THEMES

Residential and Mixed Use Map

Residential and Mixed Use Map

Legend

Residential Theme
(Refer to page 17)

- Single Dwelling
- Multiple Dwelling
- Medium Density
- High Density

Mixed Use Theme
(Refer to page 18)

- Tourist Commercial
- Mixed Use (Commercial, Civic, Residential, Education, Tourism, Recreation and Retail)
- Activated Frontages: Development to provide activated commercial ground floor frontage.
- Gateway Precincts: Development of sites surrounding intersection to be of an exemplary architectural standard (Refer to page 20)

Potential Area for Change

Study Area Boundary

Callout Boxes:

- Refer to Old Hospital Site/Milly Terrace Focus Area on page number 51 for further information on land uses for site.
- Refer to Former Tank Farm Focus Area on page number 58 for further information on land uses for site. Feedback sought on future land use options.

Scale: 0 150 300 450 600m

Streets: Marina Boulevard, Crescent Bay, Cullen, Esplanade, Mitchell, Smith, Daily Street, Cavenagh, Woods, Garramilla Blvd, Bennett Street, Tiger Brennan Drive.



Residential Theme

The Darwin Regional Land Use Plan (2015) forecasts a near term regional population of 150 000 and a far term regional population of 250 000 for the whole of the Darwin region. To support this longer term growth, an additional 5 600 dwellings will be required within Central Darwin.

To accommodate the forecast growth, this Area Plan supports a high density of dwellings within the city centre. Within

established residential areas, such as Larrakeyah and Cullen Bay, this Area Plan supports development to the densities allowed by the current zoning to protect amenity.

This Area Plan encourages housing designed to meet the needs of a wide variety of households. Increasing the diversity of residents will contribute to increased activation of Central Darwin.

The Objectives and Acceptable Responses of this Area Plan are applicable to both residential areas within a residential zoning and also residential land uses within mixed use areas.

1. Encourage appropriate housing options, neighbourhood and residential amenity to support the lifestyle of a diverse demographic

Objectives	Acceptable Responses
1.1 Encourage residential buildings that provide for a broad spectrum of demographic groups.	i. A variety of dwelling types are provided.
1.2 Encourage development that contributes to the amenity of the public realm and reflects the character of the area.	i. Building design responds to adjacent buildings and environments or adjacent buildings and environments reasonably anticipated. ii. Development fronting existing and future public spaces responds to the role and function of the individual space and provides opportunities for passive surveillance. iii. Bulk and scale of wide buildings is addressed through architectural design including, but not limited to, the presentation of multiple frontage types to the streetscape, modulation of the facade, or changes in material. iv. Buildings provide interest and active frontages at street level. Large expanses of blank walls or inactive frontages are to be avoided.
1.3 Encourage sustainable development.	i. Buildings and the urban environment demonstrate innovative responses to support cooling, heat mitigation, greening, water and energy efficiency, and waste reduction.
1.4 Maintain residential areas in Larrakeyah and Cullen Bay.	i. Residential development accords with current zoning unless specifically identified as a Potential Area for Change on the Residential and Mixed Use Map.



Mixed Use Theme

Darwin's city centre is the commercial, cultural, administrative, tourist and civic centre in the region. Surrounding areas, including the Waterfront, Cullen Bay and Larrakeyah, each have their own character and unique mix of uses. The lower intensity uses in surrounding areas complement the broad range of activities within the city centre.

Intensive residential and commercial activity drive the activities within the city centre. This Area Plan encourages diverse development and uses to ensure that mixed use environments are robust, flexible, and responsive to economic and social change.

Mixed use developments that include a residential component must also respond to the residential theme.

An 'Esplanade Character Area' has been identified for lots fronting the Esplanade. This is a special area characterised by high amenity underpinned by clifftop views over Darwin Harbour. Development must respond to the need to retain and enhance this amenity.

Areas of 'activated frontages' have been identified to highlight that ground floor commercial land uses can contribute to an active streetscape. These active streetscapes will provide amenity and interest for pedestrians and improve walkability through the city centre.



Mixed Use Building with landscaping at upper levels

2. Support a dynamic mix of uses that contribute to safe, active, attractive, and diverse localities

Objectives	Acceptable Responses
2.1 Encourage development that provides for a mix of uses.	i. Where there is reasonable capacity to do so, buildings and sites include a vertical mix of land uses on different floors/storeys such as: <ul style="list-style-type: none"> a) residential; b) commercial and retail; c) community facilities; and d) leisure and recreation.
2.2 Encourage building design for new buildings that can be adapted to changing demand.	i. Proposed development demonstrates how ground floor tenancies have been designed to enable future conversion to commercial land use, i.e. sufficient ceiling heights. ii. Floors constructed for car parking within mixed use buildings are to have level surfaces (excluding ramps) and ceiling heights that enable future conversion to commercial or residential use.
2.3 Provide activated frontages with ground floor commercial activities in priority locations.	i. Ground floor commercial and retail activation is provided within areas depicted as 'Activated Frontages' within the Residential and Mixed-Use Map. ii. Buildings provide interest and active frontages at street level. Large expanses of blank walls or inactive frontages are to be avoided.

2.4 Development mitigates against potential conflicts both within and between buildings.	<ul style="list-style-type: none"> i. Building design mitigates against potential conflicts between uses within the building and surrounds which are existing or can be reasonably anticipated. ii. Building design mitigates against potential conflicts between uses of existing buildings and adjacent and/or nearby buildings and environments which are existing, or can be reasonably anticipated.
2.5 Provide landscaping and greening that contributes to the quality and amenity of communal and public spaces.	<ul style="list-style-type: none"> i. Where there is reasonable capacity to do so, building design incorporates and maintains opportunities for planting on structures through techniques such as: <ul style="list-style-type: none"> a) green walls, living walls or vertical gardens; b) wall design that incorporates trellis structures; c) landscaping of podiums; d) planter boxes; and / or e) landscaping incorporated into podium car parking screens.
2.6 Encourage development that contributes to the amenity of the public realm and reflects the character of the area.	<ul style="list-style-type: none"> i. Building design mitigates against potential conflicts between uses within the building and surrounds which are existing or can be reasonably anticipated. ii. Development fronting existing and future public spaces and/or pedestrian and cyclist links: <ul style="list-style-type: none"> a) responds to the role and function of the individual space; and b) locates habitable rooms, or private open spaces of dwellings, overlooking the public space. iii. For areas not within an area depicted as 'Activated Commercial Frontage', development may include ground floor residential including communal open space that enables passive surveillance from the ground floor. iv. Communal facilities and meeting spaces near the building entry, such as bicycle parking and seating, are integrated into building design. v. Sheltered pedestrian thoroughfares are integrated into the design of buildings. This may include, but is not limited to: awnings, covered walkways, colonnades or similar.
2.7 Design bus stops to enhance user comfort and safety.	<ul style="list-style-type: none"> i. Bus stops and associated infrastructure are well considered components within development and road reserve design. This may include, but is not limited to: <ul style="list-style-type: none"> a) high amenity pedestrian connections to the bus stop with protection from the elements; b) technologically advanced bus stops displaying real time information; and c) implementation of crime prevention through environmental design (CPTED) principles for bus stop design. ii. Bus stop locations facilitate access to efficient, linear and frequent public transport.

2.8 Design vehicle access points and onsite movement for new buildings to minimise streetscape impacts and avoid conflicts between pedestrians and vehicles.	<ul style="list-style-type: none"> i. Locate and consolidate vehicle access, parking and loading areas away from street frontages. ii. Car park entry and access is from the lowest order vehicle access way. In order of priority access is from: a laneway, a secondary street, or a primary street if no other access is possible (refer to Transport Network Map). iii. Vehicles entering and manoeuvring within sites is minimised. iv. Crossover number and widths are minimised.
2.9 Encourage sustainable development.	<ul style="list-style-type: none"> i. Buildings and the urban environment demonstrate reasonable responses to support cooling, heat mitigation, greening, waste reduction, and water and energy efficiency.
2.10 Design new buildings to address prominent corners and 'Gateway Precincts.'	<ul style="list-style-type: none"> i. Development proposed at locations identified as a 'Gateway Precinct', as indicated on the Residential and Mixed Use Map, provides: <ul style="list-style-type: none"> a) vertical elements, such as additional storeys, raised parapets, spires, roof sections and similar structures, as part of the building design; b) public art and signage within the design of buildings and related public spaces; and c) effective and visually appealing all-weather protection.
2.11 Prevent any new use or intensification of development that would prejudice the safety or efficiency of an airport.	<ul style="list-style-type: none"> i. Any proposed development determined to exceed the heights prescribed by the Defence (Aviation Areas) Regulations 2018, or Civil Aviation legislation, will need approval by the relevant airport authorities.
2.12 New developments consider and respond to the potential use of laneways as shared spaces.	<ul style="list-style-type: none"> i. Providing windows and balconies at upper levels above the ground floor to overlook laneways. ii. Providing facades of buildings fronting laneways that create visual interest and architectural animation, particularly at the ground level, with large expanses of blank walls avoided.

Social Infrastructure, Culture and Heritage Map





Social Infrastructure Theme

Social infrastructure includes facilities and spaces that support and improve the quality of life in the community. This includes education, health care, religious, cultural and community facilities, and open space. Social infrastructure within Central Darwin serves both the needs of

the immediate local community as well as some of the needs of tourists and the regional and Territory population.

This Area Plan seeks to guide the delivery of adequate community facilities to support the anticipated growth in resident,

worker and visitor populations. The scale and quality of these facilities should be in proportion to Central Darwin's role as the Territory's foremost cultural, civic, entertainment, recreational and tourist centre.

3. Identify social infrastructure that meets the needs and aspirations of the community

Objectives	Acceptable Responses
3.1 Increased presence of education facilities in Central Darwin.	<ul style="list-style-type: none"> i. A new school is constructed as demand arises and current facilities reach capacity. ii. New university facilities are delivered within the city centre. iii. An enhanced district and local level public library is provided.
3.2 Maintain, enhance and connect a network of public spaces for formal and informal recreation, and public events.	<ul style="list-style-type: none"> i. No net loss of public open space other than to: <ul style="list-style-type: none"> a) maintain and install essential public infrastructure and services; b) enhance the function of these spaces (including through potential use for alfresco dining areas which compliment the open space character of the area); or c) provide community facilities and public amenities associated with the public open space function of the land. ii. Continuous public access to a network of green spaces is maintained, including the Esplanade, foreshore spaces, and nearby regional open spaces. iii. Public spaces are enhanced as versatile spaces that support: <ul style="list-style-type: none"> a) informal public gathering, rest and recreation; b) organised temporary events including markets, pop up stalls, food trucks and live music; c) outdoor extensions of adjacent businesses where appropriate and approved by the City of Darwin; and d) shared use by informal users and different businesses, and adaptation of uses across day/night and dry season/wet season. iv. Development adjacent to public open space and key pedestrian / cycle routes enhances the safety and amenity of these spaces. v. Extensive areas are planted with shade trees to make the city cool and attractive, and encourage pedestrian use.

