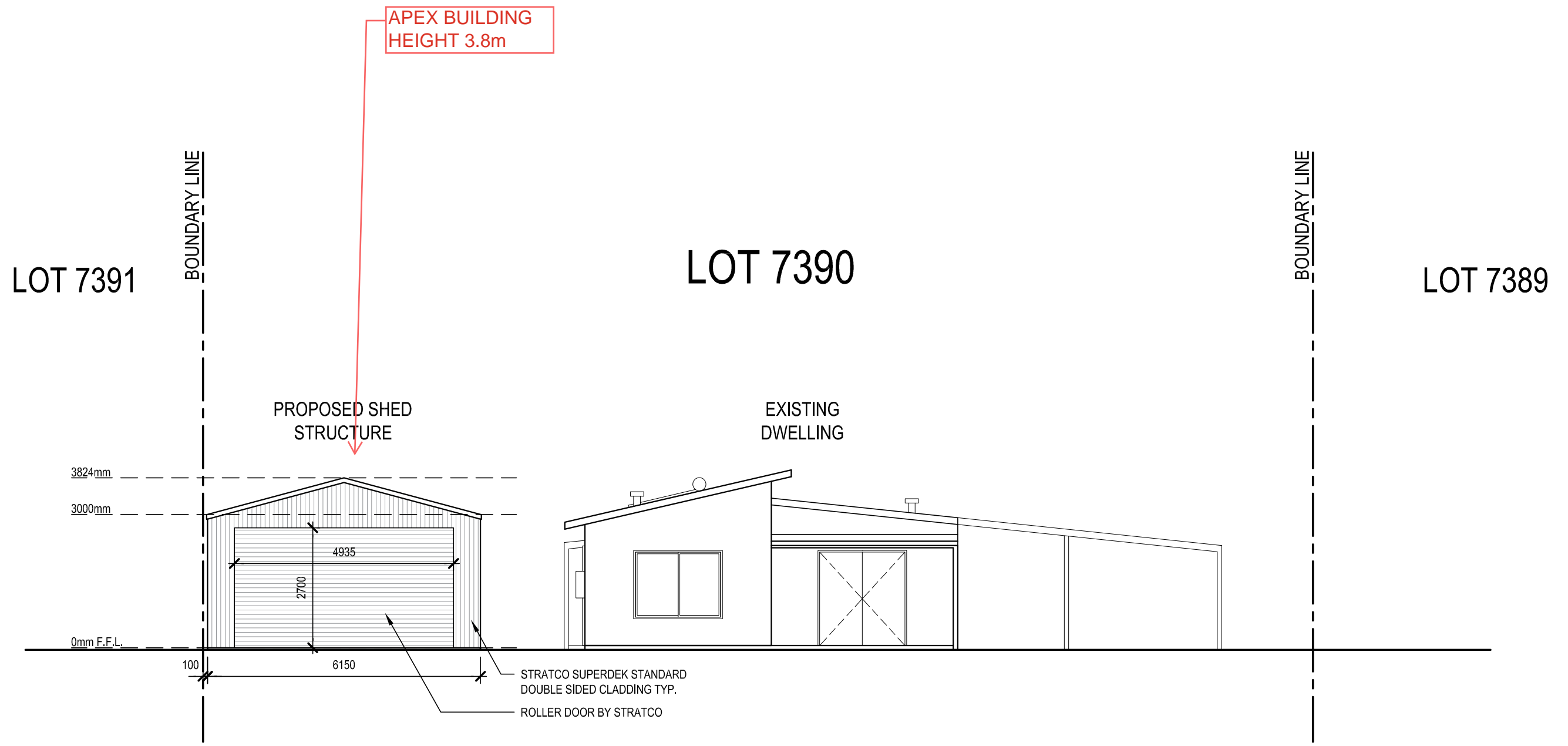








BOOKMARK B.1 DRAWINGS



1 PROPOSED STREET FRONT ELEVATION
SCALE: 1:100

PROJECT NAME: 7 MIETHKE ST, KILGARRIF 0873
LOT NO. 7390
DRAWING NAME: PROPOSED STREET FRONT ELEVATION

SCALE	DATE	PROJECT NO.	DRAWING No.
AS SHOWN	26/07/2024	01	I-0002

B.1 DRAWINGS



Elevations

Job Reference
Sales Person
Client Name

Mr Ewen Josif
Mr. Caleb Smith

Site Address

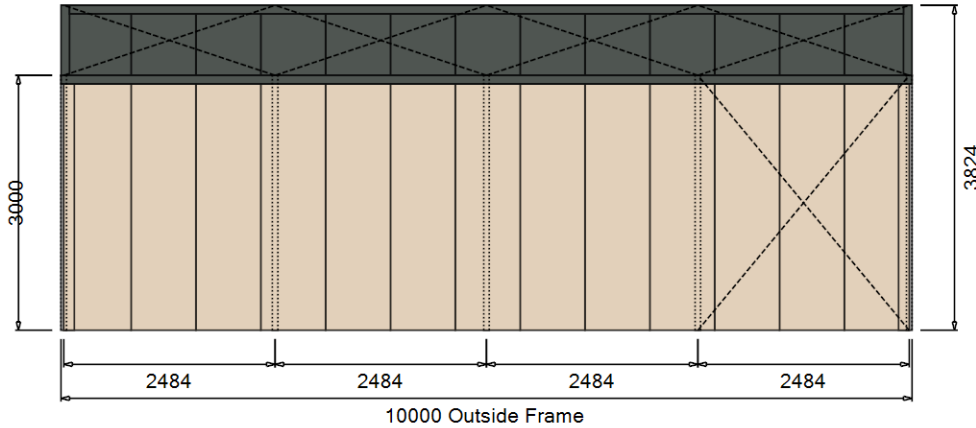
7 Miethke Street
Kilgariff

Design Number
Date

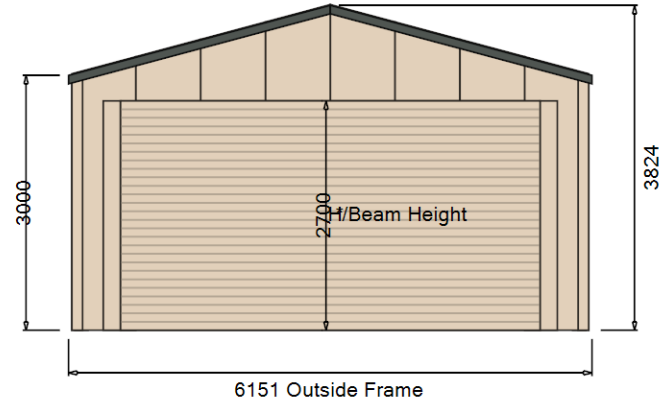
SQ317160
15/07/2024

Customer Signature

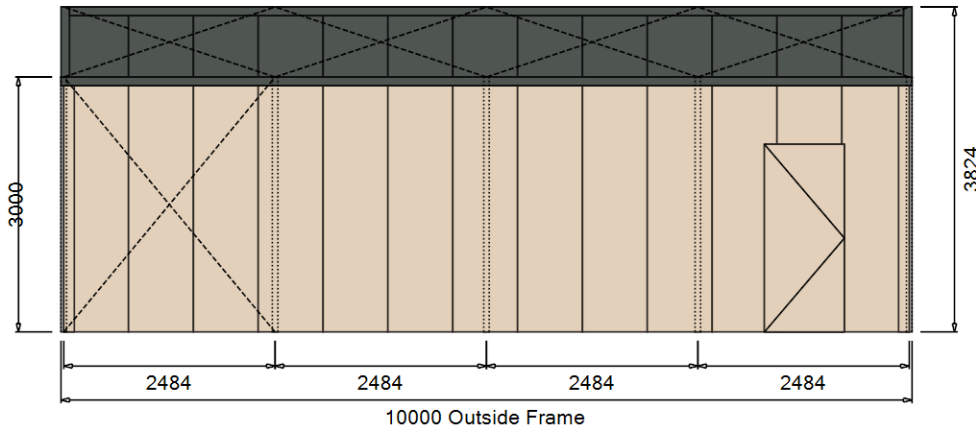
Left Elevation



