

**DEVELOPMENT CONSENT AUTHORITY  
LITCHFIELD DIVISION**

**NORTHERN TERRITORY PLANNING SCHEME 2020**

**AGENDA ITEM:** **3**      **MEETING DATE:** 13 December 2024      **FILE:** PA2024/0266

**APPLICATION:** Outbuilding (Shed) addition to an existing dwelling – single with a reduced building setback to the side boundary.

**APPLICANT/CONTACT:** Jackson Goold

**LAND OWNER:** Jackson Goold

**BENEFICIARY:**

**LOCATION:** Section 5251 (95 Thorak Road) Knuckey Lagoon (**Bookmark A**)

**ZONE:** R (Rural)

**AREA:** 69300sqm

### 1. PROPOSAL

The proposal seeks consent for a 20x30m (600sqm) outbuilding (shed) with a height of approximately 7m ancillary to the existing dwelling-single on site with a reduced setback of two metres from the side boundary. A copy of the application is at **Bookmark B**.

### 2. REASON FOR APPLICATION AND LEVEL OF ASSESSMENT

An application is required for planning permission as the proposal is 'Merit Assessable' under Clause 1.8(1)(b)(ii)(2) of the Northern Territory Planning Scheme 2020 (NTPS). The development is a 'Permitted' use subject to compliance with Parts 3 and 5 of the Planning Scheme. The development as existing is non-compliant with Part 5 of the planning scheme.

Zone R (Rural)				
Use	Assessment Category	Applicable Overlays	General Development Requirements	Specific Development Requirements
Outbuilding (shed) addition to an existing dwelling-single with a reduced boundary setback to the side boundary.	Merit Assessable	N/A	N/A	5.4.3 Building Setbacks for Residential Buildings and Ancillary Structures

The exercise of discretion by the consent authority that applies is clause 1.10(2) of the NTPS. In considering an application for consent for a use or development that has become Merit Assessable under Clause 1.8(1)(b)(ii)(2), the consent authority must consider the requirements in Part 5 that are not complied with and whether the proposal meets the purpose of the requirements.

## 3. ASSESSMENT SYNOPSIS

This report concludes that the Authority should defer the application to allow additional information to be provided. The following information has been requested from the Applicant:

- Provide a professionally dimensioned and to scale site plan (the submitted plans are not to scale), showing site constraints including easements, trees, and existing buildings, to justify the location of the new building.
- There is reference in email correspondence about an existing helicopter landing site on the Lot; this needs to be included on the plans too.
- Confirm the location of the roller doors on the updated site plan.
- Further justification as to why the proposed building needs to be located only 2m away from the boundary, and / or:
- Demonstrate better or total compliance with the NTPS setback requirements, by changing the building location or reducing its footprint.

## 4. BACKGROUND

The site was subject to multiple 2 Lot Subdivision applications, PA2006/0303 and PA2006/0498 (later appealed under PA2006/0707). All were refused on 4 April 2006, 15 August 2006, and 10 January 2007 respectively.

## 5. PUBLIC EXHIBITION

The application was referred locally to the owners of adjoining lot 1314 (115 Thorak Road) Hundred of Bagot for a period of two weeks. No public submissions were received under Section 49(1) of the *Planning Act 1999*.

It should be noted that a letter of support from the landowner of 115 Thorak Road was submitted as part of the application (**Bookmark B9**). This cannot be considered under Section 49 as it was not received during the submission period and will be discussed later in this report.

A submission by Litchfield Council was also received under Section 49(3) of the *Planning Act 1999*, objecting to the proposal. This content of this objection is also discussed later in this report.

## 6. THIRD PARTY APPEAL RIGHTS

As noted above, Litchfield Council made a submission under Section 49(3) of the *Planning Act 1999*. As such, pursuant to Section 117(1) of the *Planning Act 1999*, Litchfield Council have the right to apply to the Tribunal for a review of a determination under Section 53(a) or (b).

## 7. MATTERS TO BE TAKEN INTO ACCOUNT (SECTION 51 OF THE PLANNING ACT)

**Pursuant to Section 51(1) of the *Planning Act 1999*, a consent authority must, in considering a development application, take into account any of the following relevant to the development:**

**(a) any planning scheme that applies to the land to which the application relates**

Section 51 sub-clause 3 states that when considering a development application under subsection (1), the consent authority must apply the relevant considerations to only those

components of the development that triggered the requirement for consent under the planning scheme.

The proposal has been assessed against the NTPS, (see Technical Assessment at **Bookmark C**), and does not comply with Clause 5.4.3 (Building Setbacks for residential Buildings and Ancillary Structures). The new shed will be setback 2m from the side boundary with 115 Thorak Road, instead of the required 10m.

### Clause 5.4.3 (Building Setbacks for Residential Buildings and Ancillary Structures)

The purpose of this clause is to ensure that residential buildings and ancillary structures are located in a manner that:

- a) is compatible with the streetscape and surrounding development including residential buildings on the same site,
- b) minimises adverse effects of building massing when viewed from adjoining land and the street,
- c) avoids undue overlooking of adjoining properties; and
- d) facilitates breeze penetration through and between buildings.

Table D to Clause 5.4.3 requires a side setback of 10m and only a 2m setback is proposed. This is not in accordance with sub-clause 5.4.3(6).

Sub-clause 5.4.3(3) states that: The consent authority may consent to a development that is not in accordance with sub-clause 6-8 only if it is satisfied that the reduced setback is consistent with the purpose of this clause and it is appropriate to the site having regard to such matters as its location, scale and impact on adjoining and nearby property.

The Applicant has submitted a plan (not to scale) showing approximate locations of existing constraints on the site (**Bookmark B4**). However, this is not considered sufficient justification to why this significantly (80%) reduced setback is needed and the required 10m cannot be met, as the plan as submitted shows there is space on site for an alternative shed location.

The submitted engineering plans (**Bookmark B7**) also illustrate the presence of four large roller doors. The plans as submitted do not confirm the location of these doors. Updated plans have been requested from the Applicant. It is considered these doors may result in adverse amenity impacts on neighbouring property by enabling noise, dust, and odour transmission, depending on where they are located.

The proposed boundary reduction also prevents an adequate firebreak being provided. This presents a risk to the safety and amenity of the area. Firebreaks for the site are legally required under the *Fire and Emergency Act 1996*. The NT Government requires firebreaks to be 4m wide, be installed around the perimeter of the property, and not have any vegetation more than 50mm high.

Revised plans and / or further justification has been sought from the Applicant to address the non-compliance with the NTPS identified above.

**In summary, it is considered that the application as currently proposed should not be supported, and the application deferred, because:**

- The information as submitted illustrates that the shed location could be amended to comply with the NTPS requirements.

- The proposal will negatively impact on the visual amenity of the surrounding area, due to the substantial scale of the new building, which will have a floorspace of 600sqm and a height of approximately 7m, with a 2m setback from the property boundary.
- The presence of four large roller doors on the new building may adversely impact neighbouring amenity by way of noise, odour, and dust and it is unclear where these will be located.
- The reduced setback will prevent the required firebreaks from being provided.

**The following information has been requested from the Applicant:**

- Provide a professionally dimensioned and to scale site plan (the submitted plans are not to scale), showing site constraints including easements, trees, and existing buildings, to justify the location of the new building.
- There is reference in email correspondence about an existing helicopter landing site on the Lot; this needs to be included on the plans too.
- Confirm the location of the roller doors on the updated site plan.
- Further justification as to why the proposed building needs to be located only 2m away from the boundary, and / or:
- Demonstrate better or total compliance with the NTPS setback requirements, by changing the building location or reducing its footprint.

**(b) any proposed amendments to such a planning scheme:**

- (i) that have been or are on exhibition under Part 2, Division 3;**
- (ii) in respect of which a decision has not been made under Part 2, Division 5; and**
- (iii) that are relevant to the development proposed in the development application**

There are no proposed amendments to the NTPS which affect this proposal.

**(c) an interim development control order, if any, in respect of the land to which the application relates**

There are no interim development control orders relevant to the site.

**(d) an environment protection objective within the meaning of the Waste Management and Pollution Control Act 1998 that is relevant to the land to which the application relates**

There are no environmental protection objectives relevant to the land.

**(e) any submissions made under section 49, and any evidence or information received under section 50, in relation to the development application**

A submission by Litchfield Council was received under Section 49(3) of the *Planning Act 1999*, objecting to the proposal. This content of this objection is also discussed later in this report.

No public submissions were received during the exhibition period under Section 49 of the *Planning Act 1999* with respect to the proposal.

**(f) a matter that the Minister has, under section 85, directed it to consider in relation to development applications generally**

The Minister has made no direction in relation to the application.

**(h) the merits of the proposed development as demonstrated in the application**

The application states that the new shed will be used to provide storage space for the adjacent dwelling and accommodate farm machinery and equipment. Further justification has been requested from the Applicant to support the development as proposed.

**(j) the capability of the land to which the proposed development relates to support the proposed development and the effect of the development on the land and on other land, the physical characteristics of which may be affected by the development**

No land capability issues were raised.

**(k) the public facilities or public open space available in the area in which the land is situated and the requirement, if any, for the facilities, or land suitable for public recreation, to be provided by the developer**

Not applicable.

**(m) the public utilities or infrastructure provided in the area in which the land is situated, the requirement for public facilities and services to be connected to the land and the requirement, if any, for those facilities, infrastructure, or land to be provided by the developer for that purpose**

Not applicable.

## **Local Authority:**

### Litchfield Council – Bookmark D1

Council objected to the shed, citing noncompliance with firebreak regulations, amenity issues and stormwater runoff. Council also consider that the Applicant had not addressed NTPS Overlay 3.5 (Land in Proximity to Airports).

Should the application be approved, the following condition(s) pursuant to the *Planning Act* and Council's responsibility under the *Local Government Act* are also recommended for inclusion in any Development Permit issued by the consent authority:

- a) The owner shall collect stormwater and discharge it to the drainage network, to the technical requirements and satisfaction of Litchfield Council, at no cost to Litchfield Council.
- b) Any developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of Litchfield Council.