<p>3.3 Encourage provision of new publicly accessible open spaces and recreation areas.</p>	<ul style="list-style-type: none"> i. Sites of 3500m² or larger, and broad scale planning for the redevelopment of focus areas, are developed with complementary public open spaces such as plazas which: <ul style="list-style-type: none"> a) contribute to an integrated, high-quality network of public spaces; b) are flexible and provide for a variety of uses and events, including recreation, fitness, play, cultural and artistic functions in addition to ecological and stormwater management functions; c) facilitate a range of active and passive recreation to meet the needs of the community; d) incorporate existing significant sites of natural or cultural value, including interpretive information; e) connect with the cyclist and pedestrian network identified in the Movement and Transport - Potential Enhancement to Pedestrian/ Cycleway Network Map; f) link habitats, wildlife corridors, public open spaces and existing recreation facilities; g) enable effective stormwater management; and h) allow for temporary uses such as street activities and special events including cultural, entertainment and artistic performances. ii. Public open space areas provide park furniture, display of art, lighting, shade structures and landscaping.
<p>3.4 Provide for the establishment of a district level, multi-purpose community centre.</p>	<ul style="list-style-type: none"> i. A district level, multi-purpose community centre is provided at one of the sites identified on the Social Infrastructure, Culture and Heritage Map or elsewhere in Central Darwin. ii. Community facilities within a multi-purpose community centre provide flexible spaces for a range of activities including: <ul style="list-style-type: none"> a) council administrative functions; b) community service agencies; c) cultural facilities; d) adult education facilities; and e) open spaces facilitating a range of community events. iii. Net social infrastructure is maintained across Central Darwin and is not reduced through new development.
<p>3.5 Provide for the development of an indoor sports facility.</p>	<ul style="list-style-type: none"> i. A sports facility is provided for at one of the sites identified on the Social Infrastructure, Culture and Heritage Map or elsewhere within Central Darwin.



Culture and Heritage Theme

The Larrakia explained the significance of Lamaroo to surveyors from the Beagle in 1839. The area subsequently became the site of a permanent settlement in 1869.

Central Darwin is rich in cultural and heritage values related to Aboriginal culture, European and Asian settlement, and World War II. Heritage places contribute to the quality of life and cultural identity of our community, with a number of heritage places providing a focal point for community gatherings. Places of cultural and heritage value also have high economic value, generating visitation and expenditure, particularly through tourism.

This Area Plan requires the recognition, protection, conservation, management, and revitalisation of cultural and heritage places. This Area Plan also encourages developments proposed in proximity to places of cultural and social interest to demonstrate how they acknowledge such places and, where practicable, protect and enhance the amenity above and beyond the requirements of the various laws protecting cultural heritage.

Development sympathetic to historic building



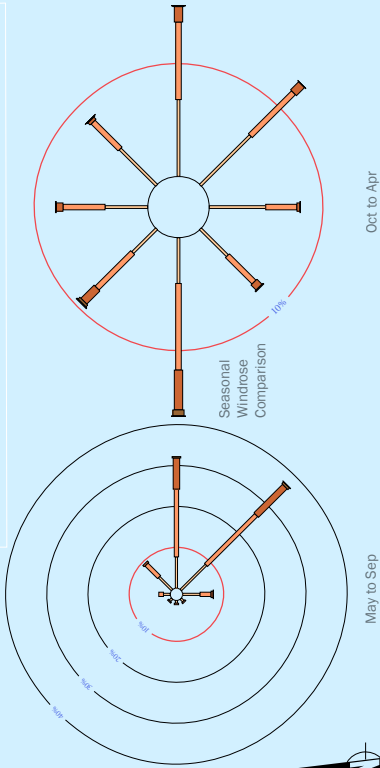
New development behind historic frontage

Historic building frontage retained

4. Protect and enhance sites of cultural significance and historic value to enrich community awareness and experience

Objectives	Acceptable Responses
4.1 New development responds to and respects places and sites listed on the Northern Territory Heritage Register and other places of heritage interest.	<ul style="list-style-type: none"> i. Building design responds to significant features of adjoining heritage sites, buildings or objects to all extent reasonable and practical. This may include a response to the scale, colours, textures and materials of heritage features. Alternatively, the response may provide juxtaposition with the heritage feature to emphasise heritage significance and distinguish the difference in time and style. ii. Setbacks of new development adjoining heritage listed features are sensitive to heritage elements by considering the interface with regard to bulk, setback and materials, and maintain view corridors. iii. Development on, or adjoining a place or item of cultural and social interest indicated on the Social Infrastructure, Culture and Heritage Map supports ongoing public access and is designed in a manner that shows consideration of that place or item.
4.2 Adaptive re-use of a heritage place is sympathetic to the values of the site.	<ul style="list-style-type: none"> i. Adaptive reuse of heritage sites, as identified on the Social Infrastructure, Culture and Heritage Map, is of a scale compatible with the significance of the site. ii. Any alterations required to facilitate the adaptive reuse of heritage places should be informed by an understanding and analysis of the heritage place's significance and the principles of the Burra Charter. iii. Adaptive reuse requires minimal alterations to the place's significant fabric and does not destroy the ability to interpret the original function of the place. Where change is proposed, it should be recognisable as new work and where possible, be reversible.
4.3 Recognise and celebrate the multicultural heritage and values of Central Darwin.	<ul style="list-style-type: none"> i. Places of historical and cultural value within the study area, including significant sites, buildings structures, trees, and landscape elements are recognised and connected through innovative forms of interpretation.
4.4 Support the adaptive re-use of sites of heritage value.	<ul style="list-style-type: none"> i. Where there is reasonable capacity to do so, discretion is applied in the evaluation of development proposals relating to sites of heritage value. This is in recognition of challenges associated with the development of such sites complying with current development standards outlined in the Planning Scheme.

Environment Map



Legend

- Storm Surge
 - Primary
 - Secondary
- Coastline
- Organised Recreation
- Open Spaces



Environment Theme

Central Darwin includes coastal, remnant vegetation and urban forest systems that underpin the amenity of the area. This amenity includes cultural values which make a significant contribution to the economy and liveability of the study area. Darwin Harbour is an internationally significant conservation area that supports native flora and fauna, provides recreation spaces, and generates cooling breezes. Economic benefit is derived through harbour-based and marine industries, and tourism.

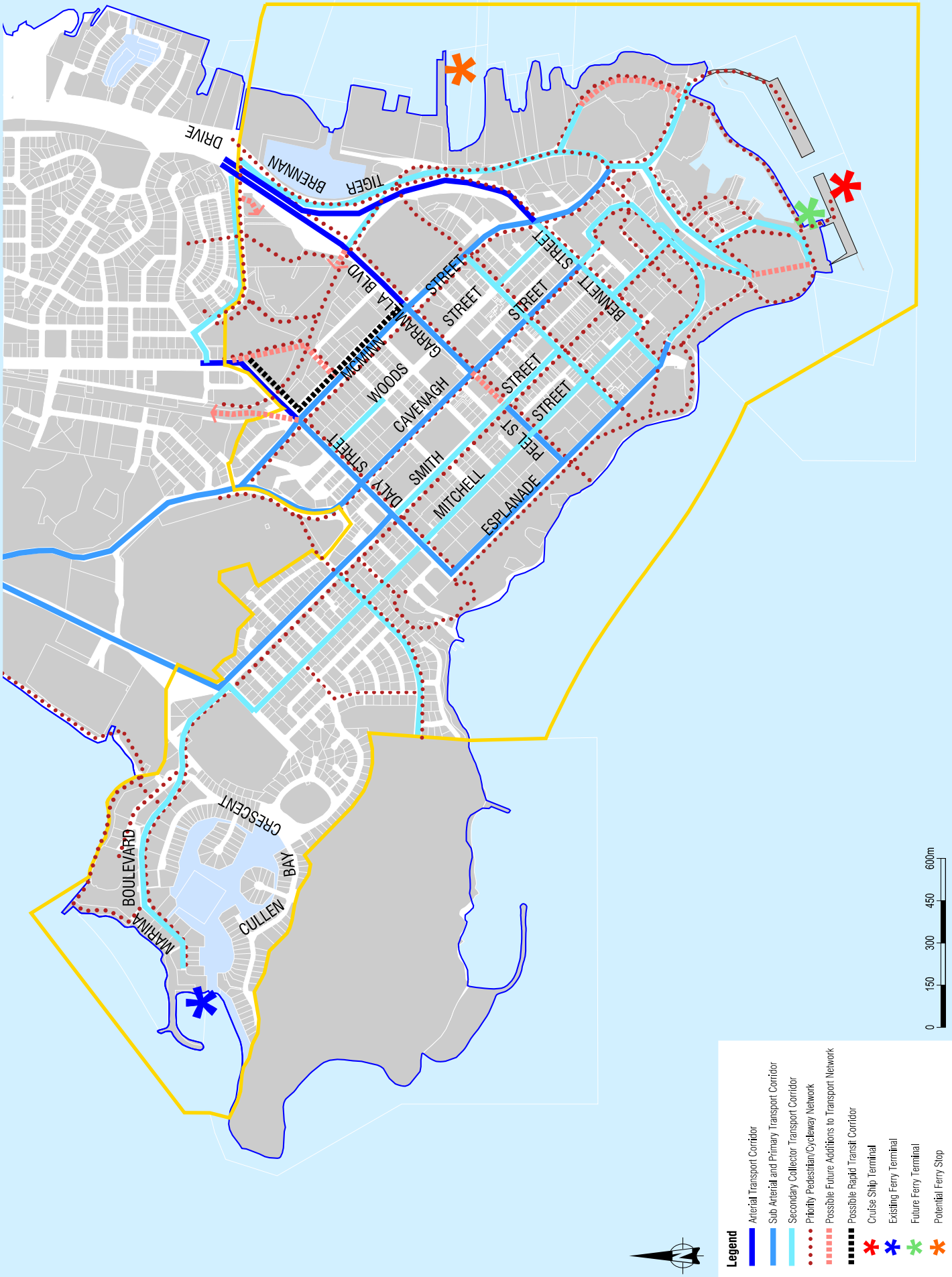
Hazards that may affect land in Central Darwin include the presence of biting insects, acid sulfate soils, storm surge events and residual site contamination. This Area Plan provides guidance for land subject to storm surge or with the potential for contamination.

This Area Plan seeks to protect and utilise the functions of the natural environment for the continued enjoyment of the community by ensuring development responds appropriately to natural constraints.

5. Protect and enhance the functions of the natural environment for the continued enjoyment of the community

Objectives	Acceptable Responses
5.1 Protect and preserve the Darwin Harbour i.e. tidal mud flats and mangroves	i. There is no net loss of mangrove communities within Zone CN (Conservation).
5.2 Respond to potential residual contamination issues.	i. Development is informed by an assessment of site contamination. ii. Development is designed and engineered to respond to any contamination issues. iii. Development demonstrates a response to site contamination in accordance with any Statement of Environmental Audit prepared for the site and to the satisfaction of the relevant authorities.
5.3 Respond to potential impacts of storm surge.	i. All development in a Primary or Secondary Storm Surge Area is to be developed in accordance with the provisions of the Planning Scheme.

Movement and Transport - Transport Network Map



Movement and Transport: Potential Enhancements to Pedestrian / Cycleway Network



Movement and Transport: City Recreation Loop



Movement and Transport Theme

Central Darwin contains a range of local and regional public and private vehicle transport networks. As the major tourist commercial and retail area for the region it is essential that visitors and residents can easily navigate their way around the city.