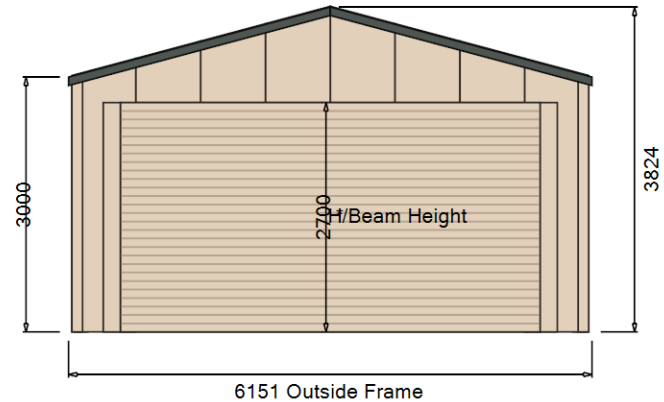
Front External Elevation



Right Elevation



Rear External Elevation





Elevations

Job Reference
Sales Person
Client Name

Mr Ewen Josif
Mr. Caleb Smith

Site Address

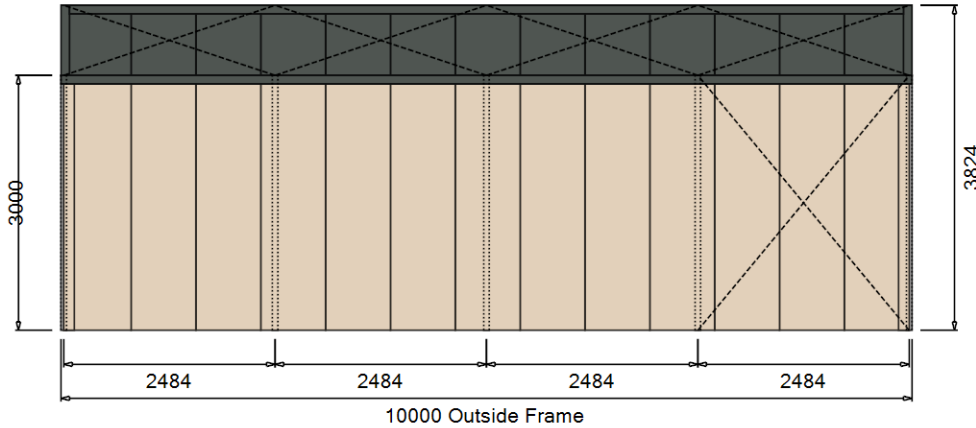
7 Miethke Street
Kilgariff

Design Number
Date

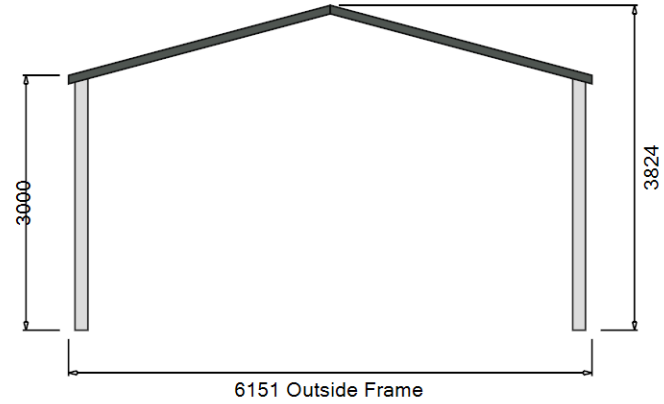
SQ317160
15/07/2024

Customer Signature

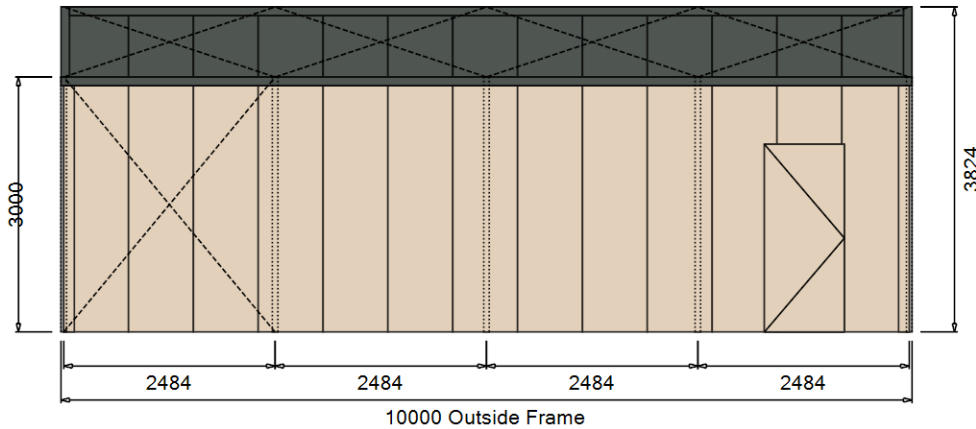
Left Elevation



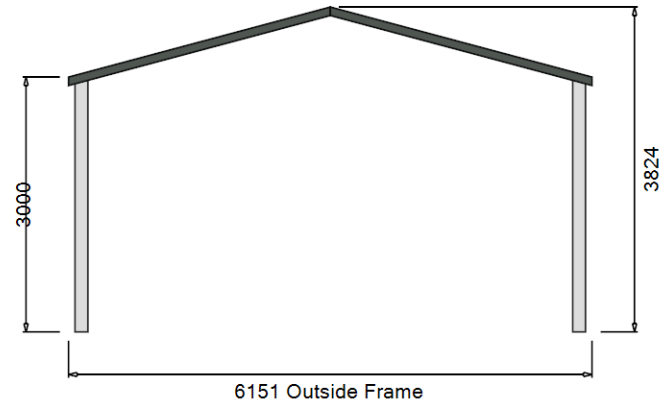
Front Internal Elevation - 1



Right Elevation



Rear Internal Elevation - 1





B.1 DRAWINGS

Site Plan

Job Reference
Sales Person
Client Name

Mr Ewen Josif