Should the application be approved, the following notes are recommended for inclusion in any Development Permit issued by the consent authority:

- a) Litchfield Council's current Fees and Charges may apply to the above conditions. Additional information can be found at [www.litchfield.nt.gov.au](http://www.litchfield.nt.gov.au).
- b) A *Works Permit* is required from Litchfield Council before commencement of any work within the road reserve, which would include creation of any driveway crossover connecting to Litchfield Council's road network.
- c) Notwithstanding any approved plans, signs within Litchfield Council's municipal boundaries are subject to approval under Interim Development Control Order 29.

## **Service Authority:**

## Power and Water (Power) – Bookmark D2

Standard comment received regarding the engagement of a licensed electrician for any works on the development; can be addressed via conditions or notes on the development permit.

## Power and Water (Water) – Bookmark D3

Standard comments received regarding reticulation and backflow devices; can be addressed by conditions or notes on the development permit.

### **(n) *the potential impact on the existing and future amenity of the area in which the land is situated***

It is considered that the reduced boundary setback will negatively impact on the visual amenity of the surrounding area, due to the substantial scale of the new building, which will have a floorspace of 600sqm and a height of approximately 7m, with a 2m setback from the property boundary.

Four large roller doors are proposed, and the presence of these roller doors may impact neighbouring amenity by enabling transmission of noise, dust, and odour impacts.

In addition, the proposal does not comply with the Fire and Emergency Act 1996 in respect to firebreaks, as a 4-metre firebreak around the property boundary is not provided. This is a risk to the amenity of the residents of the dwelling-single on site and the neighbouring occupants / land uses.

### **(p) *the public interest, including (if relevant) how the following matters are provided for in the application:***

- (i) *community safety through crime prevention principles in design;***
- (ii) *water safety;***
- (iii) *access for persons with disabilities***

Not applicable to this application.

### **(pa) *for a proposed subdivision or consolidation of land in a Restricted Water Extraction Area – whether the subdivision or consolidation complies with the restrictions of sections 14A and 14B of the Water Act 1992 and the requirements of section 14C(1) of that Act;***

Not applicable to this application.

### **(q) *for a proposed subdivision of land on which a building is, or will be, situated – whether the building complies, or will comply, with any requirements prescribed by regulation in relation to the building (including, for example, requirements about the structural integrity and fire safety of the building)***

Not applicable to this application.

### **(r) *any potential impact on natural, social, cultural or heritage values, including, for example, the heritage significance of a heritage place or object under the Heritage Act 2011***

There are no known natural, social, cultural or heritage values on the site or in the immediate surrounding area.

- (s) **any beneficial uses, quality standards, criteria, or objectives, that are declared under section 73 of the Water Act 1992**

The subject site is in the Darwin Rural Water Control District. It is the responsibility of the developer and landowner to ensure that land use does not result in a contravention of the *Water Act 1992*.

- (t) **other matters it thinks fit**

The application included a letter of support from Mr. Alan Speziali, the owner of the adjacent Lot 1314. Mr Speziali noted the proximity of the building to his property and provided support. A copy of the letter is included with application materials at **Bookmark B9**.

## **Section 51(2) of the Planning Act 1999**

***If a development proposal is required to be referred to the NT EPA under Part 4, Division 3 of the Environment Protection Act 2019, the consent authority must not make a decision under this Division in relation to a development application for the proposal unless:***

- (a) the NT EPA has determined that an environmental impact assessment is not required under that Act for that proposal; or***  
***(b) if the NT EPA has determined that an environmental impact assessment is required – an environmental approval has been granted under that Act for the proposal and the decision is consistent with that approval; or***  
***(c) the Environment Protection Act 2019 otherwise permits the making of the decision.***

The application was not referred to the EPA.

## **8. RECOMMENDATION**

That, pursuant to section section 46(4)(b) of the *Planning Act 1999*, the Development Consent Authority defer the application to develop Section 5251 (95 Thorak Road) Knuckey Lagoon, for the purpose of outbuilding (shed) addition to an existing dwelling-single with a reduced building setback to the side boundary.

**In summary, it is considered that the application as currently proposed should not be supported, and the application deferred, because:**

- The information as submitted illustrates that the shed location could be amended to comply with the NTPS requirements.
- The proposal will negatively impact on the visual amenity of the surrounding area, due to the substantial scale of the new building, which will have a floorspace of 600sqm and a height of approximately 7m, with a 2m setback from the property boundary.
- The presence of four large roller doors on the new building may adversely impact neighbouring amenity by way of noise, odour, and dust and it is unclear where these will be located.
- The reduced setback will prevent the required firebreaks from being provided.

**The following information has been requested from the Applicant:**

- Provide a professionally dimensioned and to scale site plan (the submitted plans are not to scale), showing site constraints including easements, trees, and existing buildings, to justify the location of the new building.
- There is reference in email correspondence about an existing helicopter landing site on the Lot; this needs to be included on the plans too.

# Item 3

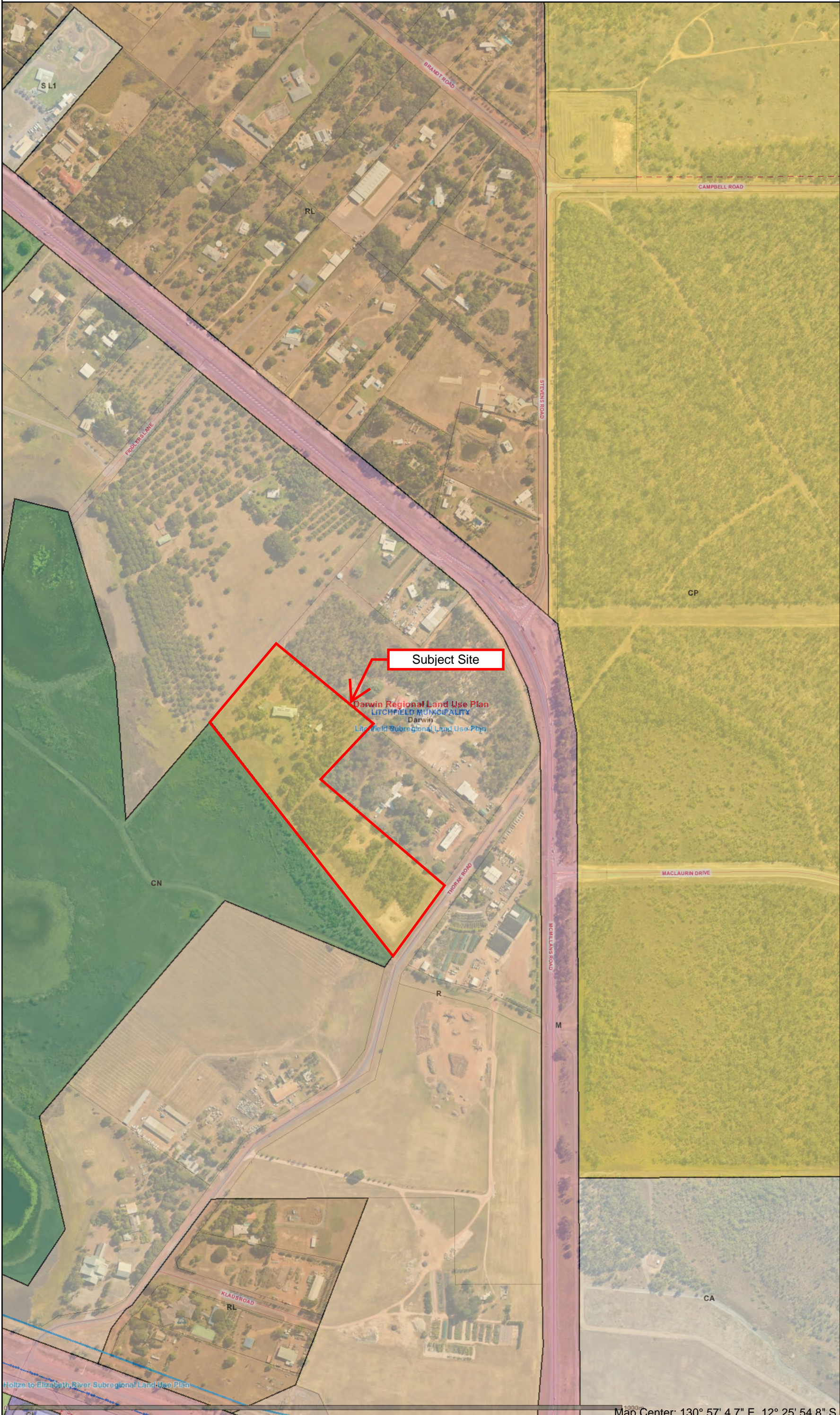
- Confirm the location of the roller doors on the updated site plan.
- Further justification as to why the proposed building needs to be located only 2m away from the boundary, and / or:
- Demonstrate better or total compliance with the NTPS setback requirements, by changing the building location or reducing its footprint.