The main entries to Central Darwin are from Stuart Highway, Garramilla Boulevard, Tiger Brennan Drive, Gilruth Avenue and Gardens Road. Smith Street provides an important link connecting the Darwin Waterfront to Cullen Bay.

This Area Plan supports a movement network within Central Darwin that is safe and convenient. Enhancements to streets and spaces will improve the pedestrian and cyclist experience. This Area Plan identifies priority pedestrian and cycle routes, and a 'City Recreation Loop' that will improve pedestrian and cycle



City Recreation Loop

connections within the City.

The Goyder Grid historically provided a high level of connectivity within the city. While this largely remains the case, some land consolidation over the years, at the expense of road reserves, has reduced linkages. As sites are developed, consideration will be given

to providing opportunities for reinstating access for pedestrians.

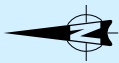
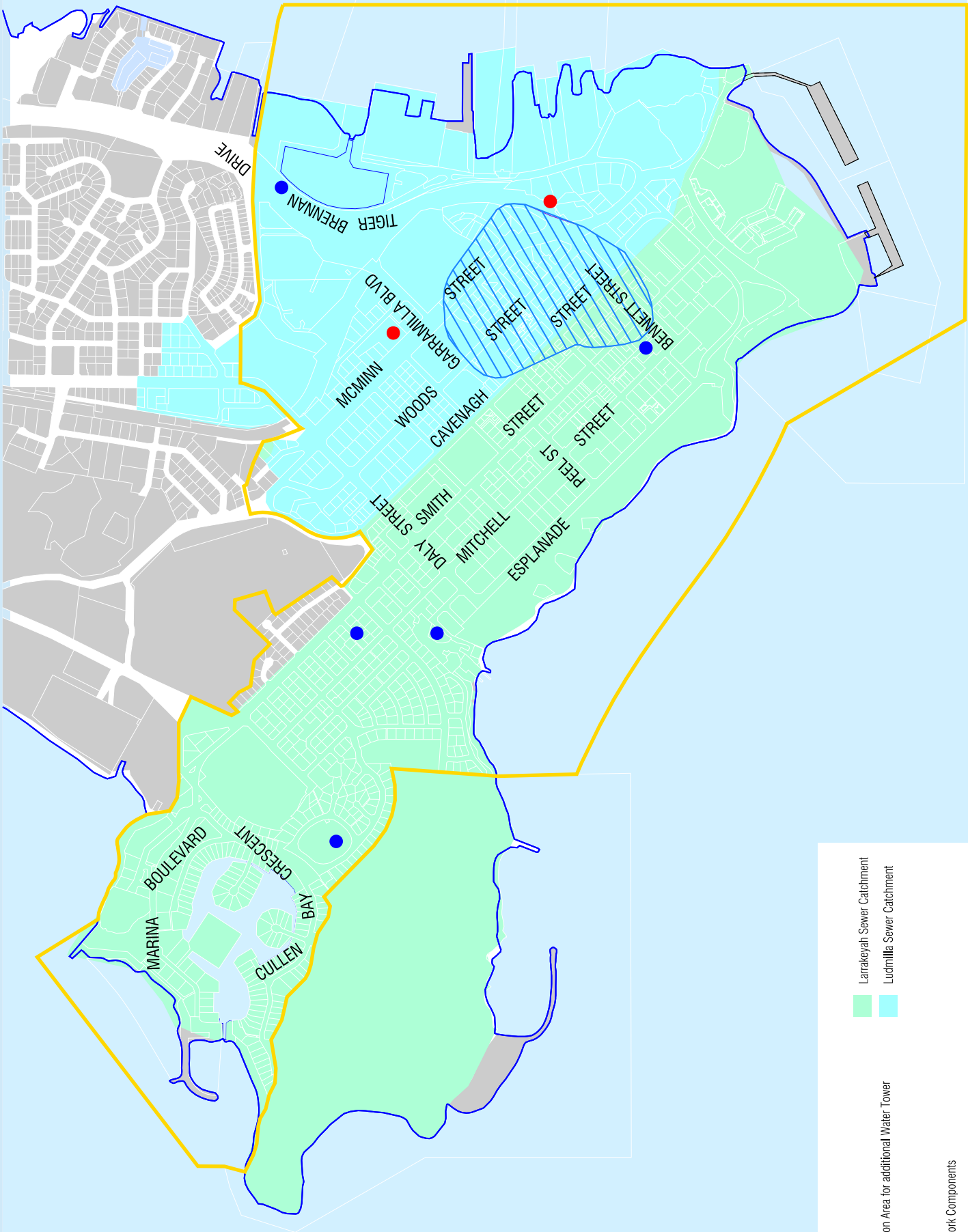
This Area Plan aims to preserve transport corridors and ensure these corridors are developed to provide high amenity. This will result in efficient movement into and through the city.

6. Provide an interconnected movement network that is safe and efficient for all users, balances the needs for vehicles with movement needs of pedestrians and cyclists, and does not impinge upon the aesthetics of the streetscape

Objectives	Acceptable Responses
6.1 Maintain a highly permeable grid street network within the city centre.	<ul style="list-style-type: none"> i. A fine-grained grid of local streets are retained or expanded upon which support a highly permeable, pedestrian and cycle friendly city centre. ii. A grid configuration of city streets and blocks are provided consistent with the existing street and block layout across Central Darwin. Blocks measure between 60m x 120m width and 120m x 240m length. Blocks incorporate mid-block laneways where possible. iii. Large developments of 3500sqm or larger within the city centre provide connections through the site and to the existing grid.

6.2 Provide appropriate primary vehicle and service access that maintains high levels of pedestrian amenity and minimises disruptions to pedestrian movements.	i. Existing and proposed lots are serviced by laneways where possible.
6.3 Enhance pedestrian and cyclist amenity, safety and movement.	<ul style="list-style-type: none"> i. Pedestrian and cyclist links are direct, connected, have clear sightlines, and are well lit. ii. Laneway pedestrian crossings connect arcades and are safe attractive and distinct. iii. Where there is reasonable capacity to do so, street and movement network enhancements include provision for pedestrians and cyclists. This may include, but is not limited to: <ul style="list-style-type: none"> a) Separated Cycleways b) Prioritised street crossings c) Bike Parking d) Map signs e) Directories f) signage identifying pedestrian and/or cyclist networks i.e. City Recreation Loop; and g) interpretive signage. iv. Street verges are landscaped to provide shading for pedestrians and cyclists, while also softening the appearance of hard surfaces and buildings.
6.4 Areas identified as 'Green Links' are leafy, high amenity shared movement corridors.	<ul style="list-style-type: none"> i. Areas identified as 'Green Links' make use of wide road reserve to accommodate multiple modes of transportation, bus stops, public art, and landscaping. ii. Streetscape and landscape enhancements are prioritised within 'Green Link' road reserves and provided in a coordinated manner. iii. In accordance with any relevant policies of road authorities, examine opportunities for improving the amenity of streets identified as 'Green Links'. This may include, but is not limited to: provision of landscaping, street trees, shared footpaths, separated cycleways, street furniture and/or drinking water stations.
6.5 Facilitate transport network upgrades.	<ul style="list-style-type: none"> i. Possible future additions to the transport network indicated on the Movement and Transport Maps, and including a potential rapid transit corridor, are not compromised. ii. Where the City of Darwin or the Northern Territory Government has established an infrastructure contribution plan to fund the construction of strategic transport connections, contributions are to be made in accordance with the contribution plan; OR The proponent demonstrates how a proposed development will be serviced to a standard that satisfies the requirements of the responsible service authority and how the required infrastructure will be paid for. iii. Land identified as part of the City Recreation Loop on the City Recreation Loop Map is developed as high amenity pedestrian and cyclist space, and integrates with neighbouring parts of the network.

Essential Infrastructure Map



Legend

- Coastline
- Investigation Area for additional Water Tower
- Essential Services
 - Power Network Components
 - Water and Sewerage Network Components

- Larrakeyah Sewer Catchment
- Ludmilla Sewer Catchment



Essential Infrastructure Theme

Established areas in Central Darwin are fully serviced by reticulated power, water and sewer, as well as underground stormwater drainage, and the NBN. Upgrades are likely to be required to support ongoing service provision as the development of land continues.

This Area Plan aims to ensure the sequential and cost-effective provision of infrastructure and assist with the coordination of design, development and funding contributions for required infrastructure upgrades. Funding contribution(s) and/or another

agreement(s) will enable the provision or upgrade of utilities and infrastructure. This Area Plan also reflects the goals of the Smart Cities program which encourages the integration of digital/smart infrastructure as other service infrastructure upgrades are required.

7. Provide for adequate power, water, sewerage, digital and telecommunications infrastructure

Objectives	Acceptable Responses
7.1 Upgrade existing utilities and trunk services to service development in a timely and holistic manner.	<ul style="list-style-type: none"> i. Investigate the need for, and suitable location of, new water towers. ii. Upgrades to water reticulation are considered prior to development. iii. Trunk infrastructure for reticulated services is incorporated into a development's engineering design. iv. Upgrades to existing infrastructure are provided and funded in accordance with an approved infrastructure plan; OR <p>The proponent demonstrates how a proposed development will be serviced to a standard that satisfies the requirements of the responsible service authority and how the required infrastructure will be paid for; OR</p>
7.2 Provide utilities and trunk services sequentially and cost effectively.	<p>The proponent accepts the requirement for either a monetary contribution or requirement to enter into agreements with the relevant authority for the provision of infrastructure.</p> <ul style="list-style-type: none"> v. New infrastructure is provided sequentially and funded in accordance with an approved infrastructure plan; OR <p>The proponent demonstrates how a proposed development will be serviced to a standard that satisfies the requirements of the responsible service authority and how the required infrastructure will be paid for.</p> <ul style="list-style-type: none"> vi. Development and / or subdivision may be deferred or refused if utilities and trunk services are not provided as required by this Area Plan, the NT Planning Scheme, or another service authority.
7.3 Ensure that presentation and / or installation of infrastructure does not detract from public amenity.	<ul style="list-style-type: none"> i. Infrastructure avoids impacts on surrounding character and amenity through measures such as incorporating into buildings, screening, or locating in laneways. ii. Provision of subsurface infrastructure does not unreasonably restrict the planting of street trees.
7.4 Encourage innovation and sustainability.	<ul style="list-style-type: none"> i. Infrastructure is future-proofed and enables implementation of options including digital infrastructure, natural gas, district cooling, water capture and reuse, and waste recycling. ii. Provide for future installation of electrical and communications equipment to support Smart Cities infrastructure, including conduit and capacity for additional connection points.

A nighttime photograph of a city skyline reflected in a body of water. The sky is a deep purple, and the city lights are visible in the background. The water in the foreground is calm, creating clear reflections of the buildings and lights. The overall mood is serene and modern.













PART THREE: FOCUS AREAS



A1

City Centre - Core

LEGEND

-  Focus Area Boundary
-  Public Open Space
-  Pedestrian Priority Area (Hardscape Open Space)
-  Priority Pedestrian / Cycleway Network
-  Mixed Use (Commercial, Civic, Residential and Retail)
-  Existing Arcades / Links
-  Indicative Future Arcades / Links
-  Active Frontages Required
-  Declared Heritage Places
-  Places of Cultural and Social Interest
-  High Amenity Boulevard - Road Reserve Upgrade incl. Tree Planting and Pavement Enhancements
-  Gateway Precinct: Development of Sites Surrounding Intersection to be of an Exemplary Architectural Standard (refer to page 20)



A1

City Centre - Core

The city centre encompasses the areas of the city centre that receive the most pedestrian traffic and have the highest proportions of retail land uses. The core is also the historic centre of Darwin, retaining architecture reflecting the history of the city.