Mr. Caleb Smith

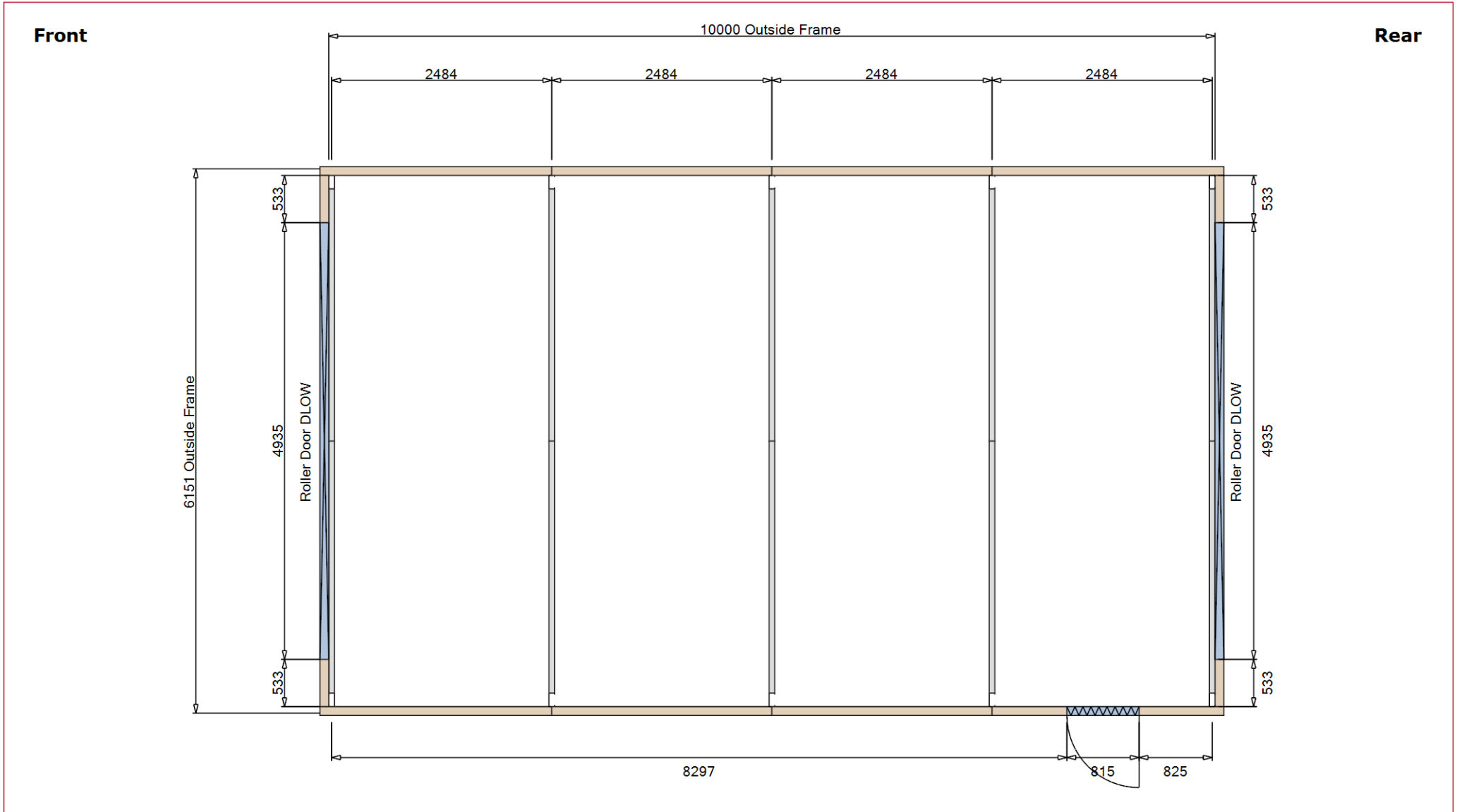
Site Address

7 Miethke Street
Kilgariff

Design Number
Date

SQ317160
15/07/2024

Customer Signature



BOOKMARK B.2 APPLICATION

STATEMENT OF EFFECT
PROPOSED DEVELOPMENT – LOT 7390
TOWN OF Alice Springs

Proposed Development and Use

This development application seeks consent to develop the above lot for the purpose of a shed addition to an existing single dwelling, with reduced building setback to a property boundary in accordance with the attached plans and this statement of effect. The proposed shed is to be used for purposes ancillary to the single dwelling use of the property.