**AUTHORISED:**

.....  
**RHIANNON MARTIN**  
**SENIOR PLANNER**  
**DEVELOPMENT ASSESSMENT SERVICES**





**General Lines**

- Town Boundaries
- Local Government Areas
- Administrative Regions

**REGION**

- Regional Land Use Plans
- Subregional Land Use Plans
- Town Planning Zones

**Town Planning Zones**

- A - Agriculture
- CV - Caravan Park
- CB - Central Business
- C - Commercial
- CL - Community Living
- CP - Community Purpose
- CN - Conservation
- DV - Development
- RR - Rural Residential
- GI - General Industry
- HT - Heritage
- HR - High Density Residential
- H - Horticulture
- LI - Light Industry
- M - Main Road
- MR - Medium Density Residential
- LMR - Low-Medium Density Residential
- CA - No Planning Scheme Controls
- OR - Organised Recreation
- PM - Proposed Main Road
- PS - Public Open Space
- RW - Railway
- RD - Restricted Development
- R - Rural
- RL - Rural Living
- SC - Service Commercial
- LR - Low Density Residential
- S - Specific Use
- TC - Tourist Commercial
- U - Utilities
- WM - Water Management
- FD - Future Development
- RJ - Residential Jabiru
- PSJ - Public Open Space Jabiru
- ORJ - Organised Recreation Jabiru
- CJ - Commercial Jabiru
- SCJ - Service Commercial Jabiru
- TCJ - Tourist Commercial Jabiru
- CPJ - Community Purpose Jabiru
- FDJ - Future Development Jabiru
- IJ - Industrial Jabiru
- MJ - Main Road Jabiru
- UJ - Utilities Jabiru

**Road Labels**

**Road Centrelines**

- Highway
- Other Road
- Cadastre
- Coastline

Created by SRAMB

Bottom Left: 130° 56' 42", -12° 26' 06"  
 Top Right: 130° 57' 27", -12° 25' 42"  
 Approximate Scale: 1:5,900  
 Datum: GDA 1994  
 Data for information purposes only  
 - accuracy not guaranteed  
 N.T. Land Information System  
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06 September 2024

Development Assessment Services  
Infrastructure Planning and Logistics

## **Development Proposal**

### **Project: 20m x 30m Shed on Residential Property at 95 Thorak Road, Knuckey Lagoon NT 0828**

#### **Project Overview**

This proposal outlines the development of a 20m x 30m shed on a residential property at 95 Thorak Road, Knuckey Lagoon NT 0828. The shed will be used for storage and as a personal workshop space. The structure is to be built 2 meters from the property boundary, which varies from the standard setback requirements in the area. This proposal seeks approval for the reduced setback due to the land limitations and the overall suitability of the design.

#### **Site and Boundary Considerations**

The shed will be located 2 meters from the boundary of the property, which is less than the standard setback requirement for the area. This variation is required to maximise functionality while maintaining access to other areas of the property. The adjacent property owner has been consulted and has no objections to the reduced setback, and a formal letter of agreement has been provided.

#### **Permits and Regulatory Compliance**

Given the reduced setback, a variance permit will be applied for to meet the local council's planning requirements. All construction will comply with relevant building codes, including fire safety, drainage, and structural integrity standards.

#### **Project Scope and Design**

The shed will have a total area of 600 square meters, with an approx. height of 7 meters to accommodate large equipment and provide ample storage space. The relevant engineering drawings and certificate of compliance have been provided.

#### **Environmental Impact**

Waste during construction will be managed responsibly, with recyclable materials being sorted and disposed of appropriately. Construction activities will be carried out within the permitted hours set by local authorities.

#### **Conclusion**

The shed will provide a valuable addition to the property, offering much-needed storage and workshop space while maintaining a low impact on the surrounding area. The variation to the setback is minor and will not adversely affect neighbouring properties or the local environment.

Approval of this development proposal would enhance the property's functionality while respecting both regulatory and environmental considerations.

I look forward to hearing from you. Please contact me on 0439 186 313 should you require any further information.

Kind regards,

Jackson Goold

# Land owner/s authorisation to lodge a development application under the Planning Act 1999

**\*\*signatures from ALL landowners registered on the land title must be provided\*\***

<b>The owners and/or persons duly authorised as signatory on behalf of the landowner**, hereby authorise:</b>		
NAME OF CONSULTANT OR ACTING AGENT ON BEHALF OF LANDOWNER (please print)		
Contact number:	Ph:	Mob:
<b>to lodge a development application under the <i>Planning Act 1999</i> over the property described as:</b>		
LOT/ NT PORTION:	5251	
LOCATION/TOWN	Knuckey Lagoon Darwin	
STREET ADDRESS:	95 Thorak Rd	
PROPOSED DEVELOPMENT:	Shed	

OWNER'S SIGNATURE:		
FULL NAME: (please print)	Jacqueline Dallas Goid	
TITLE: (ie. company director/secretary)	Director	
COMPANY NAME:	MG Holding Co Pty Ltd	
Contact number:	Ph: 0889314177	Mob: 0407183119
DATE:	11/9/2024	

OWNER'S SIGNATURE:		
FULL NAME: (please print)		
TITLE: (ie. company director/secretary)		
COMPANY NAME:		
Contact number:	Ph:	Mob:
DATE:		

# Statement of effect

Complete this form if permissible development has become merit assessable.

Matters to be addressed in accordance with section 46 of the *Planning Act 1999*<sup>1</sup>

**Section 46(3)(a) –an assessment demonstrating how the proposed development will comply with any planning scheme that applies to the land**

**Address how your proposal meets or does not meet the purpose and each relevant requirement for the clause(s). Relevant clauses can be found in part 5 of the NT Planning Scheme 2020<sup>2</sup>**

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<sup>1</sup> <https://legislation.nt.gov.au/en/Legislation/PLANNING-ACT-1999>

<sup>2</sup> <https://nt.gov.au/property/land-planning-and-development/our-planning-system/nt-planning-scheme>

**Project: 20m x 30m Shed on Residential Property at 95 Thorak Road, Knuckey Lagoon NT 0828****Project Overview**

This proposal outlines the development of a 20m x 30m shed on a residential property at 95 Thorak Road, Knuckey Lagoon NT 0828. The shed will be used for storage and as a personal workshop space. The structure is to be built 2 meters from the property boundary, which varies from the standard setback requirements in the area. This proposal seeks approval for the reduced setback due to the land limitations and the overall suitability of the design.

**Site and Boundary Considerations**

The shed will be located 2 meters from the boundary of the property, which is less than the standard setback requirement for the area. This variation is required to maximise functionality while maintaining access to other areas of the property. The adjacent property owner has been consulted and has no objections to the reduced setback, and a formal letter of agreement has been provided.

**Permits and Regulatory Compliance**

Given the reduced setback, a variance permit will be applied for to meet the local council's planning requirements. All construction will comply with relevant building codes, including fire safety, drainage, and structural integrity standards.

**Project Scope and Design**

The shed will have a total area of 600 square meters, with an approx. height of 7 meters to accommodate large equipment and provide ample storage space. The relevant engineering drawings and certificate of compliance have been provided.

**Environmental Impact**

Waste during construction will be managed responsibly, with recyclable materials being sorted and disposed of appropriately. Construction activities will be carried out within the permitted hours set by local authorities.

**Setbacks - Clause 5.4.3 of the NTPS 2020**

In support of the proposed residential shed located 2 meters from the boundary, the development meets the purpose of Clause 5.4.3 of the NTPS 2020 by:

- Maintaining privacy and amenity for neighbouring properties through sufficient separation.
- Ensuring adequate open space on the property and not overwhelming the area.
- Managing stormwater runoff effectively to avoid impact on adjoining properties.
- Allowing for maintenance access without encroaching on neighbouring land.

This proposal balances the development requirements with the preservation of neighbourhood comfort and overall functionality.

**Conclusion**

The shed will provide a valuable addition to the property, offering much-needed storage and workshop space while maintaining a low impact on the surrounding area. The variation to the setback is minor and will not adversely affect neighbouring properties or the local environment.

Approval of this development proposal would enhance the property's functionality while respecting both regulatory and environmental considerations.

Kind regards,  
Jackson Goold

**Section 46(3)(b) – an assessment demonstrating how the proposed development will comply with an interim development control order, if any, applying to the land**

Is this section applicable?

Unsure

If this sub section is applicable, address below.

If an interim development control order applies to the land, the proposed development will be assessed to ensure compliance.

**Section 46(3)(c) – a public environmental report or an environmental impact statement has been prepared or is required under the Environmental Assessment Act in relation to the proposed development, a copy of the report or statement and the results of any assessment of the report or statement under the Act by the minister administering that Act**

Is this section applicable?

Unsure

If this sub section is applicable, address below.

The proposed shed will be built on private residential property, 2 metres from the boundary line. The site will be assessed for potential environmental impacts such as noise, dust, and drainage throughout the building process. Control measures include controlling noise during construction, using dust suppression methods, and managing site drainage and waste. The construction is expected to have minimal environmental impact with these measures in place.

**Section 46(3)(d) – an assessment demonstrating the merits of the proposed development**

State the merits of your proposal below.

The proposed shed, located 2 metres from the boundary line, is beneficial for increasing property functionality and value. It complies with local regulations and any potential environmental impacts will be managed effectively, resulting in minimal disruption.

**Section 46(3)(e) – a description of the physical characteristics of the land and a detailed assessment demonstrating the lands suitability for the purpose of the proposed development and the effect of development on that land and other land**

State below any notable physical characteristics of the land on which your proposal is to be located.

The land is flat with stable, well-draining soil and minimal existing vegetation.	
If there is nothing notable, mark this box with an 'X'.	
<b>Section 46(3)(f) – a statement specifying the public facilities or public open space available in the area in which the land is situated, whether land for public facilities or public open space is to be provided by the developer and whether it is proposed that facilities or open space be developed by the developer</b>	
Is this section applicable?	No
If this sub section is applicable, address below.	
The proposed development does not include plans to provide additional land for public facilities or open spaces, nor is the land owner proposing to develop such facilities or spaces as part of this build.	
<b>Section 46(3)(g) – a statement specifying the public utilities or infrastructure provided in the area in which the land is situated, the requirement for public facilities and services to be connected to the land and whether public utilities or infrastructure are to be provided by the developer or land is to be provided by the developer for the provision of public utilities or infrastructure</b>	
State below whether you intend to connect all necessary services to your proposal as required.	
The land is fitted with essential public utilities and infrastructure, including water, electricity and sewage systems. The land owner will connect to all necessary services as required and all connections meet regulatory standards. No additional land is needed for public utilities or infrastructure provision.	
<b>Section 46(3)(h) – an assessment of the potential impact on the existing and future amenity of the area in which land is situated</b>	
Provide a short statement below, addressing any potential impact on the existing or future amenity of the area.	
The proposed shed will have minimal to no impact on the area's amenity. It is positioned 2 meters from the boundary, with measures in place to manage noise and dust during construction. The shed is expected to enhance the property's functionality while preserving the area's aesthetic and usability.	
<b>Section 46(3)(j) – an assessment of the benefit or detriment to the public interest of the development</b>	
State below any benefit or detriment to the public interest resulting from your proposal.	