Activity in the city centre core is characterised by the dynamic use of public spaces including the Mall, parks, arcades and laneways. These spaces are used for alfresco dining, pedestrian movement, and temporary events such as markets, live music and festivals.

The Smith Street Mall acts as the nexus of daytime activity in the city centre, serving as a landmark and central gathering point for workers, visitors and residents. The Smith Street Mall also acts as the focal centre for retail activity in the city centre, a role which

should be further enhanced and supported into the future.

The role of the city centre core as the primary retail destination in Darwin will be strengthened as substantial opportunities for growth and development through intensification of retail and commercial activity are taken up. Objectives and acceptable Responses for the city centre core encourage:

- an intensification of mixed use retail and commercial development that attracts people and activity;
- a high amenity pedestrian environment incorporating arcade connections, shade, and wayfinding signage; and
- the emphasised role of the mall.

8. Maintain and enhance the City Centre core as a high intensity, safe, and connected retail and commercial dominant environment

Objectives	Acceptable Responses
8.1 Maintain and enhance the concentration of established retail and commercial uses.	<ul style="list-style-type: none">i. Encourage a diversity of activities in street front development.ii. Encourage land uses and developments that employ and attract high numbers of people, and have the potential to activate the city centre by day and night.
8.2 Maintain the function of the Smith Street Mall as the focus for retailing, services, and as the central meeting point of the city centre.	<ul style="list-style-type: none">i. Development in the Smith Street Mall provides retailing and services which contribute to its function.ii. Building design provides a sense of arrival to the Smith Street Mall.iii. Signage in the Smith Street Mall helps visitors navigate between and interpret other areas of interest within the city.iv. Development achieves a human scale at street level and is sensitive to existing street front building heights through the construction of podiums, including parapets, lower than the maximum permitted height of 25m. Reductions in the podium height below 25m may be offset by equivalent volumetric encroachment above 25m within the development.
8.3 Enhance and respond to the existing shop front character presented in the Smith Street Mall.	



A2

Former Shell Site

- LEGEND**
- Focus Area Boundary
 - Public Open Space
 - Pedestrian Priority Area (Hardscape Open Space)
 - Priority Pedestrian / Cycleway Network
 - Mixed Use (Commercial, Civic, Residential and Retail)
 - Potential New Street Connection
 - Active Frontages Required
 - Proposed Open Space Destination
 - Gateway Precinct: Development of Sites Surrounding Intersection to be of an Exemplary Architectural Standard (refer to page 20)



A2

Former Shell Site

The former Shell Fuel Storage Site is over 7 hectares in size. An undeveloped site of this size in close proximity to a city centre is rare within Australian capital cities and represents a unique development opportunity.

The site has strong connections to the city centre, Frances Bay, the former Tank Farm and Stuart Park. However, as McMinn Street and Garramilla Boulevard are very wide and serve as primary corridors, there is a risk that development of the Shell site could be isolated from the city centre. It is very important that detailed land use planning of the site occurs prior to redevelopment and that ad hoc development is avoided.

The site's size and regional connectivity make it ideal for a high amenity, mixed use development performing a key role in accommodating anticipated population, retail

and commercial growth. There is also potential for the site to accommodate a premier sporting facility capable of hosting major national and international competition.

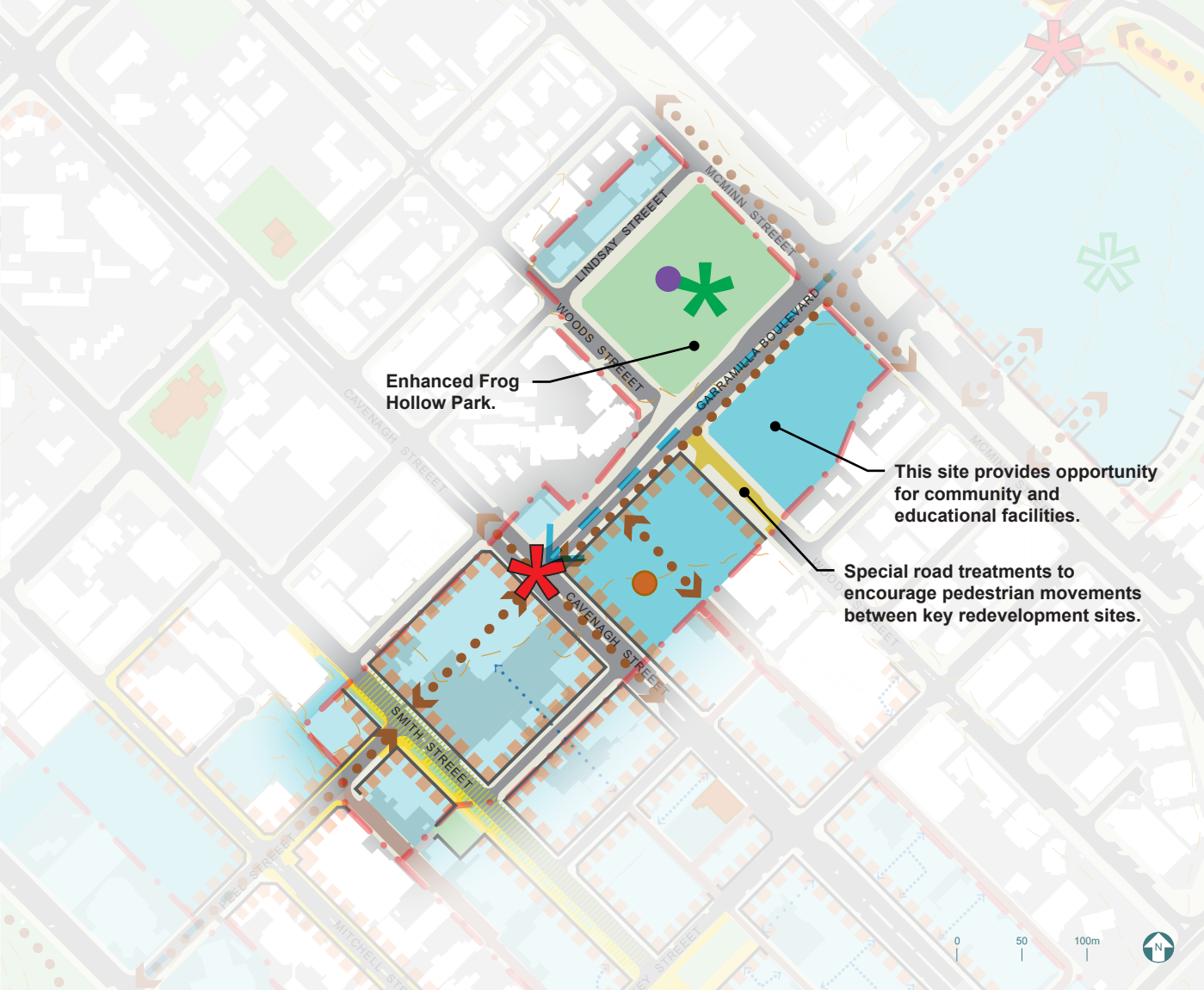
Objectives within this Area Plan build on this connectivity and inherent potential by encouraging:

- a coordinated development;
- an attractive and active, transport friendly environment; and
- local street networks that connect with the surrounding network and support active transport.

9. Enable the development of the Former Shell Site recognising the opportunity that its development may make to Darwin and the Territory

Objectives	Acceptable Responses
9.1 The coordinated development of the site as a mixed use locality.	<p>i. A Local Area Plan is prepared to establish a framework for the coordinated development of the Focus Area. The Local Area Plan will be included within the Planning Scheme following public exhibition and referral to the Northern Territory Planning Commission for advice to the Minister.</p> <p>ii. The Local Area Plan addresses the following detail for the future development of the site:</p> <p>a) demonstrated consideration and response to the key attributes and constraints of the Focus Area including, where necessary, the natural environment, landform, topography, hydrology and soils;</p> <p>b) a response to the objectives in this Focus Area and any other relevant objectives within the Themes section of this Area Plan;</p> <p>c) any major land uses proposed for the locality, taking into account the following land use opportunities:</p> <ul style="list-style-type: none">• leisure and recreation;• commercial;• retail;• open spaces;• community uses; and / or• residential.
9.2 Prepare a planning framework for the future development of the locality.	

	<p>d) Where new roads are proposed, road, block, and laneway configurations are consistent with Objectives 6.1 and 6.2 within the Movement and Transport Theme resulting in a pedestrian friendly, permeable movement network that integrates with the existing street network and hierarchy;</p> <p>e) the indicative lot pattern;</p> <p>f) estimates of the number of future lots, and the estimated number of dwellings, population, employment, and retail floor space;</p> <p>g) provide for an Infrastructure Strategy addressing objectives 7.2 and 7.3 within the Essential Infrastructure Theme;</p> <p>h) where necessary, the integration of the locality with the public transport system. This may include identification of bus stops and road reserve configurations which consider bus movements; and</p> <p>i) a connectivity plan addressing pedestrian movement within the development and to neighbouring localities.</p> <p>iii. An application for subdivision and / or development accords with the endorsed Local Area Plan.</p>
9.3 Establish pedestrian friendly connections from the Focus Area to the city centre, Frances Bay, and the former rail corridor.	<p>i. Design responses ensure that pedestrian connections from the Focus Area to surrounding areas and public transport are:</p> <p>a) direct;</p> <p>b) safe;</p> <p>c) prioritised; and</p> <p>d) shaded by mature trees or shade structures where possible.</p> <p>ii. Land identified on the Former Shell Site Focus Area Map for a potential pedestrian connection to Frances Bay is developed in a manner that preserves the opportunity for a sky bridge and landing.</p>
9.4 Establish a local street network that supports pedestrian and cyclist movement, and connects with the surrounding road network, cycle network, and other surrounding localities.	<p>i. Proposed road, block, and laneway configurations are consistent with Objectives 6.1 and 6.2 within the Movement and Transport Theme and:</p> <p>a) result in a pedestrian friendly, permeable movement network;</p> <p>b) provide multiple visual and physical connections with the existing and future street network and bicycle and pedestrian networks; and</p> <p>c) are landscaped and shaded generally in accordance with the pedestrian/ cycleway network indicated on the Former Shell Site Focus Area Map.</p>
9.5 Provide public space which recognises and contributes to the existing public space network.	<p>i. Public spaces contribute to the broader public space network which connects the city centre, Frances Bay, Darwin Waterfront, and the George Brown Darwin Botanic Gardens.</p> <p>ii. Provide public open space in locations consistent with the Focus Area Map.</p>
9.6 Maintain and enhance view corridors.	<p>i. Public spaces maintain view corridors as depicted on the Former Shell Site Focus Area Map.</p> <p>ii. Viewlines are identified and incorporated within public open space design.</p>



A3

Education and Civic Precinct

- LEGEND**
- Focus Area Boundary
 - Public Open Space
 - Pedestrian Priority Area (Hardscape Open Space)
 - Priority Pedestrian / Cycleway Network
 - Mixed Use (Commercial, Civic, Residential and Retail)
 - Key Street Vista / View Line
 - Indicative Future Arcade / Link
 - Active Frontages Required
 - Open Space Destination
 - Declared Heritage Place
 - High Amenity Boulevard - Road Reserve Upgrade incl. Tree Planting and Pavement Enhancements
 - Gateway Precinct: Development of Sites Surrounding Intersection to be of an Exemplary Architectural Standard (refer to page 20)



A3

Education and Civic Precinct

Additional community, education, commercial, and retail activities are required to cater for future growth in Central Darwin and the broader region. For this growth and development to occur it is essential that sufficient land is identified. The Education and Civic Precinct Focus Area recognises the potential of the Post Office car park and former Darwin Primary School for meeting the civic and community development needs of Central Darwin.