Section of <i>Planning Act</i> and Requirement	Response
<p>S.46(3)(a) an assessment demonstrating how the proposed development will comply with any planning scheme that applies to the land;</p>	<p>The NT Planning Scheme applies to the land. The land is zoned LR (Low Density Residential) and shed additions to a single dwelling are subject to the following performance standards under Part 4 of the Planning Scheme:</p> <p><u>Clause 5.2.1 (General Height Control)</u> A height limit of 2 storey and a maximum of 8.5m above ground level applies. The proposed garage has a maximum height dimension of 3.824m</p> <p>Complies</p> <p><u>5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures</u> Purpose Ensure that residential buildings and ancillary structures are located in a manner that:</p> <ul style="list-style-type: none"> (a) is compatible with the streetscape and surrounding development including residential buildings on the same site; (b) minimises adverse effects of building massing when viewed from adjoining and the street; (c) avoids undue overlooking of adjoining properties; and (d) facilitates breeze penetration through and between buildings. <p>Administration</p> <ol style="list-style-type: none"> 1. This clause does not apply in Zones CB, LI, GI and DV. 2. In this clause: <ul style="list-style-type: none"> (a) an ancillary structure includes an outbuilding (excluding shade sails), balcony, portico and the like, which may or may not include external walls; and (b) for all developments except dwellings-multiple in Zone MR or HR, where a lot has a boundary with a public street from which vehicular access to the lot is restricted by the controlling Agency or local government council, this boundary shall be considered a side or rear lot boundary for the purpose of calculation of the building setback. 3. The consent authority may consent to a development that is not in accordance with sub-clause 6-8 only if it is satisfied that the reduced setback is consistent with the purpose of this clause and it is appropriate to the site having regard to such matters as its location, scale and impact on adjoining and nearby property.

**STATEMENT OF EFFECT
PROPOSED DEVELOPMENT – LOT 7390
TOWN OF Alice Springs**

	Table A to Clause 5.4.3: Minimum building setbacks for residential buildings and ancillary structures in zones other than RR, RL, R, H and A		
Lot Boundary	Minimum Setback for 1 or 2 storey buildings	Minimum Setback for buildings over 2 storeys	
Primary street frontage	6m for residential buildings , and ancillary structures with external walls <u>and</u> 4.5m for ancillary structures and balconies without external walls <u>or</u> 3m for shade sails, to a maximum height of 2.5m at the minimum setback	7.5m for residential buildings , and ancillary structures with external walls <u>and</u> 4.5m for ancillary structures without external walls	
Secondary street frontage	2.5m for residential buildings <u>and</u> 1.5m for ancillary structures and balconies without external walls. <u>or</u> 0.9m for shade sails, to a maximum height of 2.5m at the minimum setback	2.5m for residential buildings and ancillary structures with external walls <u>and</u> 1.5m for ancillary structures without external walls	
Side and rear lot boundaries	1.5m for residential buildings and ancillary structures <u>or</u> 1m, provided that the subject wall: <ul style="list-style-type: none"> • only includes openings that are either glazed in an opaque material and cannot be opened, or have a sill height of 1.6m or greater; • does not extend beyond a maximum height of 3.5m; and • does not extend beyond a maximum length of 9m <u>except</u> shade sails which may be setback 0.9m to a maximum height of 2.5m at minimum setback	3m for residential buildings with <ul style="list-style-type: none"> • habitable rooms <u>with</u> windows or doors facing the subject boundary; and • verandahs and/ or balconies facing the subject boundary; and • shade sails <u>or</u> 1.5m for residential buildings where the subject wall only includes: <ul style="list-style-type: none"> • non-habitable rooms; • habitable rooms <u>without</u> windows and/ or doors facing the boundary; and • ancillary structures, whether with or without external walls excluding, verandahs, balconies or shade sails 	

Lot Boundary	Required Setback	Proposed Shed Setback	Complies? Yes/No
Primary street	Walls 6m	6m	yes
	Roof eaves/gutters 5.1m	6m	yes
Secondary street	Walls 2.5m		
	Roof eaves/gutters		

**STATEMENT OF EFFECT
PROPOSED DEVELOPMENT – LOT 7390
TOWN OF Alice Springs**

		1.6m		
Side boundary North western	Walls	1.5m	.18.85m	yes
	Roof eaves/gutters	0.6m	18.75m	yes
Side boundary South eastern	Walls	1.5m	.150mm	no
	Roof eaves/gutters	0.6m	.050	no
Rear Boundary	Walls	1.5m	17m	yes
	Roof eaves/gutters	0.6m	17m	yes

The application seeks variation/s to clause 5.4.3 of the Planning Scheme. The following points are offered in support of the requested variation/s:

1. Compatibility with the Streetscape and Surrounding Development

The proposed shed has been carefully designed and positioned to integrate harmoniously with the existing streetscape and surrounding residential development, including other buildings on the site.

- Design and Aesthetic Considerations:** The shed is designed to be consistent with the character of the property and the wider neighbourhood. The materials, colours, and roof design are in keeping with the aesthetic of the house and other ancillary structures in the area. The neutral colour palette chosen for the shed, which matches or complements the house's exterior, ensures that the shed does not stand out in an incongruent way, but rather blends seamlessly into the environment.
- Setback Positioning:** The shed's location has been planned to respect the existing alignment of other structures on the site, while maintaining a setback that is consistent with both the building code and the visual character of the surrounding area.

The reduced setback from one boundary, while minimising the distance between the shed and neighbouring properties, has been offset using appropriate screening and thoughtful design to mitigate any negative impacts on the streetscape or neighbouring properties.