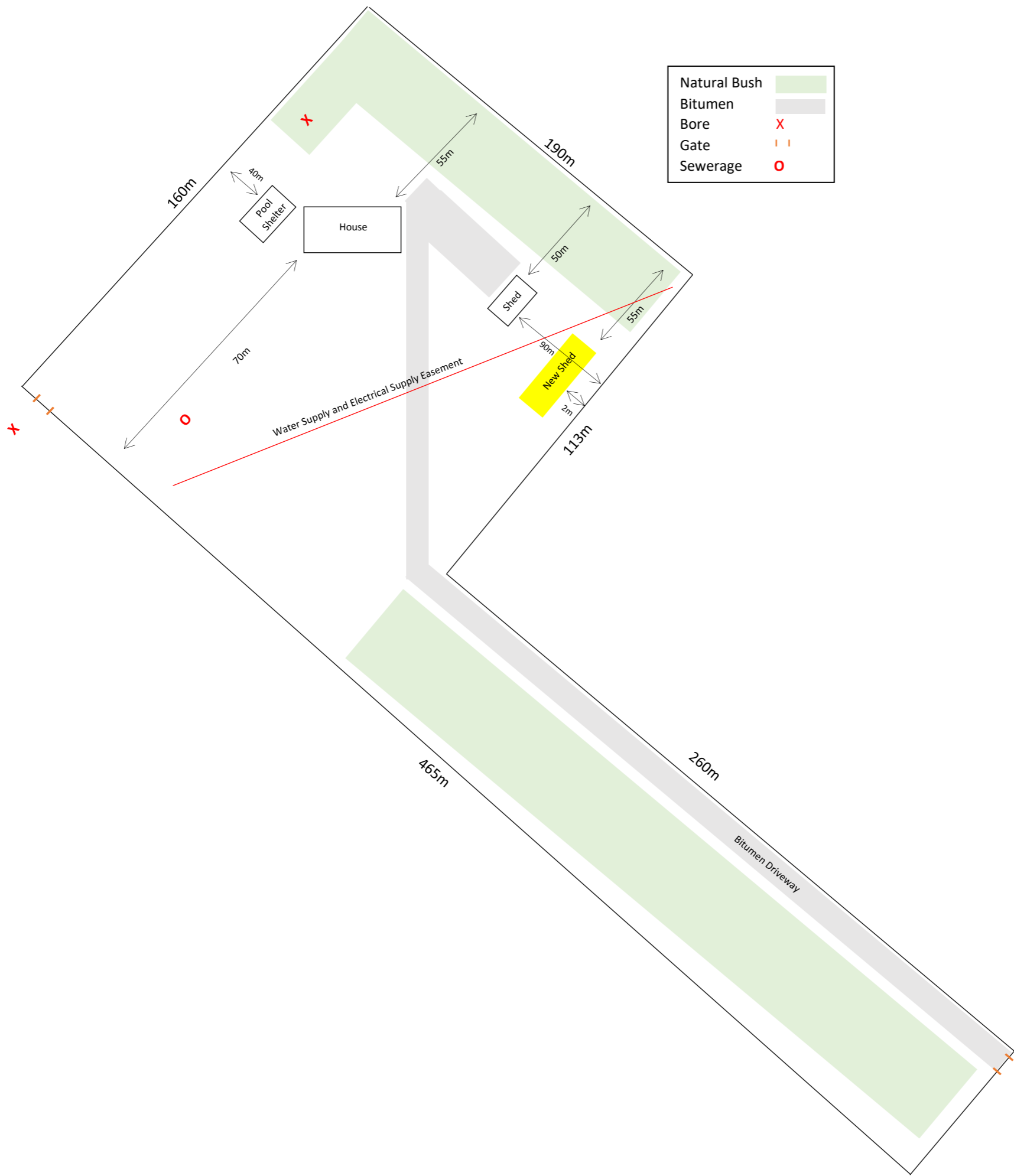
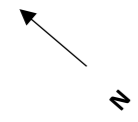
The proposed shed benefits the public interest by enhancing property functionality, complying with local regulations and increasing property value.	
If there is nothing notable, mark this box with an 'X'.	
<b>Section 46(3)(k) – in the case of a proposed subdivision of land on which a building is situated – a report from a building certifier within the meaning of the <i>Building Act 1993</i><sup>3</sup> as to whether the building will cease to comply with the <i>Building Act 1993</i> if the proposed development were to proceed</b>	
Not applicable to this application as it is not for a subdivision.	
<b>Section 46(3)(l) for the development of land proposed to be the scheme land of a proposed or existing scheme, or the development of existing scheme land – a plan in the approved form specifying:</b>	
<ul style="list-style-type: none"> <li>• Any information about any building that is, or will be situated on the scheme land (including for example, information about the structural integrity and fire safety of the building)</li> <li>• If any part of the development is subject to changes that are allowed by regulation – details about that part as required by regulation</li> <li>• Any other information prescribed by regulation about the development.</li> </ul>	
Not applicable to this application as it is not for a subdivision.	

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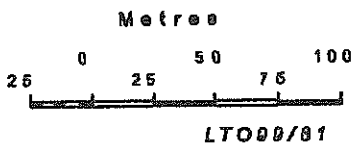
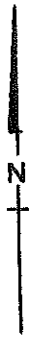
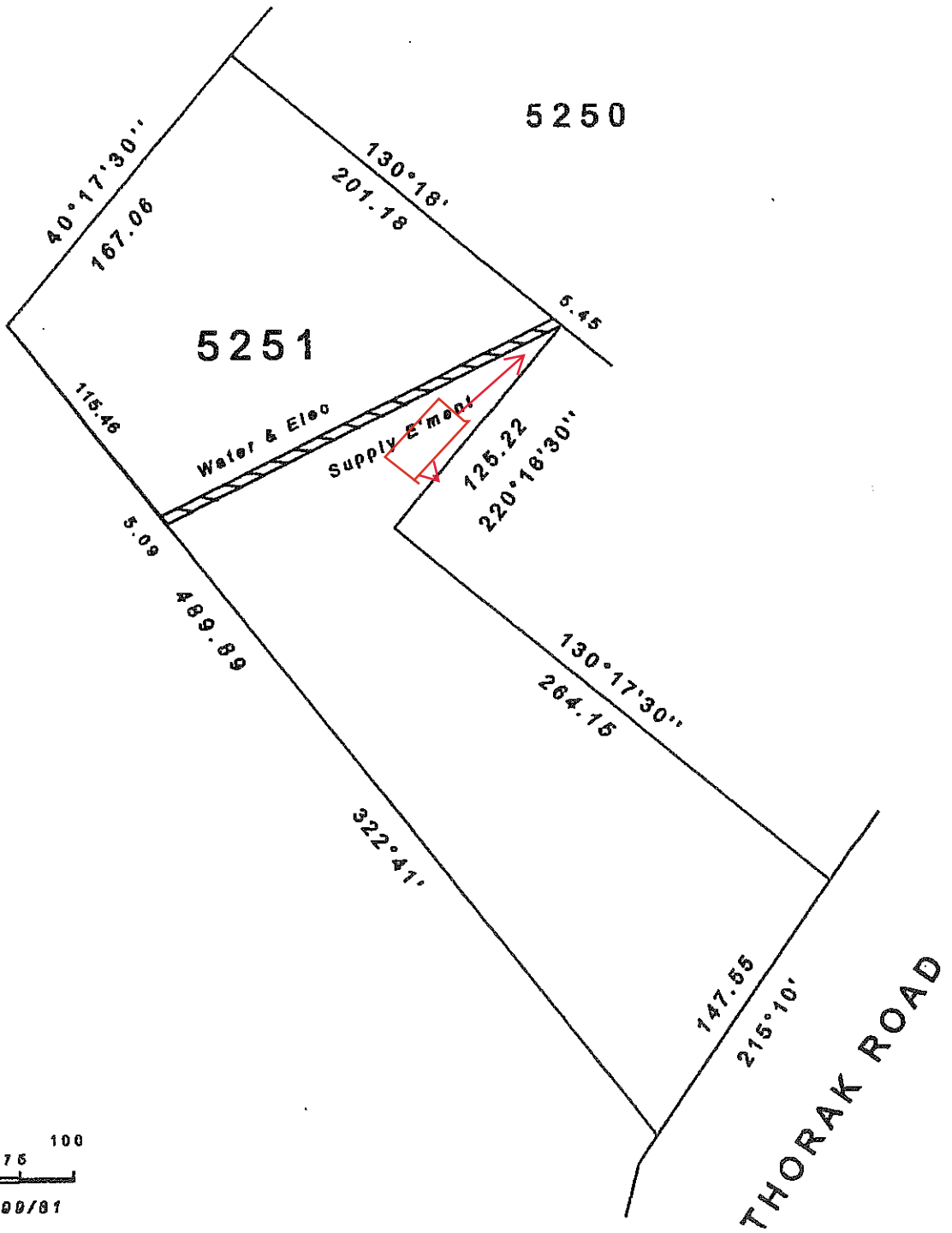
<sup>3</sup> <https://legislation.nt.gov.au/Legislation/BUILDING-ACT-1993>

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Natural Bush	
Bitumen	
Bore	
Gate	
Sewerage	