There is significant opportunity for intensification of community facilities in the Education and Civic Precinct locality. Large undeveloped or underdeveloped sites along Garramilla Boulevard present opportunities to integrate community facilities into a mixed use urban village that complements the city centre. Education uses may include university facilities

and associated student accommodation, as well as a school. Related commercial and retail uses may also complement the activity in this locality.

Garramilla Boulevard and McMinn Street will have a strong influence on activity and movement within the village. Garramilla Boulevard has been planned to provide cyclist and pedestrian amenity through both shade and nominated movement corridors. The objectives and acceptable responses below contain provisions to guide the similar development of McMinn Street as a shady boulevard offering priority to public and active transport users. Opportunities to extend green spaces and increase tree planting have also been identified in the Education and Civic Precinct concept, objectives, and acceptable responses.



Education and Civic Precinct concept image

10. Create an integrated urban village with a high intensity environment, with focus on education which is complementary to the City Centre - Core

Objectives	Acceptable Responses
10.1 Establish an active neighbourhood that provides a mix of high density residential and high intensity community, education, retail, and commercial uses.	<ul style="list-style-type: none"> i. Uses may include: <ul style="list-style-type: none"> a) education and research facilities; b) residential development such as units, student accommodation, and short term accommodation; c) commercial and retail including restaurants, shops, & offices; d) a civic hub with community facilities such as child care, medical centres, and multi-use public space; and e) car parking and public transport facilities.
10.2 Promote physical and visual connectivity of development across the village and with neighbouring localities.	<ul style="list-style-type: none"> i. A grid of local streets interconnecting with adjacent roads. ii. Built form supports integration with the City Centre - Core by: <ul style="list-style-type: none"> a) referencing surrounding architecture; b) enabling seamless movement between localities; and c) providing continuous active frontage to Garramilla Boulevard and Cavenagh Street.
10.3 Use road reserves to improve connectivity and amenity.	<ul style="list-style-type: none"> i. McMinn Street road reserve provides for: <ul style="list-style-type: none"> a) public transport and active transport priority spaces; b) a tree-lined boulevard with landscaping on the edges and median of the road; and c) improved connections between adjacent development sites. ii. Woods Street road reserve, adjacent to Frog Hollow park, is investigated for the opportunity to expand the park and provide car parking for users of the park. iii. Surplus land within the Woods Street road reserve between Lots 5803, 5672, 5001 (54, 56 and 57 Woods Street) provides enhanced pedestrian connection between the Post Office car park site and the former primary school site to allow for the creation of a campus style development that prioritises pedestrian movement.
10.4 Enhance public amenity between Frog Hollow and the adjacent site Lot 5238 (64 Wood St), Town of Darwin.	
10.5 Enhance public amenity between Lots 5803, 5672, 5001 (54, 56 and 57 Woods Street), Town of Darwin.	



A4

Esplanade Character Area

- LEGEND**
- Focus Area Boundary
 - Public Open Space
 - Priority Pedestrian / Cycleway Network
 - Mixed Use (Commercial, Civic, Residential and Retail)
 - Key Street Vista / View Line
 - Open Space Destination Existing / Proposed
 - Organised Recreation
 - Declared Heritage Places
 - Places of Cultural and Social Interest
 - Special / Heritage Building and Landscape Curtilage
 - Potential Area for Change



A4

Esplanade Character Area

The Esplanade Character Area is a special place for Darwin characterised by high amenity and clifftop views of the Harbour. The Esplanade presents a 'postcard' setting for Darwin, reinforcing the city's identity as a harbour city and Australia's northern capital. The Esplanade Character Area includes Bicentennial Park which is the premier open space for the Darwin City Centre. Bicentennial Park is a multi-use space which accommodates events and has good connections to the Darwin Waterfront, city centre and Larrakeyah.

The public open space, the varied skyline, and the mixed use nature of the focus area, support an eclectic mix of human scaled urban spaces, historic buildings and a dining and entertainment economy. The Esplanade Character Area will continue to provide tourist accommodation, entertainment, event and cultural land uses.

The development of high quality buildings and landscape enhancements will further improve this desirable destination. This may be achieved through podiums on new buildings having reduced width, having a height which is less imposing and the provision of landscaping to improve ties between built form and the Esplanade parklands.

This Area Plan recognises the mixed feedback in response to relaxing building heights and balances this against a strong desire to deliver high quality built form. This includes recognition for providing public amenity and enhanced street interfaces.



11. Development reinforces the established role of the Esplanade Character Area in providing accommodation, cultural, entertainment, and recreation activities for tourists and residents

Objectives	Acceptable Responses
11.1 Encourage development that contributes to a high amenity urban environment.	<ul style="list-style-type: none"> i. Provide height to corner buildings and integrate vertical elements such as additional storeys, raised parapets, and roof sections. ii. Recreational facilities and other enhancements are incorporated within open space design i.e. exercise stations and street furniture. iii. Signage is integrated into the design of buildings.
11.2 Provide a mix of tourism, residential, event and entertainment uses which contribute to a tourist commercial setting.	<ul style="list-style-type: none"> i. Development proposals retain a residential and/or tourist accommodation focus of development along the Esplanade. Land uses include, but are not limited to: <ul style="list-style-type: none"> a) tourist accommodation (hotel/serviced apartments); b) a range of residential units; c) outdoor recreation (swimming pools); d) cafes, bars and restaurants; and e) ground floor specialty retail and commercial. ii. Encourage land uses and developments that attract high numbers of people, and have the potential to activate the focus area by day and night.
11.3 Maximise opportunities for physical and aesthetic integration of development across the locality and with neighbouring localities.	<ul style="list-style-type: none"> i. Pedestrian connectivity is maintained and includes high amenity public access from the focus area to Larrakeyah, the Waterfront, and the city centre. ii. Strong landscape treatments provide shade and are largely comprised of native coastal vegetation. iii. Viewlines are identified and incorporated within open space design.



B

Darwin Waterfront

LEGEND

- Focus Area Boundary
- Public Open Space
- Pedestrian Priority Area (Hardscape Open Space)
- <...> Priority Pedestrian / Cycleway Network
- > Key Street Vista / View Line
- 25 Max. Overall Building Height to AHD (metres)
- * * Open Space Destination Existing / Proposed
- Organised Recreation
- * Future Ferry Terminal
- * Cruise Ship Terminal
- Declared Heritage Places
- Place of Cultural and Social Interest
- Special / Heritage Building and Landscape Curtilage
- Potential New Street Connection



B

Darwin Waterfront

The Darwin Waterfront is a well-established recreation and mixed use activity centre providing a major dining and entertainment attraction with high amenity foreshore access. It is a quality tourist destination that attracts domestic and international visitors to Northern Australia.

The objectives and acceptable responses below represent an updating and integration of the Darwin Waterfront Area Plan and Planning Principles into the Central Darwin Area Plan.

To the northeast and southwest of the established Darwin Waterfront area there are significant parcels of undeveloped land including:

- the Stokes Hill Commonwealth defence property;
- coastal land between Stokes Hill Road and Frances Bay currently earmarked for an iconic waterpark facility; and
- land earmarked for development of a luxury hotel.

The appropriate development and integration of these sites with surrounding land uses could be significant for accommodating the anticipated residential and tourism demand into the far term. Pedestrian links to the city centre, Frances Bay, and the Esplanade are also an important consideration as development continues and tourism expands.

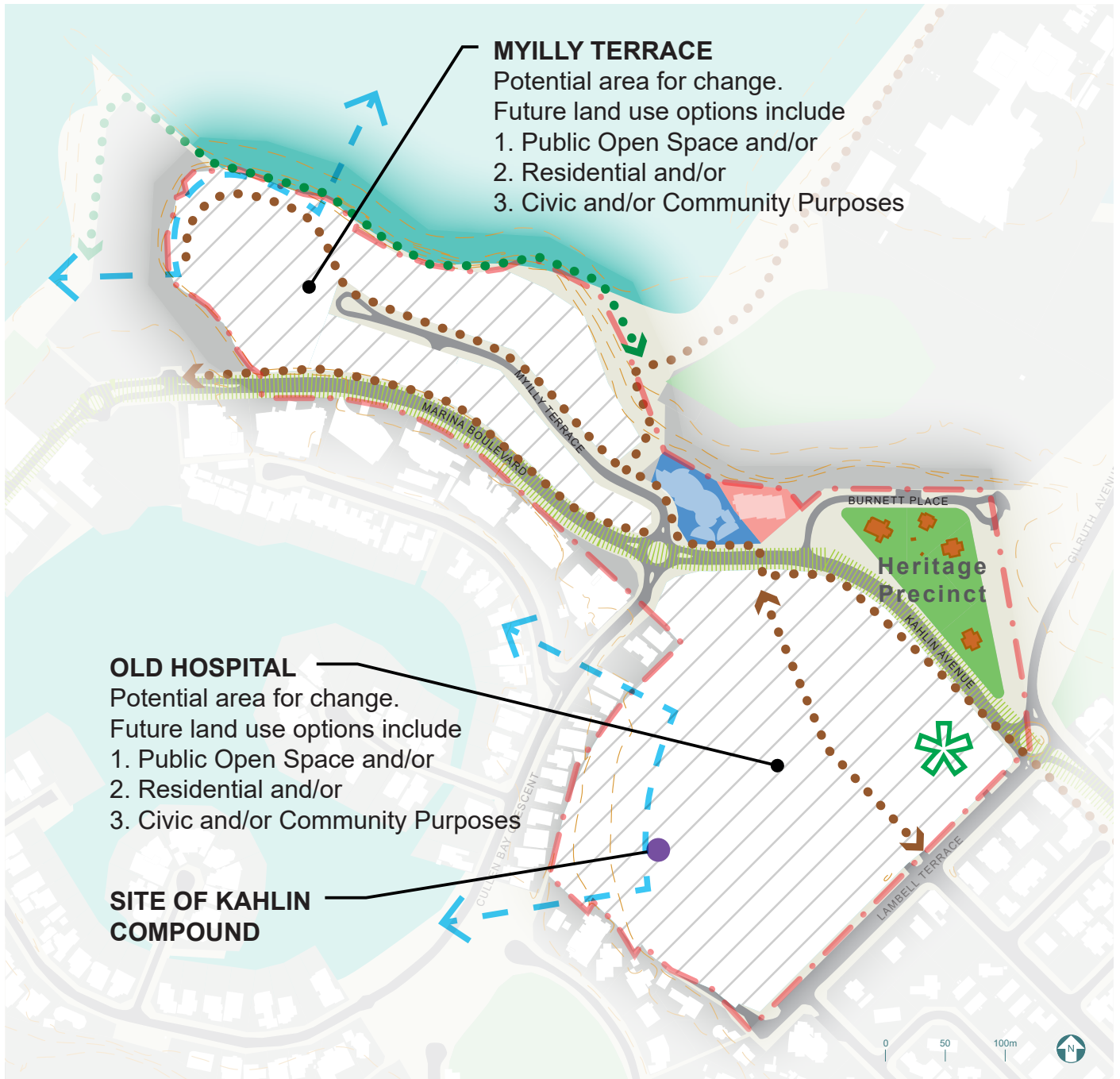


Darwin Waterfront

12. Continued use and development reinforces the established character of the Darwin Waterfront, reflects its maritime and historical connections, and enhances connectivity with surrounding localities