- **Fencing and Screening:** A 1.8m high solid fence will be constructed along the boundary between the subject property and the neighbouring property. This will screen the shed from direct view, ensuring that the visual impact from the neighbouring property is minimized. Only 2m of the upper part of the shed may be visible above the fence line.

2. Minimising Adverse Effects of Building Massing

To address the potential for adverse effects arising from building massing (bulk) when viewed from adjoining properties or the street, the design of the shed prioritises visual harmony and proportion.

- **Proportions and Scale:** The shed has been designed with dimensions and a roof pitch that are proportional to the site and surrounding structures. Its height has been kept at a level that ensures it does not dominate the site or become visually imposing when viewed from the street or neighbouring properties.
- **Colour Scheme:** The shed will be painted in two complementary colours that help to reduce its visual bulk. The primary colour will match the tones of the existing residence, blending the shed into the environment. The secondary accent colour will break up the structure's mass, providing visual relief and ensuring that the shed does not present as an overwhelming or bulky feature.

3. Avoiding Undue Overlooking of Adjoining Properties

The design of the shed considers the importance of protecting the privacy of neighbouring properties, particularly about overlooking and potential intrusiveness.

- **Window and Opening Placement:** The shed will not feature windows or openings that face directly into neighbouring properties. Any openings will be strategically positioned to ensure that they do not create direct sightlines into adjacent private spaces, such as living areas, bedrooms, or outdoor spaces.
- **Height Considerations:** The overall height of the shed has been kept to a reasonable level, ensuring that it does not overlook neighbouring properties or create privacy concerns. The roof

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**STATEMENT OF EFFECT
PROPOSED DEVELOPMENT – LOT 7390
TOWN OF Alice Springs**

	<p>design and placement have been specifically planned to avoid elevating the shed in a way that would result in excessive overlooking of adjoining properties.</p>
	<p>4. Facilitating Breeze Penetration Through and Between Buildings</p> <p>The shed's placement and design ensure that it will not obstruct airflow or breezeways between buildings, both within the property and to neighbouring properties.</p> <ul style="list-style-type: none">• Positioning of the Shed: Despite the reduced setback, the positioning of the shed allows for sufficient space between the shed and the property boundary to maintain breeze penetration. The shed's location is strategically placed to avoid blocking prevailing winds or breezes that would otherwise flow through the site, particularly those that benefit the neighbouring properties.• Site Design: The proposed shed's placement on the site is designed to allow adequate space for airflow and breeze movement around the structure, ensuring that natural ventilation is maintained. The reduced setback is balanced with sufficient clearance for airflow, which contributes to a comfortable and naturally ventilated environment for both the subject property and neighbouring residences.
<p>S.46(3)(b) an assessment demonstrating how the proposed development will comply with an interim development control order, if any, applying to the land;</p>	<p>N/A</p>
<p>S.46(3)(c) if a public environmental report or an environmental impact statement has been prepared or is required under the <i>Environmental Assessment Act</i> in relation to the proposed development – a copy of the report or statement and the</p>	<p>N/A</p>

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**STATEMENT OF EFFECT
PROPOSED DEVELOPMENT – LOT 7390
TOWN OF Alice Springs**

results of any assessment of the report or statement under that Act;	
S.46(3)(d) an assessment demonstrating the merits of the proposed development;	<p>The proposed shed will replace the untidy bit of the yard that's in view from the neighbours and front entrance.</p> <p>It will be in a colour bond colour enhancing the aesthetics for both the neighbours and my property.</p> <p>The proposed shed would clear up my yard being able to store camping gear, tools, work benches and gardening equipment in the shed.</p>
S.46(3)(e) a description of the physical characteristics of the land and a detailed assessment demonstrating the land's suitability for the purposes of the proposed development and the effect of development on that land and other land;	<p>This is a single dwelling house block.</p> <p>Proposed shed would have no impact to the land, waterways and plants around the property which would save resource.</p>
S.46(3)(f) a statement specifying the public facilities or public open space available in the area in which the land is situated, whether land for public facilities or public open space is to be provided by the developer and whether it is proposed that facilities or open space be developed by the developer;	N/A
S.46(3)(g) a statement specifying the public utilities or infrastructure provided in the area in which the land is situated, the requirement for public facilities and services to be connected to the land and whether public utilities or infrastructure are to be provided by the developer or land is to be provided by the developer for the provision of public utilities or infrastructure;	<p>This shed will be connected to electricity too supply lighting</p> <p>All storm water gutters and down pipes will be directed within block</p> <p>*Water tank maybe fitted if required</p>
S.46(3)(h) an assessment of the potential impact on the existing and future	<p>No visuals will be blocked for other residents in estate other then looking into the property. Shed plan is positioned behind the line of the house so this will not block neighbors on either sides view.</p>

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**STATEMENT OF EFFECT
PROPOSED DEVELOPMENT – LOT 7390
TOWN OF Alice Springs**

Height of shed will show some potential impact on neighbors closest but shed does not exceed height of residence.
Shed will have a positive impact on the existing sheds within the estate as it will be built in line with the Kilgariff estate design guidelines. The shed will align with the street appearance and aesthetic of the estate.

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**STATEMENT OF EFFECT
PROPOSED DEVELOPMENT – LOT 7390
TOWN OF Alice Springs**

amenity of the area in which the land is situated;	
S.46(3)(j) an assessment of the benefit or detriment to the public interest of the development;	N/A