THORAK ROAD

STEVENSON

4977

4976

4975

2890

1314

2m to fence

55m fence

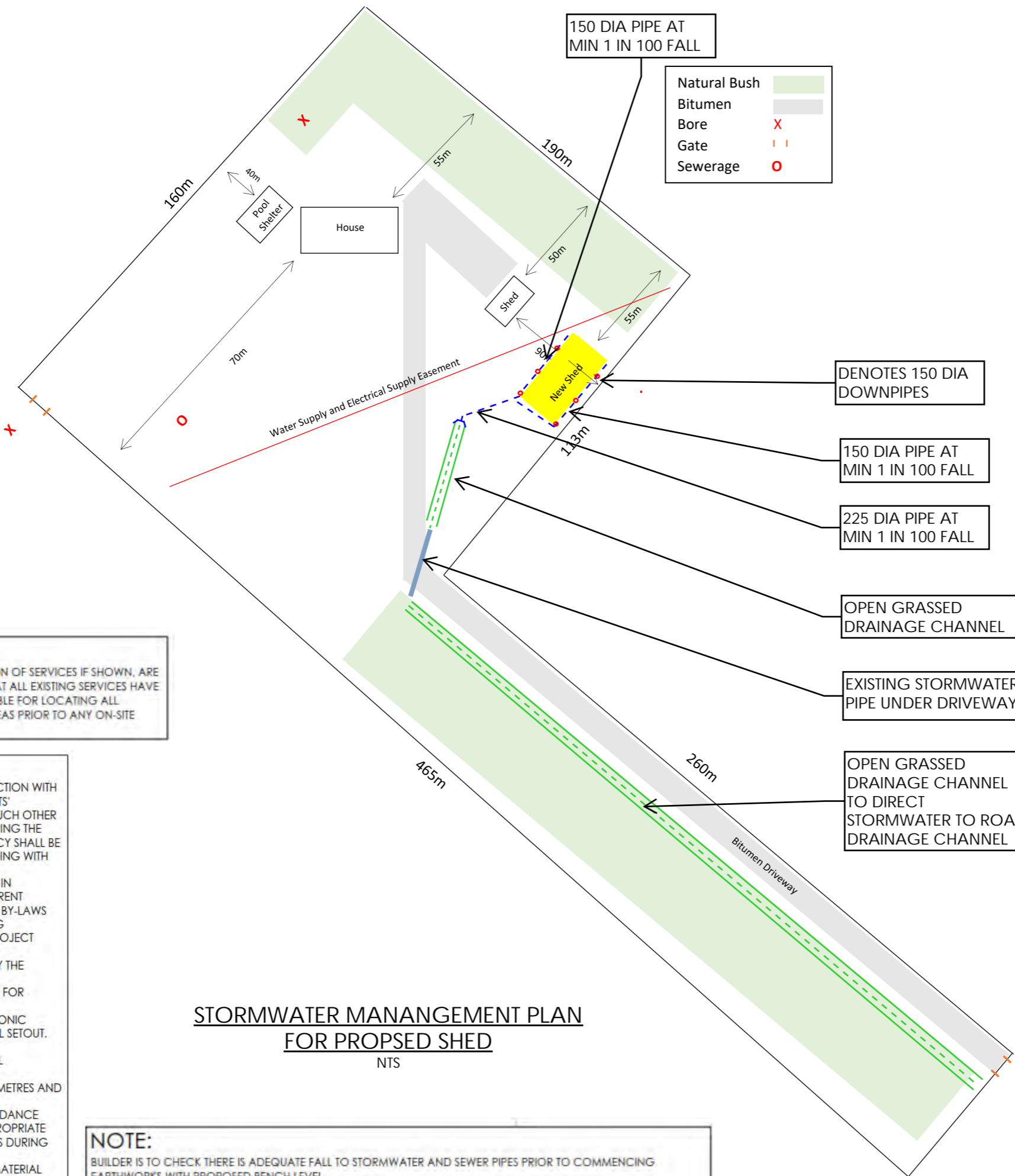
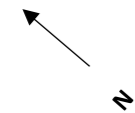
5250

2855

2854

3211





Natural Bush	
Bitumen	
Bore	X
Gate	
Sewerage	O

DENOTES 150 DIA DOWNPIPES

150 DIA PIPE AT MIN 1 IN 100 FALL

225 DIA PIPE AT MIN 1 IN 100 FALL

OPEN GRASSED DRAINAGE CHANNEL

EXISTING STORMWATER PIPE UNDER DRIVEWAY

OPEN GRASSED DRAINAGE CHANNEL TO DIRECT STORMWATER TO ROAD DRAINAGE CHANNEL

**STORMWATER MANAGEMENT PLAN  
FOR PROPOSED SHED**  
NTS

**NOTE:**  
BUILDER IS TO CHECK THERE IS ADEQUATE FALL TO STORMWATER AND SEWER PIPES PRIOR TO COMMENCING EARTHWORKS WITH PROPOSED BENCH LEVEL.  
  
THIS IS AN ENGINEERING SURVEY AND SHALL NOT BE TAKEN AS A BOUNDARY IDENTIFICATION. THE BOUNDARY DATA SHOWN IS TO BE TAKEN AS A GUIDE ONLY. TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.

**WARNING:**  
BEWARE OF UNDERGROUND SERVICES. THE LOCATION OF SERVICES IF SHOWN, ARE INDICATIVE ONLY AND NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES HAVE BEEN DOCUMENTED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING SERVICES WITHIN THE WORKS AFFECTED AREAS PRIOR TO ANY ON-SITE EXCAVATION.

**GENERAL NOTES**

G1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

G2 ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT STANDARDS AUSTRALIA CODES AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.

G3 ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE. ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. ENGINEER'S DRAWINGS ISSUED IN ANY ELECTRONIC FORMAT MUST NOT BE USED FOR DIMENSIONAL SETOUT.

REFER TO THE ARCHITECT'S DRAWINGS FOR ALL DIMENSIONAL SETOUT INFORMATION.

G4 UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES.

G5 ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH ACCEPTABLE SAFETY STANDARDS & APPROPRIATE SAFETY SIGNS SHALL BE INSTALLED AT ALL TIMES DURING THE PROGRESS OF THE JOB.

G6 WHERE TREES ARE REMOVED, ALL ORGANIC MATERIAL SHALL BE REMOVED AND REPLACED WITH COMPACTED FILL OF THE SAME SOIL PROPERTIES AS NATURAL GROUND. MOISTURE CONTENT OF NEW FILL TO BE NO LESS THAN EXISTING SITE SOIL.

- STORMWATER DRAINAGE NOTES**
- 40mm OF LAGGING IS REQUIRED TO ALL STORMWATER PIPES THAT PASS THROUGH FOOTINGS.
  - FLEXIBLE CONNECTIONS ARE TO BE PROVIDED TO THIS SITE - REF TO FOOTING DETAILS SHEETS.
  - SUITABLE VERTICAL EXPANSION JOINT IS TO BE PROVIDED TO DOWNPIPES AT PAVING LEVEL.
  - GRADE PAVING TO ALL SUMP LOCATIONS AT MIN 1.0%.
  - DURING CONSTRUCTION WATER RUN-OFF SHALL BE COLLECTED AND CHANNLED AWAY FROM THE BUILDING.
  - 450mm COVER TO STORMWATER PIPES IN VEHICLE AREAS WITHOUT PAVING AND 100mm COVER FROM UNDERSIDE OF PAVEMENTS .
  - SET-OUT OF BUILDING IS TO BE AS PER ARCH DRAWINGS.
  - STORMWATER SYSTEM AND ALL EXTERNAL PAVING AND RETAINING WALLS ARE TO BE COMPLETED BY OWNER UNLESS OTHERWISE SPEC IN THE BUILDING CONTRACT AND IS TO BE COMPLETED AS SOON AS THE BUILDING IS HANDED OVER TO THE OWNER.
  - RETAINING WALLS SHOWN APPROX. ONLY NOT TO BE USED FOR ESTIMATING PURPOSES. REFER TO FOOTING DETAILS AND CONSTRUCTION REPORT FOR REQUIREMENTS OF ALL TRENCH EXCAVATIONS NEXT TO FOOTINGS.
  - ALL STORMWATER SYSTEMS TO BE IN ACC WITH AS/NZS 3500.3.

FOR APPROVAL ONLY 15/11/24 REV A

Title: STORMWATER MANAGEMENT PLAN FOR PROPOSED SHED  
95 THORAK RD, KNUCKEY LAGOONS

Job #: TX14720.01

Page #: C1-A

Designed: DA.V Date: NOV 24

Checked: Date:

STRUCTURAL STEELWORK SCHEDULE			CONNECTIONS		
MARK	DESCRIPTION	SECTION	BASE	EAVES	TOP
C1	COLUMN - MAIN	2@C30024	FB3	KN4	
C3	COLUMN - E/W, PARTITION	2@C20015	EB1		ECR1
C3a		2@C25015	EB1		ECR1
CS	COLUMN - WEB STIFFENER	1800 x Long	CRS3		
R1	RAFTER - MAIN	2@C25024		KN4	AP4
RS	RAFTER - WEB STIFFENER	2400 x Long	CRS2		
KB	KNEE BRACE	2@C15024	KBC2		KBR2
RT	RAFTER TIE	2@C15015			RTR
AD	APEX DROPPER	C15015			SWB1
DM1	MULLION - ROLLER DOOR	C15015	MB1		RMF1
RH1	HEAD - ROLLER DOOR	C15010		RHC1	
Be	BRACING - END WALL	DIAPHRAGM			
Br	BRACING - ROOF	DIAPHRAGM			
Bw	BRACING - SIDE WALL	120x1.6 strap	SB3		
F1	FASCIA	C20024		FC1,2	
F1a		C20015		FC1,2	
P1	PURLIN - PERIPHERY	C20015 @ 1000 (1)		PG2,3	
P2	PURLIN - INTERNAL	C20012 @ 1100 (1)		PG2,3	
P2a		C20024 @ 1100 (1)		PG2,3	
P3	PURLIN - END	C20015 @ 1100 (1)		PG2,3	
EG1	GIRT - END WALL ZONE 1	C15015 @ 935 (1)		PG2,3,G1,3	
EG2	GIRT - END WALL ZONE 2	C15015 @ 1050 (1)		PG2,3,G1,3	
SG1	GIRT - SIDE WALL ZONE 1	C15019 @ 935 (1)		PG2,3	
SG2	GIRT - SIDE WALL ZONE 2	C15019 @ 1050 (1)		PG2,3	