Objectives	Acceptable Responses
12.1 Promote tourism, recreation, residential, retail, and commercial development.	<ul style="list-style-type: none"> i. Uses could include: <ul style="list-style-type: none"> a) cultural and leisure facilities (interpretive centres, galleries, and the like); b) recreational facilities (parks, safe swimming areas, commercial water based recreation, and the like); c) tourist accommodation (hotel/serviced apartments); d) a range of residential units; e) cafes, bars, and restaurants; f) ground and first floor specialty retail and offices; g) car parking including multi-level (above ground); and i) a future ferry terminal that supports potential tourism opportunities and meets the needs of the growing population.
12.2 Recognise the existing and ongoing requirements of the maritime industry, other users of the wharves, and supporting facilities and land uses.	<ul style="list-style-type: none"> i. Development is consistent with the operational requirements of the maritime industry and supporting land uses. ii. Lighting installations do not impact on shipping navigation aids. iii. Marine structures are positioned to ensure no adverse impacts on the operation of the port having regard to tidal studies and foreshore impacts.
12.3 Development of land accommodates the requirements of the Department of Defence.	<ul style="list-style-type: none"> i. Department of Defence requirements for a marshalling area adjacent Fort Hill Wharf and associated operational requirements are accommodated.
12.4 Maximise opportunities for physical and aesthetic integration of development across the locality and with neighbouring localities, particularly the City Centre.	<ul style="list-style-type: none"> i. Pedestrian connectivity is provided and maintained within the focus area, to the city centre, and includes high amenity public access along the foreshore from Bicentennial Park to Frances Bay. ii. New and/or existing connection(s) between the Civic Precinct and the Darwin Waterfront are provided for and/or enhanced. iii. A legible street structure connects with the street network established within the focus area. iv. Development is of a scale that relates to the surroundings and reflects the established character. v. Development is generally sited below the level of the vegetated escarpment. vi. Strong landscape treatments provide shade and are largely comprised of native coastal vegetation.
12.5 Reflect the historical connections of the locality in the design of development.	<ul style="list-style-type: none"> i. The site of Goyder's Camp is retained as a public open space area. ii. Key views from Government House to the water and wharves are preserved as indicated on the Focus Area Map.

12.6 Prospective development considers and responds to storm surge levels.	<ul style="list-style-type: none">i. Consider storm surge levels by:<ul style="list-style-type: none">a) including a marina and sea wall, with a minimum top level of 5.5m AHD; andb) siting the lowest floors (commercial and residential) within the development at a minimum of 6.5m AHD
12.7 Providing appropriate coastal protection particularly to residential and commercial properties.	



LEGEND

- Focus Area Boundary
- Priority Pedestrian / Cycleway Network
- - - - - Key Street Vista / View Line
- Tourist Commercial
- Multiple Dwelling
- Potential Area for Change
- Special / Heritage Building and Landscape Curtilage
- Places of Cultural and Social Significance
- ✱ Proposed Open Space Destination
- Potential Pedestrian Connection / Boardwalk
- ||||| High Amenity Boulevard - Road Reserve Upgrade incl. Tree Planting and Pavement Enhancements

C

Site of Kahlin Compound/ Old Hospital Site/ Myilly Terrace



C

Site of Kahlin Compound/ Old Hospital Site/ Myilly Terrace

The Kahlin Compound, Old Hospital Site and land along Myilly Terrace comprise an historically and culturally important locality. The Kahlin Compound was the place where in 1912 the Larrakia community were forcibly relocated from

Lamaroo Beach. Aboriginal residents of Darwin were forced to live here until 1938. During the second World War (1941) a military hospital was built on the site. This continued to operate as Darwin's general hospital until the early 1980's.

Property along Myilly Terrace was historically used to provide housing for public servants, examples of which remain in the adjacent Myilly Heritage Precinct. While much of the land along Myilly Terrace is in Zone PS (Public Open Space), it has not been developed for this purpose to date.

These localities are connected with the city centre and Darwin Waterfront via Smith Street, which will become a high amenity green link stitching together Central Darwin. This green link is envisaged to include a shared movement corridor incorporating active transport.

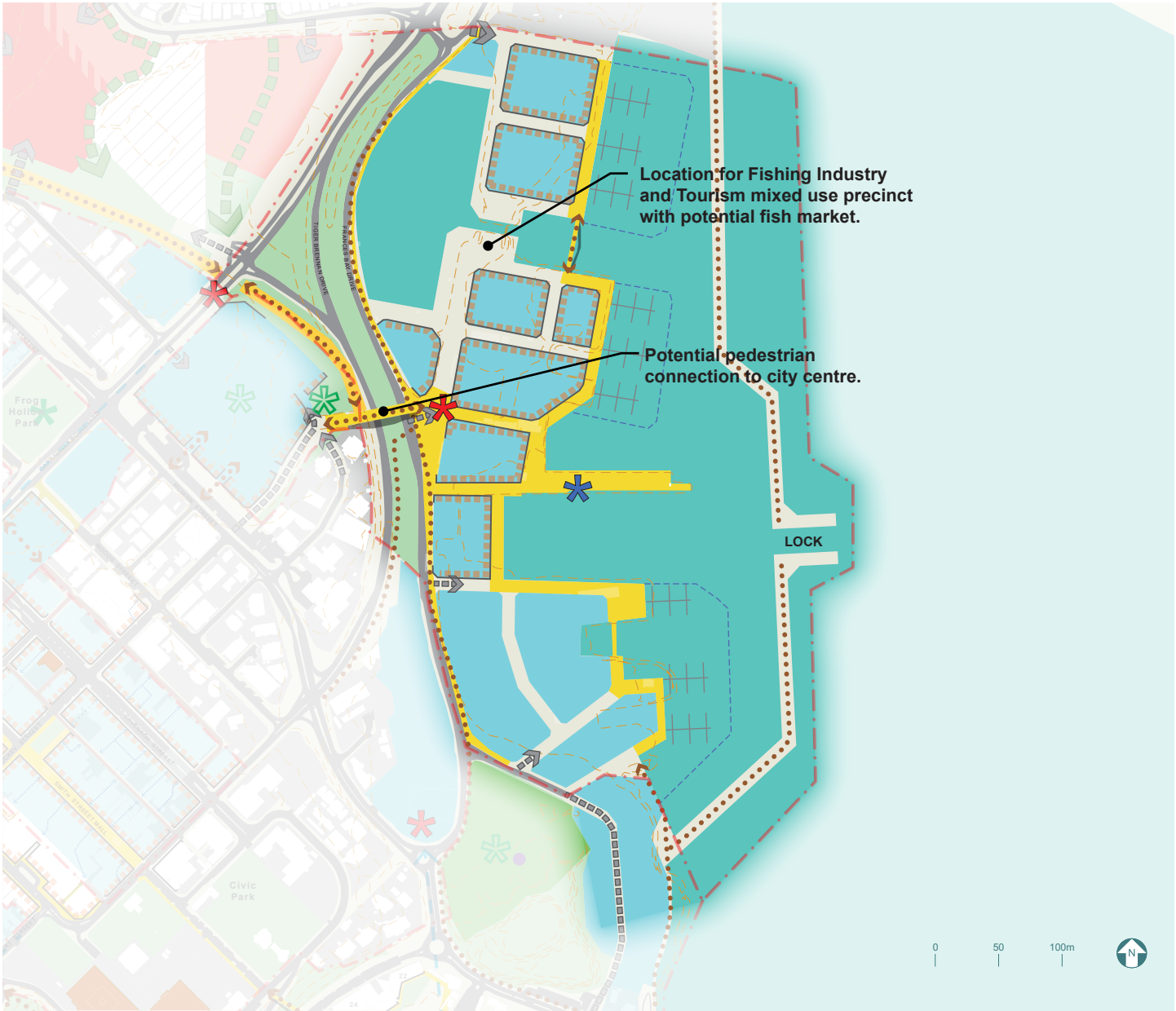
A development framework is needed to ensure that future uses are appropriate, sensitive, and include significant associations, meanings, and activities of the area. This must be done while also making effective use of such a large landholding in Central Darwin. To this end, the Area Plan identifies the locality as a potential area for change and requires the preparation of a Local Area Plan addressing historical associations and connectivity.

The remainder of Larrakeyah and Cullen Bay are anticipated to develop in accordance with the current zoning and it has not been considered necessary to include them in a Focus Area. Such development will support the viability of the Smith Street local activity centre and the Cullen Bay specialist centre.

13. Encourage revitalisation in line with cultural and social historical connections

Objectives	Acceptable Responses
13.1 Coordinate development of the sites to comprise a range of land uses that reflect the cultural and social interest in the location.	<ul style="list-style-type: none"> i. A Local Area Plan is prepared to establish a framework for the coordinated development of the Focus Area. The Local Area Plan will be included within the Northern Territory Planning Scheme following public exhibition and referral to the Northern Territory Planning Commission for advice to the minister. ii. The Local Area Plan addresses the following detail for the future development of the site: <ul style="list-style-type: none"> a) demonstrated consideration and response to the key attributes and constraints of the Focus Area including, where necessary the natural environment, landform, topography, hydrology, and soils; b) how individual developments will relate to existing and anticipated development; c) a response to the objectives in this Focus Area and any other relevant objectives within the Themes section of this Area Plan; d) any major land uses proposed for the locality in accordance with the Focus Area Map;
13.2 Prepare a planning framework for the future development of the locality.	