B.2

**STATEMENT OF EFFECT
PROPOSED DEVELOPMENT – LOT 7390
TOWN OF Alice Springs**

Proposed Development and Use

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Section of <i>Planning Act</i> and Requirement	Response
S.46(3)(a) an assessment demonstrating how the proposed development will comply with any planning scheme that applies to the land;	<p>The NT Planning Scheme applies to the land. The land is zoned LR (Low Density Residential) and shed additions to a single dwelling are subject to the following performance standards under Part 4 of the Planning Scheme:</p> <p><u>Clause 5.2.1 (General Height Control)</u> A height limit of 2 storey and a maximum of 8.5m above ground level applies. The proposed garage has a maximum height dimension of 3.824m</p> <p>Complies</p> <p><u>5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures</u> Purpose Ensure that residential buildings and ancillary structures are located in a manner that:</p> <ul style="list-style-type: none">(a) is compatible with the streetscape and surrounding development including residential buildings on the same site;(b) minimises adverse effects of building massing when viewed from adjoining and the street;(c) avoids undue overlooking of adjoining properties; and(d) facilitates breeze penetration through and between buildings. <p>Administration</p> <ul style="list-style-type: none">1. This clause does not apply in Zones CB, LI, GI and DV.2. In this clause:<ul style="list-style-type: none">(a) an ancillary structure includes an outbuilding (excluding shade sails), balcony, portico and the like, which may or may not include external walls; and(b) for all developments except dwellings-multiple in Zone MR or HR, where a lot has a boundary with a public street from which vehicular access to the lot is restricted by the controlling Agency or local government council, this boundary shall be considered a side or rear lot boundary for the purpose of calculation of the building setback.3. The consent authority may consent to a development that is not in accordance with sub-clause 6-8 only if it is satisfied that the reduced setback is consistent with the purpose of this clause and it is appropriate to the site having regard to such matters as its location, scale and impact on adjoining and nearby property.

**STATEMENT OF EFFECT
PROPOSED DEVELOPMENT – LOT 7390
TOWN OF Alice Springs**

Table A to Clause 5.4.3: Minimum building setbacks for residential buildings and ancillary structures in zones other than RR, RL, R, H and A

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Secondary street frontage	2.5m for residential buildings <u>and</u> 1.5m for ancillary structures and balconies without external walls. <u>or</u> 0.9m for shade sails, to a maximum height of 2.5m at the minimum setback	2.5m for residential buildings and ancillary structures with external walls <u>and</u> 1.5m for ancillary structures without external walls
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Lot Boundary	Required Setback	Proposed Shed Setback	Complies?
			Yes/No
Primary street	Walls 6m	6m	yes
	Roof eaves/gutters 5.1m	6m	yes
Secondary street	Walls 2.5m		
	Roof eaves/gutters		

		1.6m		
Side boundary North western	Walls	1.5m	.18.85m	yes
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The application seeks variation/s to clause 5.4.3 of the Planning Scheme. The following points are offered in support of the requested variation/s:

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- **Height Considerations:** The overall height of the shed has been kept to a reasonable level, ensuring that it does not overlook neighbouring properties or create privacy concerns. The roof

	<p>design and placement have been specifically planned to avoid elevating the shed in a way that would result in excessive overlooking of adjoining properties.</p> <p>4. Facilitating Breeze Penetration Through and Between Buildings</p> <p>The shed's placement and design ensure that it will not obstruct airflow or breezeways between buildings, both within the property and to neighbouring properties.</p> <ul style="list-style-type: none"> • Positioning of the Shed: Despite the reduced setback, the positioning of the shed allows for sufficient space between the shed and the property boundary to maintain breeze penetration. The shed's location is strategically placed to avoid blocking prevailing winds or breezes that would otherwise flow through the site, particularly those that benefit the neighbouring properties. • Site Design: The proposed shed's placement on the site is designed to allow adequate space for airflow and breeze movement around the structure, ensuring that natural ventilation is maintained. The reduced setback is balanced with sufficient clearance for airflow, which contributes to a comfortable and naturally ventilated environment for both the subject property and neighbouring residences.
<p>S.46(3)(b) an assessment demonstrating how the proposed development will comply with an interim development control order, if any, applying to the land;</p>	<p>N/A</p>
<p>S.46(3)(c) if a public environmental report or an environmental impact statement has been prepared or is required under the <i>Environmental Assessment Act</i> in relation to the proposed development – a copy of the report or statement and the</p>	<p>N/A</p>

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**STATEMENT OF EFFECT
PROPOSED DEVELOPMENT – LOT 7390
TOWN OF Alice Springs**

results of any assessment of the report or statement under that Act;	
S.46(3)(d) an assessment demonstrating the merits of the proposed development;	<p>The proposed shed will replace the untidy bit of the yard that's in view from the neighbours and front entrance.</p> <p>It will be in a colour bond colour enhancing the aesthetics for both the neighbours and my property.</p> <p>The proposed shed would clear up my yard being able to store camping gear, tools, work benches and gardening equipment in the shed.</p>
S.46(3)(e) a description of the physical characteristics of the land and a detailed assessment demonstrating the land's suitability for the purposes of the proposed development and the effect of development on that land and other land;	<p>This is a single dwelling house block.</p> <p>Proposed shed would have no impact to the land, waterways and plants around the property which would save resource.</p>
S.46(3)(f) a statement specifying the public facilities or public open space available in the area in which the land is situated, whether land for public facilities or public open space is to be provided by the developer and whether it is proposed that facilities or open space be developed by the developer;	N/A
S.46(3)(g) a statement specifying the public utilities or infrastructure provided in the area in which the land is situated, the requirement for public facilities and services to be connected to the land and whether public utilities or infrastructure are to be provided by the developer or land is to be provided by the developer for the provision of public utilities or infrastructure;	<p>This shed will be connected to electricity too supply lighting</p> <p>All storm water gutters and down pipes will be directed within block</p> <p>*Water tank maybe fitted if required</p>
S.46(3)(h) an assessment of the potential impact on the existing and future	No visuals will be blocked for other residents in estate other then looking into the property. Shed plan is positioned behind the line of the house so this will not block neighbors on either sides view.