#### BRACING

SIDE WALL CROSS BRACING AS SHOWN ON THESE DRAWINGS CAN BE MOVED TO OTHER BAYS ON THE SAME SIDE WALL PROVIDED:

- HEIGHT TO WIDTH RATIO IN THE TARGET BAY DOES NOT EXCEED 2
- WIDTH OF THE TARGET BAY DOES NOT EXCEED WIDTH OF THE BAY WHERE BRACING IS SHOWN
- THERE ARE NO DOORS AND WINDOWS IN THE TARGET BAY
- ROD BRACING CAN BE MOVED TO CLAD OR UNCLAD BAYS
- STRAP BRACING CAN BE MOVED ONLY TO CLAD BAYS

#### GENERAL

- THIS IS A STANDARDISED DESIGN SUITABLE FOR LIGHT INDUSTRIAL, COMMERCIAL & RURAL BUILDINGS TO STANDARDS & REQUIREMENTS PROVIDED BY RANBUILD.
- THESE DRAWINGS WILL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL & OTHER CONSULTANTS DRAWINGS & SPECIFICATIONS & WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS & WORKMANSHIP SHALL BE IN ACCORDANCE WITH RELEVANT & CURRENT SAA CODES & WITH BY-LAWS & ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- ALL DIMENSIONS SHOWN SHOULD BE VERIFIED BY THE BUILDER ON SITE. ENGINEERS DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION & NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS & EXCAVATIONS STABLE AT ALL TIMES.
- UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES & ALL DIMENSIONS ARE IN MILLIMETRES.
- THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT SAA CODES & NORMAL ENGINEERING PRACTICE.
- ARCHITECTURAL ELEMENTS TO HAVE A MINIMUM OF 20mm CLEARANCE OF THE STRUCTURE & ARE TO BE ARTICULATED.
- IT IS COMMON SENSE TO WORK SAFELY AND TO PROTECT YOURSELF AND OTHERS FROM ACCIDENTS ON SITE. TO DO THIS, YOU MUST ENSURE YOU HAVE IN PLACE SAFE WORK PRACTICES AND APPROPRIATE EQUIPMENT. SAFETY INVOLVES PERSONAL PROTECTION OF EYES, OF SKIN(FROM SUNBURN) AND OF HEARING(FROM NOISE). FALL PROTECTION MUST ALSO BE IN PLACE AS APPLICABLE INCLUDING SAFETY MESH, PERSONAL HARNESSES AND PERIMETER GUARDRAILS. IT IS RECOMMENDED THAT YOU FAMILIARIZE YOURSELF WITH APPLICABLE LAWS, REGULATIONS, RULES, GUIDELINES, CODES OF PRACTICE AND STANDARDS AND THAT YOU ADHERE STRICTLY TO THEM.

#### STRUCTURAL STEEL SPECIFICATION

- ALL STRUCTURAL STEELWORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING SAA CODES & SPECIFICATIONS. AS4100 STEEL STRUCTURES CODE AS/NZS 4600 COLD FORMED STEEL STRUCTURES CODE. AS1511 HIGH STRENGTH STRUCTURAL BOLTING. AS1111 COMMERCIAL BOLTS & SCREWS. AS2887 FARM STRUCTURES (WHERE APPLICABLE).
- PROPRIETARY PRODUCTS ARE TO BE IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURERS INSTRUCTIONS.

#### HIGH STRENGTH BOLTS

- CONNECTIONS WITH 8.8S BOLTS SPECIFIED ARE DESIGNED AS FRICTION TYPE JOINTS & BOLTS, NUTS & WASHERS SHALL COMPLY WITH THE RELEVANT REQUIREMENTS OF AS1252.
- HIGH STRENGTH FRICTION GRIP BOLTS TO BE INSTALLED IN ACCORDANCE WITH AS1511 & TENSIONED BY AN APPROVED METHOD TO PRODUCE THE FOLLOWING SHANK TENSIONS.

BOLT SIZE	SHANK TENSION (kN)
M12	50
M16	90

- FOR THIS DESIGN AN ACCEPTABLE TENSIONING METHOD IS SNUG TIGHT (PODGER SPANNER TIGHT) PLUS HALF A TURN.

#### COLD FORMED STEEL FRAMING

- ALL STRUCTURAL STEEL FRAMING TO BE MANUFACTURED FROM HOT DIP ZINC COATED STEEL CONFORMING TO AS1397 U.N.O.
  - MATERIAL GRADES SHALL BE AS FOLLOWS:-
- |                |                    |
|----------------|--------------------|
| 1.0 BMT        | - GRADE G550, Z350 |
| 1.2 BMT        | - GRADE G500, Z350 |
| 1.5 TO 3.0 BMT | - GRADE G450, Z350 |

#### FRAME ASSEMBLY

- CORRECT FRAME ASSEMBLY IS IMPORTANT TO ACHIEVE OPTIMUM PERFORMANCE OF THE STRUCTURE
- FULLY TENSION BOLTS AT KNEE, KNEE BRACE & APEX JOINTS AS SPECIFIED BEFORE STANDING FRAMES.
- FULLY TENSION BOLTS AT BASE CONNECTIONS AS SPECIFIED IMMEDIATELY AFTER STANDING THE FRAME.
- COLUMN L BASE CLEATS SHOULD BE INSTALLED ON LEVEL SLAB SURFACE USING SikaGrout 100 OR EQUIVALENT AS NECESSARY
- ROOF & WALL BRACING PROVIDE STRUCTURAL STABILITY WHERE SPECIFIED & MUST BE INSTALLED BEFORE THE CLADDING.

#### ROOF & WALL CLADDING

- ROOF & WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH AS1562 & THE MANUFACTURERS INSTRUCTIONS TO THE SAME WIND LOAD RATING AS THE BUILDING STRUCTURE.
- THE ROOF & WALL CLADDING FORMS AN INTEGRAL PART OF THE STRUCTURE & SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF A STRUCTURAL ENGINEER WHO ASSUMES FULL RESPONSIBILITY FOR THE DESIGN.

#### DOORS & WINDOWS

- ALL DOORS AND WINDOWS SHALL HAVE THE SAME CYCLONIC WIND LOAD RATING AS THE REST OF THE BUILDING ENVELOPE, INCLUDING RESISTANCE TO FLYING DEBRIS AS SPECIFIED IN AS1170.2:2021 AND AS/NZS 4505:2012. DOORS AND WINDOWS SHALL BE CLOSED DURING STORMS. DOORS SHALL BE INSTALLED WITH WIND LOCKS IN CYCLONIC AREAS. SUPPORTING DOCUMENTATION INCLUDING TEST REPORTS SHALL BE AVAILABLE FROM DOORS AND WINDOWS MANUFACTURERS TO CONFIRM LOAD RATING AND ENSURE COMPLIANCE WITH ABOVE MENTIONED STANDARDS AND BCA. DOORS ARE ALSO REQUIRED TO BE SUPPLIED WITH A STICKER THAT SHOWS A RANGE OF INFORMATION INCLUDING THE DESIGN PRESSURE OF THE DOOR ACCORDING TO AS/NZS 4505:2012 REQUIREMENTS.

#### DESIGN LOADING

- THE STRUCTURAL COMPONENTS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR THE FOLLOWING LOAD CONDITIONS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS INCLUDING AS/NZS 1170.2:2021

IMPORTANCE LEVEL	2
AS 1170.2 REGION	C
TERRAIN CATEGORY	2.5
Ms	1.0
Mt	1.0
INTERNAL PRESSURE C <sub>pi</sub>	+0.0 or -0.3 (ENCLOSED)
ROOF DEAD LOAD	SELF WEIGHT ONLY
ROOF LIVE LOAD	(1.8A+0.12) BUT NOT LESS THAN 0.25kPa AND 1.1kN
FLOOR LIVE LOAD	LIGHT INDUSTRIAL
SITE CLASS	A,S (SANDY SOIL)
COASTAL DISTANCE	11.7 km

#### DRAWING SCHEDULE

- 1: ENG1/1-430559 STEEL FRAME SCHEDULE, NOTES & COVER PAGE
- 2: ENG2/1-430559 STEEL FRAME DIAGRAMS
- 3: ENG3/1-430559 CONNECTION DETAILS
- 4: ENG3/2-430559 CONNECTION DETAILS
- 5: ENG4/1-430559 RC FLOOR PLAN & INTEGRAL PAD FOOTING DETAILS
- 6: ENG4/2-430559 RC FLOOR PLAN & INTEGRAL PAD FOOTING DETAILS
- 7: ENG5/1-430559 RC SLAB DETAILS, CONCRETE SPECIFICATION, SITE NOTES
- 8: 430559-GA GENERAL ARRANGEMENT



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ACCREDITED PRACTITIONER  
Richard Wardrop  
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03 9982 4639  
24/04/2024