	<p>e) where new roads are proposed, road, block, and laneway configurations are consistent with Objectives 6.1 and 6.2 within the Movement and Transport Theme result in a pedestrian friendly, permeable movement network that integrates with the existing street network and hierarchy, and bicycle and pedestrian networks;</p> <p>f) the indicative lot pattern;</p> <p>g) estimates of the number of future lots, and the estimated number of dwellings, population, employment and retail floor space;</p> <p>h) provide for an Infrastructure Strategy addressing objectives 7.2 and 7.3 within the Essential Infrastructure Theme;</p> <p>i) where necessary, the integration of the locality with the public transport system. This may include identification of bus stops and road reserve configurations which consider bus movements; and</p> <p>j) creation of a Heritage Walk between the Myilly Point Heritage Precinct and a developed Old Hospital site which improves connectivity, demonstrates interpretation of the significance of the site of the Kahlin Compound, and includes interpretative signage.</p> <p>iii. An application for subdivision and / or development accords with the endorsed Local Area Plan.</p>
13.3 Incorporate attractive open space with a focus on culture heritage and recreation.	<p>i. Historical connections, such as the Kahlin Compound and the old Darwin Hospital, are appropriately recognised and interpreted through commemorative design responses i.e. artwork, plaques, landscape architecture, etc.</p> <p>ii. Development provides facilities for informal public gathering, rest, and recreation.</p> <p>iii. Recreational facilities, such as an adventure playground and / or exercise stations, are incorporated into open space design.</p>
13.4 Promote pedestrian and cyclist connectivity across the locality.	<p>i. Access and movement patterns are maintained and enhanced.</p> <p>ii. Landscaped and shaded links connect the Old Hospital Site with the foreshore, new public spaces or plazas, Flagstaff Park, and Kahlin Beach generally in accordance with the connections indicated on the Focus Area Map.</p> <p>iii. Pedestrian links that traverse Myilly Terrace and link to Little Mindil Beach, Kahlin Avenue, and Marina Boulevard are prioritised, while also protecting the significance of Nurses Walk.</p> <p>iv. Opportunities are investigated for a boardwalk connecting Little Mindil Beach to Cullen Bay around Myilly Point.</p>



D

Frances Bay

LEGEND

- Focus Area Boundary
- Public Open Space
- Pedestrian Priority Area (Hardscape Open Space)
- Priority Pedestrian / Cycleway Network
- Mixed Use (Commercial, Civic, Residential and Retail)
- Potential New Street Connection

- Active Frontages Required
- Potential Ferry Stop
- Proposed Open Space Destination
- Extent of Prospective Land Reclamation and/or Mooring Area
- Gateway Precinct: Development of Sites Surrounding Intersection to be of an Exemplary Architectural Standard (refer to page 20)



D

Frances Bay

Land adjacent to Frances Bay was the site of the terminus for the North Australia Railway, which operated until the late 1970s. Since this time, a range of maritime activities have operated in Frances Bay. Many of these maritime activities are relocating to East Arm.

The current Frances Bay Planning Principles and Area Plan, and Specific Use Zone in the Planning Scheme, set the scene for this change and have been updated and incorporated into this Area Plan. These provisions, and several concepts in the

Darwin City Centre Master Plan, recognise the area's significant location and identify opportunities for redevelopment to create a mixed-use precinct.

The Frances Bay Focus Area Map and provisions focus future activity around a mixed-use waterfront precinct. This precinct will maintain its historic role as the home of the fishing industry and evolve into a thriving environment that attracts visitors.

The provisions for Frances Bay promote a coordinated development comprising a combination of tourism, entertainment, retail, commercial, residential, and seafood industry uses.

To support integration of the locality with the city centre, Darwin Waterfront, Stuart Park, and the Former Tank Farm, a number of anticipated pedestrian links have been indicated in the Focus Area Map. These links

also ensure public access to the waterfront is maintained via a promenade running from Frances Bay, through the Waterfront and up to Bicentennial Park.

A green corridor along Frances Bay Drive is encouraged to provide an entry statement for the city centre and to screen the locality from Tiger Brennan Drive. Provision has also been made for a potential ferry stop that would connect Frances Bay to other coastal sites i.e. Cullen Bay.

Landowners are encouraged to liaise with other landowners within the Frances Bay Focus Area, including the NT Government, prior to the preparation of detailed designs. The purpose of this liaison is to identify opportunities to co-ordinate development and infrastructure provision to minimise costs and facilitate development consistent with the potential of the area.

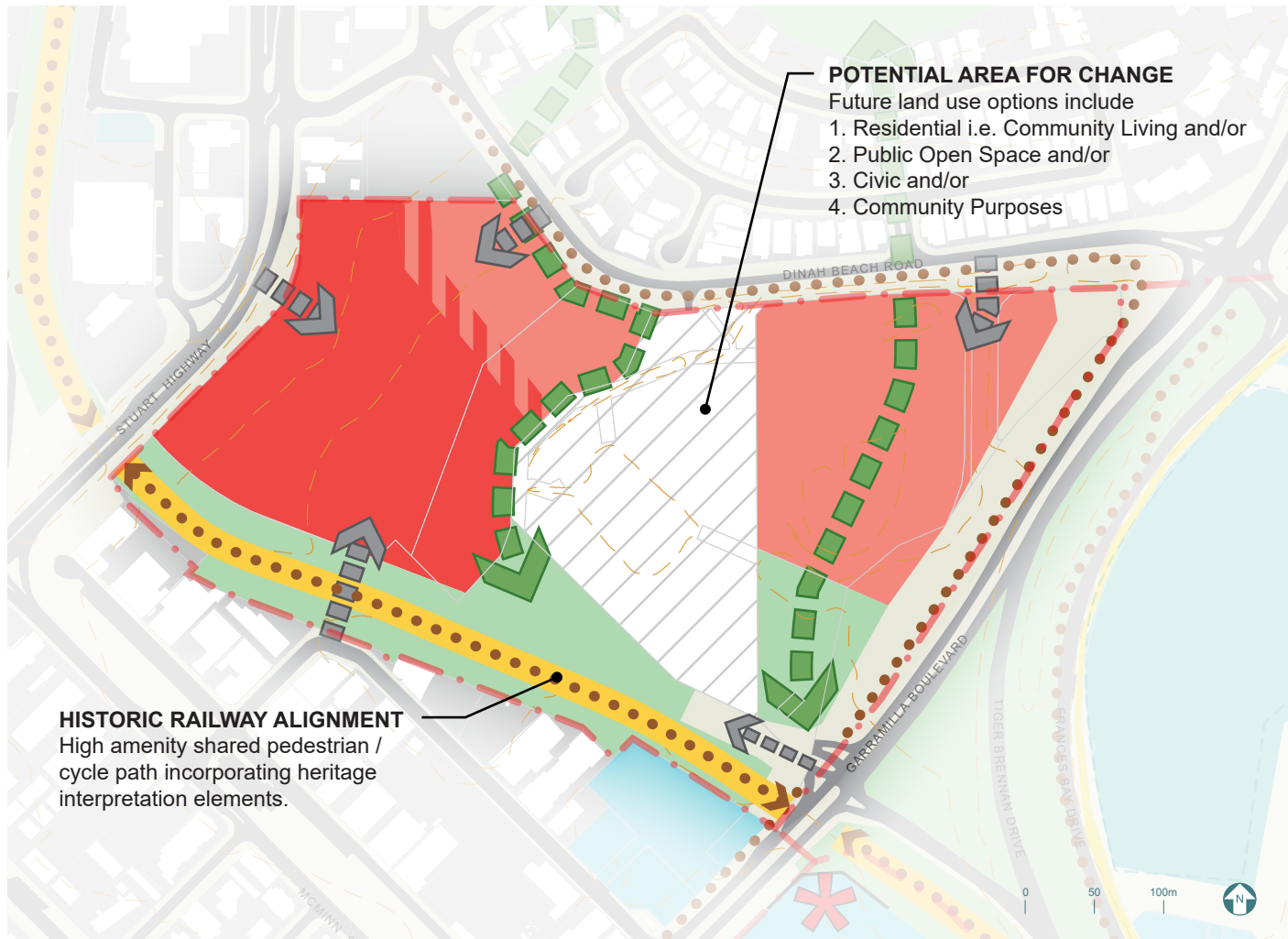
Frances Bay in the far term



14. Transition to a mixed use precinct that maintains the historic role of the locality as the home of the fishing industry while provide connections to the city centre and the Darwin Waterfront

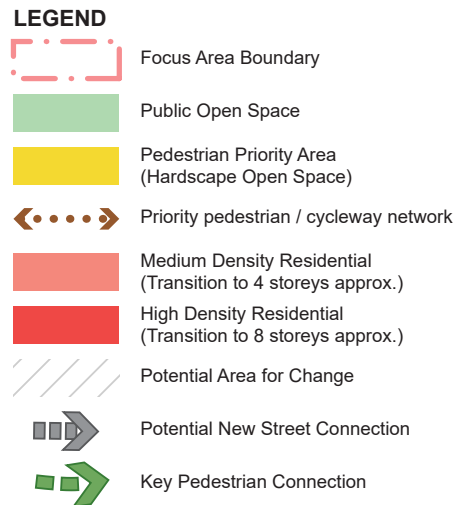
Objectives	Acceptable Responses
14.1 Maximise opportunities for coordinated development across the locality.	<ul style="list-style-type: none"> i. Investigation of options for development of a sea wall and lock that provides: <ul style="list-style-type: none"> a) all tide access to a marina for the mooring of leisure and fishing industry vessels; and b) pedestrian access in the form of an interconnected waterside pedestrian loop. ii. Filling or the creation of marinas protects water accessibility to neighbouring sites as shown in the Focus Area Map and does not limit the ability of another site to develop.
14.2 Encourage development that contributes to the amenity of the public realm and reflects the character of the area.	<ul style="list-style-type: none"> i. The design of this mixed use area should: <ul style="list-style-type: none"> a) reinforce Darwin's character as a harbour city; b) maintain vistas through the site from Frances Bay Drive to the harbour; c) retain the interest and activity of the fishing industry; d) acknowledge and interpret historical connections to the North Australia Railway and the fishing industry; and e) not detract from the activity and role of the city centre and Darwin Waterfront localities. ii. A 'Green Link' is established along the road reserve between Frances Bay Drive and Tiger Brennan Drive that: <ul style="list-style-type: none"> a) serves as an entry statement to the city centre; and b) acts as a visual screen to support the amenity of the locality.
14.3 Enable an integrated local and regional road network.	<ul style="list-style-type: none"> i. An internal road network provides legible connectivity within the locality and multiple connections with the established road network generally in accordance with links indicated in the Focus Area Map. ii. Mavie Street connects to Stokes Hill Drive.
14.4 Ensure safe and convenient pedestrian access within Frances Bay and to surrounding localities.	<ul style="list-style-type: none"> i. Public access is provided to the waters edge for the full extent of the locality. ii. Land identified on the Focus Area Map for a potential pedestrian connection to the city centre is developed in a manner that preserves the opportunity for a sky bridge and landing. iii. Pedestrian, cyclist and vehicle links are provided to: the city centre, Darwin Waterfront, Tipperary Waters, Stuart Park and along the former rail corridor.

14.5 Recognise the existing and ongoing requirements of the fishing industry.	<ul style="list-style-type: none"> i. Development does not impact on the operational and safety requirements of the fishing industry and associated facilities. ii. Development, including lighting installations, does not impact on shipping navigation aids.
14.6 Respond appropriately to constraints of the land.	<ul style="list-style-type: none"> i. Infrastructure is provided in a timely manner to support development and population growth. ii. Development demonstrates a response to stormwater management and rehabilitation of areas that allow mosquito breeding to the requirements of the relevant authorities.
14.7 Respond to the potential for activity associated with a prospective ferry stop.	<ul style="list-style-type: none"> i. Infrastructure and land requirements for a ferry stop is identified and provided for in a timely manner.



E

Former Tank Farm





E

Former Tank Farm

The current zoning of Light and General Industry over much of the Former Tank Farm area reflects previous uses for fuel storage. This land has been underdeveloped for some time but close proximity to the city centre, Stuart Park, Botanic Gardens and golf course signifies high development potential. There is now an opportunity to develop this land for residential

uses incorporating the cultural and environmental values of the area. The size and location of the former Tank Farm area presents a large-scale opportunity for growth that transitions, and provides connectivity, between the city centre and Stuart Park.