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PROPOSED DEVELOPMENT – LOT 7390
TOWN OF Alice Springs**

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B.2	STATEMENT OF EFFECT PROPOSED DEVELOPMENT – LOT 7390 TOWN OF Alice Springs

amenity of the area in which the land is situated;	
S.46(3)(j) an assessment of the benefit or detriment to the public interest of the development;	N/A

Technical Assessment PA2024/0396

TECHNICAL ASSESSMENT OF PROPOSED DEVELOPMENT AGAINST RELEVANT PROVISIONS OF THE NORTHERN TERRITORY PLANNING SCHEME 2020

Application No: PA2024/0396
Lot number: NT Portion 7390
Town/Hundred: (7) Miethke Street
Zone: LR – Low Density Residential
Site Area: 825m²
Proposal: Outbuilding (shed/garage) addition to dwelling-single with reduced building setbacks to side boundary
Plans used for assessment: Proposed site plan I – 000 – 1 Proposed Street Front Elevation I – 000 – 2 Dated 26.07.2024
Date assessment finalised: 10 January 2025

The proposed development requires consent under the Northern Territory Planning Scheme 2020, as it is in Zone LR (Low Medium Density) and has become *Merit Assessable* under Clause 1.8(1)(b)(ii)(2) of the Planning Scheme.

The relevant clauses are assessed in the summary below with any identified non-compliances addressed overleaf.

Clause (General Requirements)	Compliance	
	Yes	No
5.2.1 (General Height Control)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Clause (Specific Development Requirements)	Compliance	
	Yes	No
5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

This is a technical assessment of the proposal against the requirements of the Northern Territory Planning Scheme 2020 and is no indication of whether or not approval will be given by the consent authority. It is noted that clause 1.10(2) provides for the consent authority to exercise discretion in making a decision on a development in particular circumstances.

4.2 Zone LR – Low Density Residential

Zone Purpose

Provide predominantly for low rise urban residential development comprising individual houses and uses compatible with residential amenity, in locations where full reticulated services are available.

Zone Outcomes

1. Dwellings-single and associated dwellings-independent predominantly two storeys or less, on individual lots on a range of lot sizes that respond to changing community needs.
2. Home based businesses and dwellings-community residence are conducted in a manner consistent with residential amenity.
3. Residential care facilities are of a scale and conducted in a way that maintains the residential character and amenity of the zone.
4. Dwellings and outbuildings are set back in a manner sympathetic to neighbours, the streetscape and scale and character of surrounding development.
5. Non-residential activities such as community centres:
 - (a) support the needs of the immediate residential community;
 - (b) are of a scale and intensity compatible with the residential character and amenity of the area;
 - (c) wherever possible, are co-located with other non-residential activities in the locality;
 - (d) avoid adverse impacts on the local road network; and
 - (e) are managed to minimise unreasonable impacts to the amenity of surrounding residents.
6. Building design, site layout and landscaping provide a sympathetic interface to the adjoining public spaces and between neighbours, provides privacy and attractive outdoor spaces.
7. An efficient pattern of land use with all lots connected to reticulated services, integrated with existing transport networks, and with convenient access to open space and community facilities.

Discussion

Sub clause 4 of Clause 4.2 directs outbuildings to be setback in a manner sympathetic to the surrounding development. Land information system indicates that a minimal level of outbuildings within the Kilgariff subdivision have been granted variations for nil building setbacks.

5.2.1 General Height Control

Purpose

Ensure that the heights of buildings and structures are appropriate to the strategic and local context of the location and meet community expectations for development in the zone.

Administration

1. This clause does not apply if:

(a) The development is for the purpose of:

i. a telecommunications facility;

ii. a chimney, flag pole, aerial, antenna or lightning rod; or

iii. the housing of equipment relating to the operation of a lift; or

(b) an alternative height control is specified in clause 5.9 (Location specific development requirements).

2. The consent authority must not consent to a development in Alice Springs that is not in accordance with sub-clause 5.

3. The consent authority must not consent to a development on land in Zone MR abutting land in Zone LR that is not in accordance with sub-clause 6.

4. Except as set out in sub-clause 3, the consent authority may consent to a development that is not in accordance with sub-clause 6 if it is satisfied the building height is consistent with the intended character and amenity of the area, having regard to:

(a) the heights of other buildings in the immediate vicinity; and

(b) measures taken to mitigate potential impacts (such as unreasonable overshadowing or overlooking of dwellings and private open space) on abutting properties.

Requirements

5. The building height of a development in the Municipality of Alice Springs is not to exceed:

(a) the maximum building height for the zone and use as specified in table A to this clause; or

(b) two storeys to a maximum of 8.5m if the zone and use is not included in table A to this clause.

6. The building height in all other areas is not to exceed:

(a) the maximum building height for the zone and use as specified in table B to this clause; or

(b) two storeys to a maximum of 8.5m if the zone and use is not included in table B to this clause.

- Proposed garage is 3.8m in height from the ground level to the highest apex point.

COMPLIES

5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures

Purpose

Ensure that residential buildings and ancillary structures are located in a manner that:

- (a) is compatible with the streetscape and surrounding development including residential buildings on the same site;
- (b) minimises adverse effects of building massing when viewed from adjoining land and the street;
- (c) avoids undue overlooking of adjoining properties; and
- (d) facilitates breeze penetration through and between buildings.

Administration

1. This clause does not apply in Zones CB, LI, GI and DV.

2. In this clause:

(a) an ancillary structure includes an outbuilding (excluding shade sails), balcony, portico and the like, which may or may not include external walls; and

(b) for all developments except dwellings-multiple in Zone MR or HR, where a lot has a boundary with a public street from which vehicular access to the lot is restricted by the controlling Agency or local government council, this boundary shall be considered a side or rear lot boundary for the purpose of calculation of the building setback.

3. The consent authority may consent to a development that is not in accordance with sub-clause 6-8 only if it is satisfied that the reduced setback is consistent with the purpose of this clause and it is appropriate to the site having regard to such matters as its location, scale and impact on adjoining and nearby property.

4. If a building setback plan in Schedule 9 does not establish a specific setback to a nominated boundary, residential buildings and ancillary structures are to be set back from that boundary in accordance with subclause 6(a) or clause 5.4.3.3 as appropriate.

5. Despite sub-clause 6 sheds in Zones other than H, A, RR, RL and R may have a nil setback to the side and rear boundaries provided it is

(a) 6m or more from the primary street and 2.5m or more from a secondary street when measured to the wall of the shed or where there is no wall, the outer face of any column;

(b) has a cumulative floor area of 15m² or less;

(c) is 2.5m or less in height;

(d) has no openings in walls that are less than 1.5m from a lot or unit title; and

(e) does not discharge rainwater on an adjacent lot or unit title.