CLIENT  
Jackson Goold

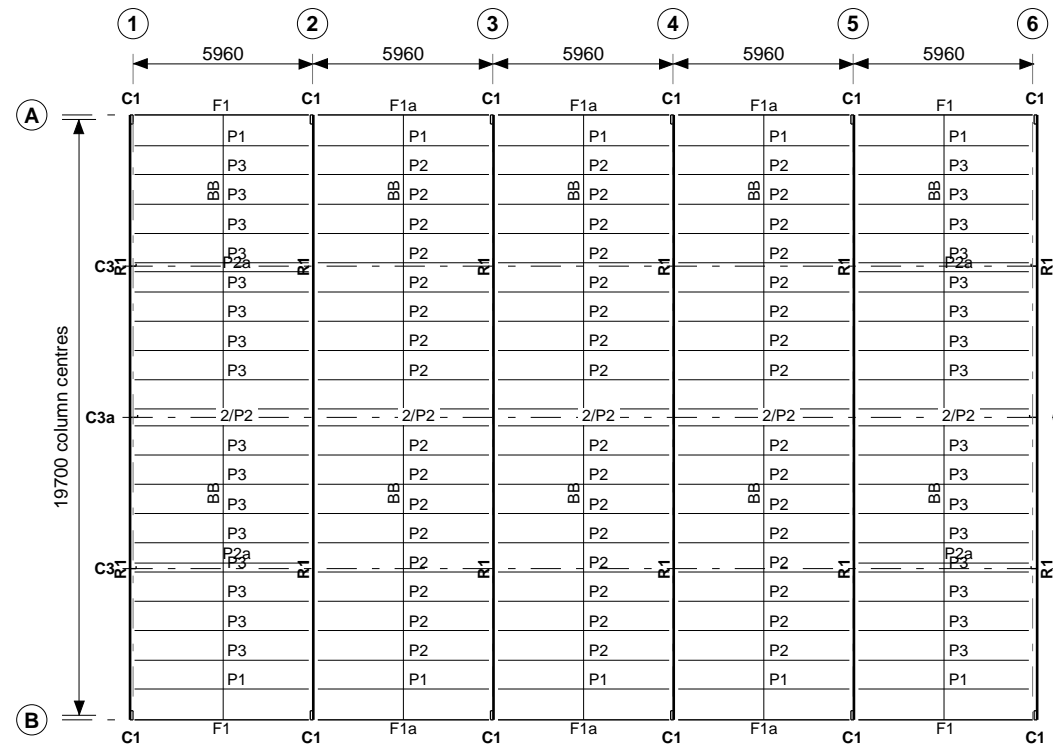
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KNUCKEY LAGOON NT 0828

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BUILDING DIMENSION  
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TITLE  
STEEL FRAME SCHEDULE,  
NOTES & COVER PAGE

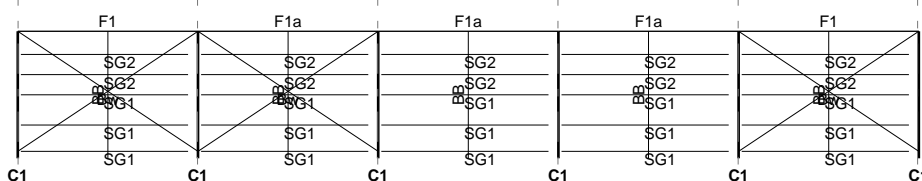
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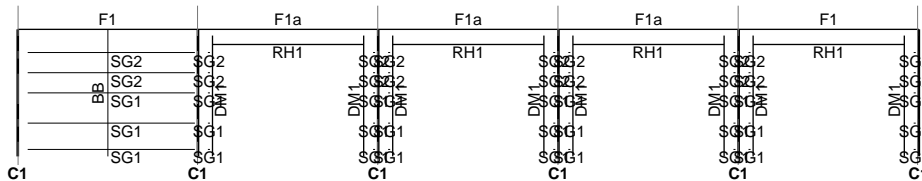
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RDS	A	NTS A3	1/8



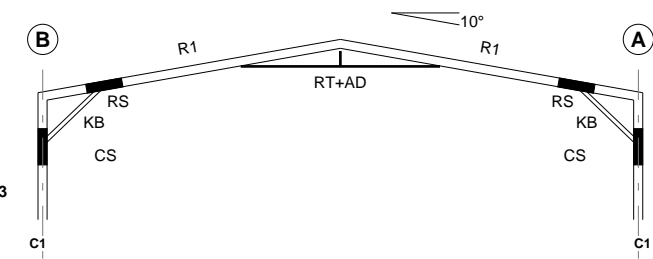
ROOF PLAN



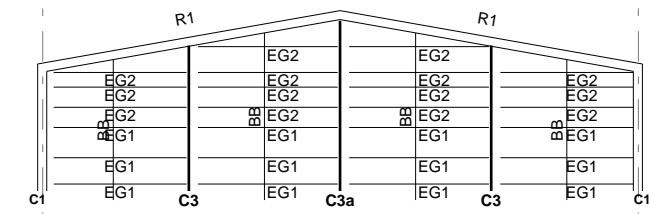
ELEVATION GRID B



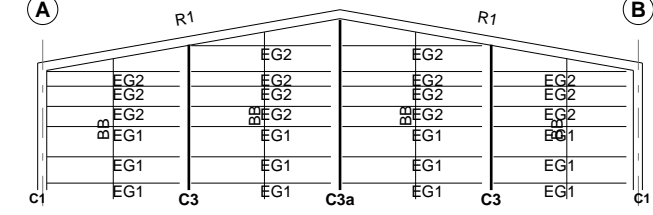
ELEVATION GRID A



SECTION GRID 2, 3, 4, 5



ELEVATION GRID 6



ELEVATION GRID 1



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24/04/2024

CLIENT  
**Jackson Goold**

SITE  
**95 Thorack Road  
KNUCKEY LAGOON NT 0828**

BUILDING TYPE  
**Covermaster (Cee)**

BUILDING DIMENSION  
**20000S x 4200E x 30000L**

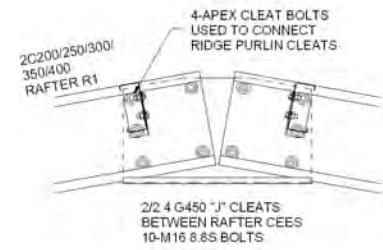
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**STEEL FRAME DIAGRAMS**

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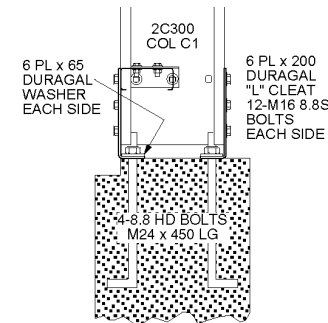
FOR BUILDING PERMIT STAGE

DRAWN RDS	REV A	SCALE 1:250 A3	PAGE 2/8
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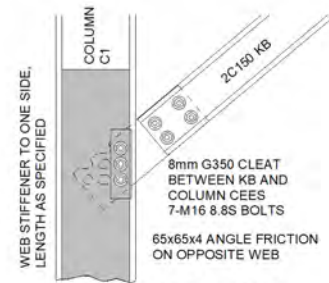




**APEX CONNECTION - AP4**

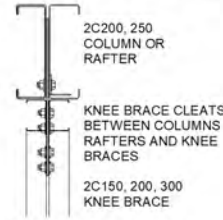


**FIXED BASE CONNECTION - FB3**

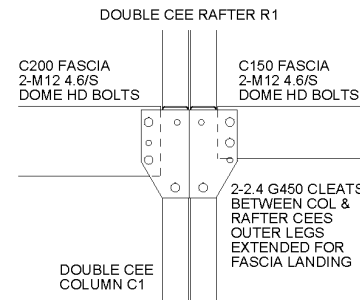


**COLUMN KNEE BRACE CONNECTION - KBC2**

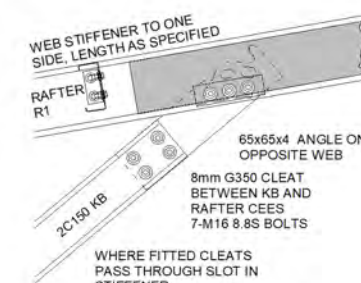
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**COLUMN OR RAFTER STIFFENER - CRS2**

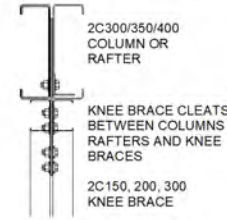


**TYP FASCIA CONNECTIONS AT INTERNAL FRAMES - FC1**

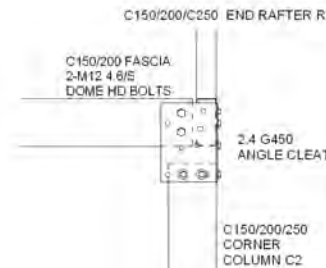


**RAFTER KNEE BRACE CONNECTION - KBR2**

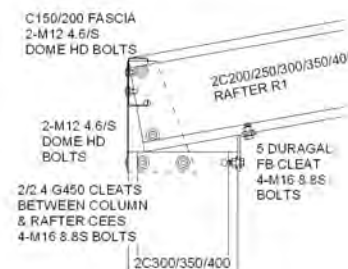
3.0 BMT min G450 PLAIN CHANNEL, 1800 LONG min  
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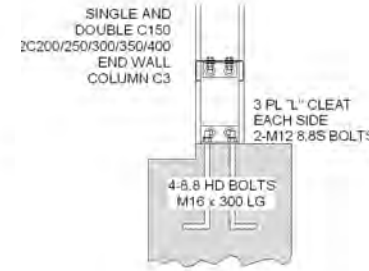
**COLUMN OR RAFTER STIFFENER - CRS3**



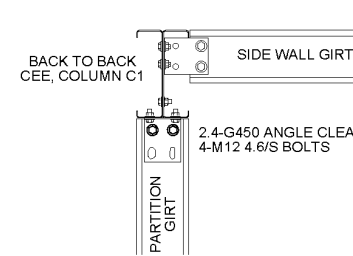
**TYP FASCIA CONNECTION AT SINGLE END FRAME - FC2**



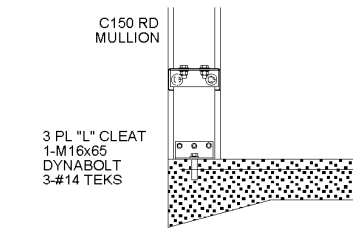
**KNEE CONNECTION - KN4**



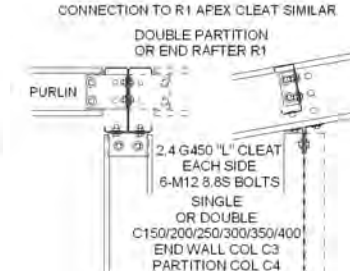
**E/W COLUMN BASE - EB1**



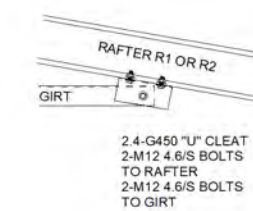
**TYP PARTITION GIRT TO COL FLANGE CONNECTION - G1**