The area is well connected regionally, being framed by two higher order roads and Garramilla Boulevard. However, the locality is currently constrained by limited local access with sites in the area only available from Dinah Beach Road. Equally important for the development of the area will be good internal access including pedestrian and cyclist connections, and open space.

A new public open space area along the former railway corridor will provide a significant connection to the regional open space, pedestrian and cycle networks.

Development in this area will need to respond to site constraints including contamination from former petrol storage uses and mosquito breeding areas.

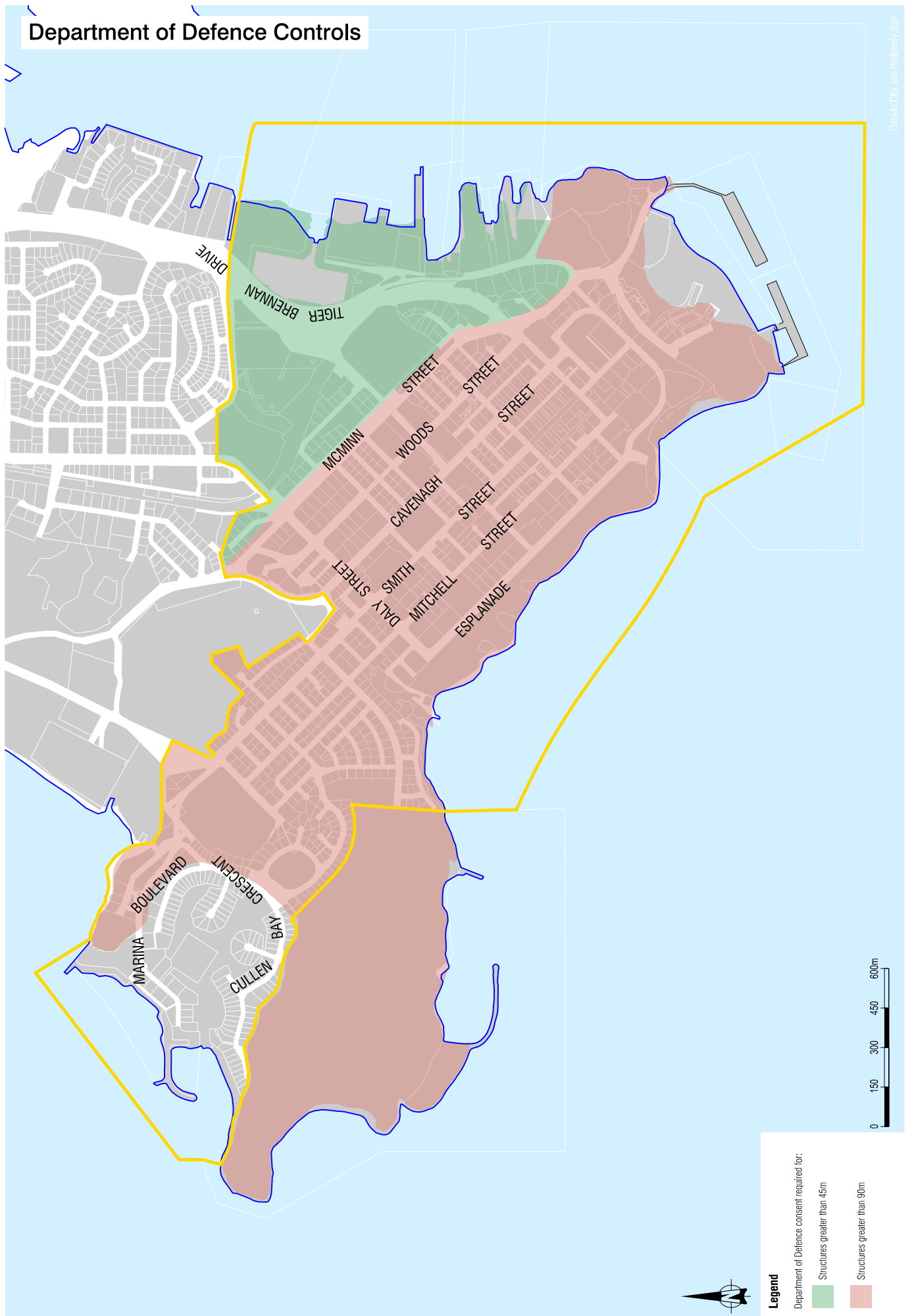
Landowners are encouraged to collaborate with other landowners within the Former Tank Farm Focus Area, including the NT Government, to co-ordinate development and infrastructure provision prior to the preparation of detailed design. This approach aims to minimise costs and facilitate development consistent with the potential of the area.



15. Allow for the redevelopment within the Former Tank Farm Focus Area for residential and open space while recognising the social, cultural, and historical value of parts of the locality

Objectives	Acceptable Responses
15.1 Encourage redevelopment of land for residential uses.	<ul style="list-style-type: none"> i. Development and rezoning provides a transition in density from the Focus Area Map to surrounding areas. ii. Development of surrounding sites provides an appropriate interface to the One Mile Dam area to minimise impacts on the amenity of the residents.
15.2 Commercial land uses cater for the daily, lower order needs of the local community.	<ul style="list-style-type: none"> i. The net floor area of a commercial land use does not exceed 200sqm per development. ii. Leisure and recreation, sports and community facilities (including places of worship, libraries, meeting halls and the like) that demonstrate compatibility with the residential character of the area.
15.3 Facilitate the extension and enhancement of a regionally significant open space network.	<ul style="list-style-type: none"> i. Provide a shared movement corridor with open space along the former rail corridor to facilitate pedestrian and cycle access between The Gardens, the city centre and Frances Bay. ii. The remnant rainforest is connected with other natural systems through considered provision of open space and pedestrian links. iii. The design of open space corridors acknowledges and interprets the history of the area. This may be achieved through plaques, artwork, landscape architecture or similar.
15.4 Facilitate the provision of an integrated local road network.	<ul style="list-style-type: none"> i. Development proposals are to address the potential need for the realignment of Stuart Highway to Day Street. ii. Limited road access is provided to Tiger Brennan Drive, Stuart Highway and Dinah Beach Road. iii. A local road is developed along the southern side of this focus area that services all current lots; development on any site ensures access to this road from neighbouring sites.
15.5 Respond appropriately to constraints of the land.	<ul style="list-style-type: none"> i. Development demonstrates a response to stormwater management and the rehabilitation of areas that allow mosquito breeding to the requirements of the relevant authorities.

APPENDIX 1 - DEFENCE (AVIATION AREAS) REGULATIONS MAP



GLOSSARY OF TERMS

Active / Activated facades	Refers to buildings that provide visual and physical interaction between the public space and the building. This quality is assisted where the building <i>frontage</i> includes the main entrances and/or a high degree of <i>articulation</i> of the <i>facade</i> and/or habitable rooms with windows balconies or living areas that support surveillance of, and interaction with, the <i>public realm</i> .
Activated frontages	Areas identified by the Central Darwin Area Plan for Activated Frontages have been identified for the provision of ground floor commercial land uses that contribute to the <i>public realm</i> at the pedestrian level.
Articulation / Animation	<p>Refers to the many building design elements and architectural treatments that help create visual interest within a building <i>facade</i> and contribute to a high amenity environment, especially from a pedestrian perspective.</p> <p>The degree of articulation of a building facade is often determined by the amount of detail provided to emphasise individual elements i.e. cornices, expression lines, sills, frames, columns etc. Articulation may also be delivered by changes in texture and the projection and/or recession of elements of the <i>facade</i>.</p>
Built Form	The configuration of the aggregate of all buildings, structures, etc. which constitute an area i.e. City Centre.
Bulk	The size and/or <i>mass</i> of a building, referring to structures which in their context, appear relatively large.
CDAP	Central Darwin Area Plan.
DRLUP	Darwin Regional Land Use Plan.
Facade	Means the exposed face(s) of a structure towards roads or open space, or the frontal outward appearance of a building.
Fine Grain (street network)	Means a street network with high levels of permeability and connectivity. an example of this is a grid configuration of streets where blocks measure between 60m width and 120m length.
Fine Grain (built environment)	Means a <i>streetscape</i> of generally contiguous buildings where the number of buildings and/or tenancies are provided with a frequency the reflects a compact urban environment. This includes horizontal lengths of development broken into sections by individual shop fronts and windows with frequent entrances onto the street. This is usually a reflection of the original subdivision pattern of narrow lot <i>frontages</i> . A similar visual effect can be created for new, wide frontage development if the building is segmented into relatively narrow modules through <i>modulation</i> .
Frontage	Means the common boundary between the land comprising a street (i.e. a road reserve), and the land abutting it.

Frontage type	Refers to a <i>facade</i> that provides the appearance or functionality of sub-tenancies or individual buildings. The provision of multiple frontage types is appropriate for large building(s) and/or low intensity land uses inconsistent with the scale and/or intensity of the existing built environment and/or areas where the appearance or functionality of multiple sub-tenancies or individual buildings contributes to: the amenity of the <i>public realm</i> ; the experience of the pedestrian; capacity for subdivision/creation of individual tenancies; and/or the <i>walkability</i> of the public realm.
Massing	The size / volume of a building and /or the impression of size / volume of a building which in their context, appear relatively large.
Mixed Use Development	Mixed use development includes both vertical and horizontal mixing of land uses including, but not limited to, residential and commercial uses.
Modulation	Means a stepping back or projecting forward of sections of a structures <i>facade</i> as a means of providing variety and/or <i>frontage type</i> . Modulation of a <i>facade</i> may be appropriate to address concerns regarding the <i>bulk</i> or <i>scale</i> of a new development inconsistent with the surrounding environment and/or a means to provide architectural interest in a <i>facade</i> .
Public Realm	Means spaces that are physically accessible to the public, and those aspects of other spaces that are visible from physically accessible spaces. It incorporates features such as streets, parks, shops, community buildings and the street facades of other buildings.
Scale	The size and/or <i>mass</i> of a structure and its relationship with its surrounding buildings and/or environment. The scale of a <i>facade</i> and/or <i>frontage</i> may also refer to the relationship of the <i>facade</i> and/or <i>frontage</i> to its surrounding buildings and/or environment.
Streetscape	<p>(a) Means the total visual impression gained from any one location within a street including the natural and man-made elements;</p> <p>(b) Is made up of the appearance of, and the relationships between buildings in terms of design, setbacks, scale, materials, colours, finishes, signs, external furniture, paving materials for roads, footpaths and landscaping; and</p> <p>(c) Recognises the capacity of urban buildings to be ‘shapers’ of space/the <i>public realm</i> in contrast to suburban buildings which may be generalised as buildings in spaces.</p>
the Master Plan	Darwin City Centre Master Plan.
the Planning Scheme	Northern Territory Planning Scheme.
Walkability	Means the ease with which a person can walk in an area. Also refers to the amenity of the environment and the appeal of the environment to encourage walking as the preferred mode of transport.

Northern Territory Planning Commission
08 8924 7540
GPO Box 1680 DARWIN NT 0801
ntpc@nt.gov.au
www.planningcommission.nt.gov.au