Requirements

6. Subject to clause 5.2.7, building setbacks of residential buildings and ancillary structures are to be set back from lot boundaries in accordance with:

(a) the relevant table to this clause; or

(b) any setbacks established in a building setback plan that is included in Schedule 9.

7. Where a zero or 300mm setback is identified on a building setback plan in Schedule 9, a zero or 300mm setback can only be established to the boundary nominated on the setback plan.

8. Unless detailed in a table to this clause or within a building setback plan in Schedule 9, no part of the roof structure, including gutters and eaves, is to encroach more than 0.9m into the minimum building setbacks (subject to the Building Code of Australia) from the lot boundaries.

Table A to Clause 5.4.3: Minimum building setbacks for residential buildings and ancillary structures in zones other than RR, RL, R, H and A		
Lot Boundary	Minimum Setback for 1 or 2 storey buildings	Minimum Setback for buildings over 2 storeys
Primary street frontage	6m for residential buildings , and ancillary structures with external walls and 4.5m for ancillary structures and balconies without external walls or 3m for shade sails, to a maximum height of 2.5m at the minimum setback	7.5m for residential buildings , and ancillary structures with external walls and 4.5m for ancillary structures without external walls
Secondary street frontage	2.5m for residential buildings and and 1.5m for ancillary structures and balconies without external walls. or 0.9m for shade sails, to a maximum height of 2.5m at the minimum setback	2.5m for residential buildings and ancillary structures with external walls and 1.5m for ancillary structures without external walls
Side and rear lot boundaries	1.5m for residential buildings and ancillary structures or 1m, provided that the subject wall: <ul style="list-style-type: none"> only includes openings that are either glazed in an opaque material and cannot be opened, or have a sill height of 1.6m or greater; does not extend beyond a maximum height of 3.5m; and does not extend beyond a maximum length of 9m except shade sails which may be setback 0.9m to a maximum height of 2.5m at minimum setback	3m for residential buildings with <ul style="list-style-type: none"> habitable rooms with windows or doors facing the subject boundary; and verandahs and/ or balconies facing the subject boundary; and shade sails or 1.5m for residential buildings where the subject wall only includes: <ul style="list-style-type: none"> non-habitable rooms; habitable rooms without windows and/ or doors facing the boundary; and ancillary structures, whether with or without external walls excluding, verandahs, balconies or shade sails

Table to Clause 5.4.3 Minimum Building Setbacks for Residential Buildings and Ancillary Structures in zone other than RR, RL, R, H and A

Requirement as per Table to Clause 5.4.3	DAS/DLPE Comment	Compliance
Primary Street	6m shown on the site plan	COMPLIES
Side Boundary	NIL from adjoining lot	DOES NOT COMPLY
Eaves/guttering	NIL from adjoining lot	DOES NOT COMPLY

BOOKMARK D



Ref: NT Portion 7390
TRIM Ref: PA2024/0396

Enquiries: Mr. Matt Raymond

12 December 2024

The Chairperson
Development Consent Authority
PO Box 2130
ALICE SPRINGS NT 0871

Attention: Mr. Chay Garde

Dear Madam Chair,

PROPOSED DEVELOPMENT – NT PORTION 7390, 7 MIETHKE STREET (PA2024/0396)

I refer to the correspondence from the Authority dated 29/11/2024 (reference PA2024/0396) regarding a development application for the purpose of **Outbuilding (shed/garage) addition to dwelling-single with reduced building setbacks to side boundary.**

Local authority matters

This application has been assessed on the technical requirements in regard to access, potential impact to Council infrastructure and drainage only. Further broader comments may be provided as a result of Council's assessment of the application or by Council's representative at the Consent Authority meeting.

Service authority matters

The present application has been reviewed against Council's technical requirements for developments and the premise that all building construction should comply with Building Code of Australia. Applying these references, Council recommends that the Authority include the following conditions in any Development Permit issued pursuant to the application:

1. *All stormwater runoff from impervious areas is to be contained within the site or discharged to the Council stormwater drainage system. Due to the shed's proximity to the boundary, guttering and downpipes must be installed and directed away from neighbouring properties. If the developer discharges stormwater into Council's drainage system a permit to work within the road reserve must be obtained from Council before commencement of the work.*

Note: *The fee must only be paid once a Development Permit is released by the authority based on a condition requiring clearance from Council.*

I confirm that Council's fee for assessment of this development application is a **Single-Dwelling Plan Approval and Inspection Fee of \$381.50**, as set out in the current Alice Springs Town Council Municipal Plan.

Further observations may be provided by Council's representative at any hearing of the application should such be deemed necessary.

If the Authority or the applicant would like to discuss this matter further, they should contact ASTC on astc@astc.nt.gov.au.

Yours faithfully,



Matthew Raymond
MANAGER FACILITIES AND DEVELOPMENTS

Cc: Mr Caleb Smith and Ms Brittany Jade Hogan
PO BOX 7970
ALICE SPRINGS
NT 0870

Email: caleb.harrison6@hotmail.com

Phone 1800 245 092
Web powerwater.com.au

Record No: D2024/493251
Container No: NE000/7390
Your Ref: PA2024/0396

Kieran Marsh
Development Assessment Services
GPO Box 1680
Darwin NT 0801

Dear Kieran

Re: NT Portion 7390 (7) Miethke Street Kilgariff - Alice Springs region

In response to your letter of the above proposal for the purpose of outbuilding (shed/garage) addition to an existing dwelling-single with reduced building setback to side boundary, Power and Water Corporation (PWC) advises the following with reference to electricity enquiries:

1. The landowner shall engage a licensed electrician to install any applicable electrical installations for the proposed shed/garage in accordance with the current PWC's NP018 Service and Installation Rules 2024.

If you have any further queries, please contact Ben Kudrenko, Customer Connections Officer on 8951 7302.

Yours sincerely



(Caesar Yik)
for Thanh Tang
Manager Distribution Development

23 December 2024