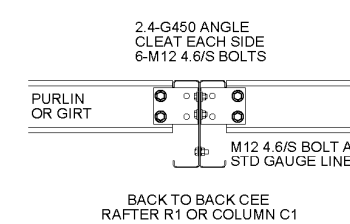
**RD MULLION BASE - MB1**



**E/W COLUMN TO DOUBLE RAFTER CONNECTION - ECR1**



**TYP GIRT TO RAFTER FLANGE CONNECTION - G3**



**TYP PURLIN/GIRT CONNECTION AT INTERNAL FRAMES - PG2**



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CLIENT  
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SITE  
**95 Thorack Road  
KNUCKEY LAGOON NT 0828**

BUILDING TYPE  
**Covermaster (Cee)**

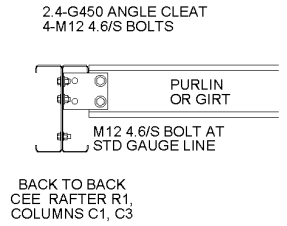
BUILDING DIMENSION  
**20000S x 4200E x 30000L**

TITLE  
**CONNECTION DETAILS**

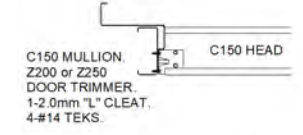
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FOR BUILDING PERMIT STAGE

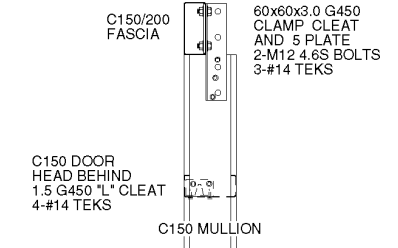
DRAWN RDS	REV A	SCALE 1:20 A3	PAGE 3/8
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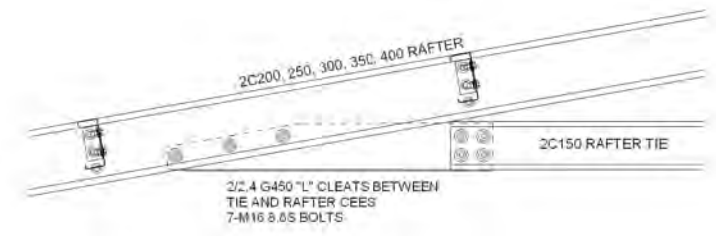
**TYP PURLIN/GIRT CONNECTION AT DOUBLE END FRAME - PG3**



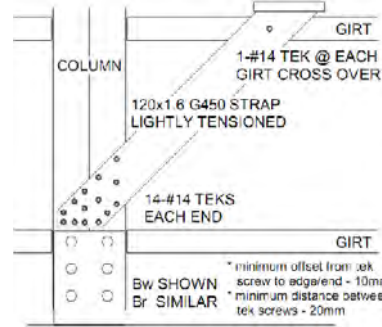
**RD MULLION HEAD CONNECTION - RHC1**



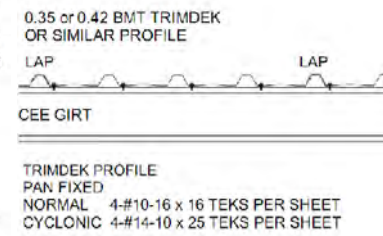
**RD MULLION TO FASCIA CONNECTION - RMF1**



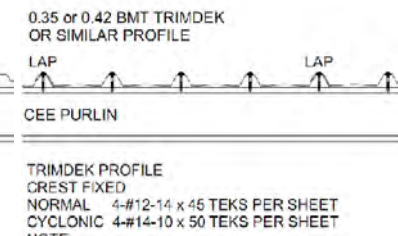
**RAFTER TIE CONNECTION - RTR**



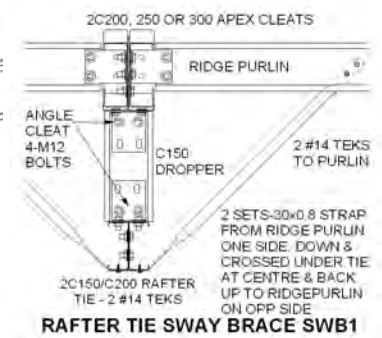
**STRAP BRACING - SB3**



**WALL CLADDING SHEAR DIAPHRAGM - SD1**



**ROOF CLADDING SHEAR DIAPHRAGM - SD2**



**RAFTER TIE SWAY BRACE SWB1**



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Lysaght Building  
Solutions Pty Ltd  
trading as RANBUILD

ACCREDITED PRACTITIONER  
Richard Wardrop  
BSc Beng CPEng NER, 354865ES  
Level 2, 1 Southbank Boulevard Southbank VIC 3006  
03 9982 4639  
24/04/2024

CLIENT  
**Jackson Goold**

SITE  
**95 Thorack Road  
KNUCKEY LAGOON NT 0828**

BUILDING TYPE  
**Covermaster (Cee)**

BUILDING DIMENSION  
**20000S x 4200E x 30000L**

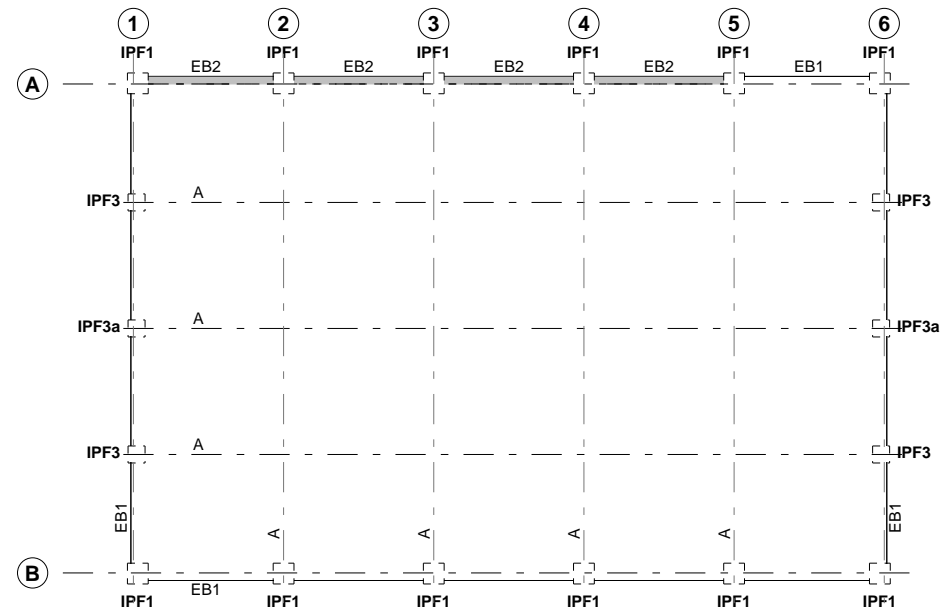
TITLE  
**CONNECTION DETAILS**

DRAWING NUMBER  
**ENG3/2-430559**

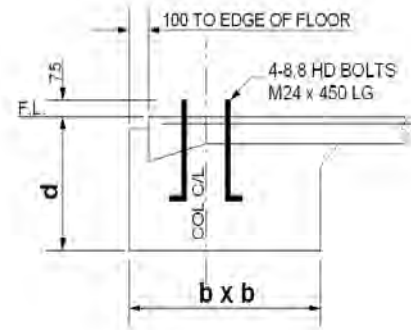
FOR BUILDING PERMIT STAGE

DRAWN RDS	REV A	SCALE 1:20 A3	PAGE 4/8
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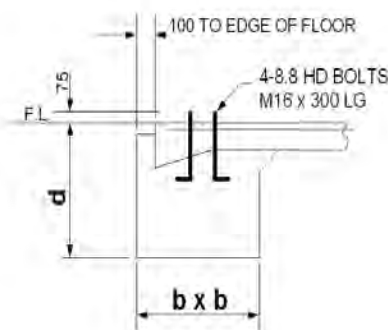




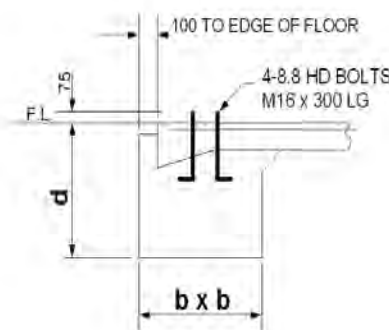
INTEGRAL PAD FOOTING / RC FLOOR PLAN



TYP DET IPF1



TYP DET IPF3



TYP DET IPF3a



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03 9982 4639  
24/04/2024

CLIENT  
**Jackson Goold**

SITE  
**95 Thorack Road  
KNUCKEY LAGOON NT 0828**

BUILDING TYPE  
**Covermaster (Cee)**

BUILDING DIMENSION  
**20000S x 4200E x 30000L**

TITLE  
**RC FLOOR PLAN & INTEGRAL  
PAD FOOTING DETAILS**

DRAWING NUMBER  
**ENG4/1-430559**

FOR BUILDING PERMIT STAGE

DRAWN	REV	SCALE	PAGE
RDS	A	1:40, 1:300 A3	5/8

**INTEGRAL PAD FOOTING SCHEDULE**

**CENTRE LINE REFERENCE**

A  
AB  
AB  
B

**FRAME REFERENCE(S)**

1, 2, 3, 4, 5, 6  
1, 6  
1, 6  
1, 2, 3, 4, 5, 6

**LABEL**

IPF1  
IPF3  
IPF3a  
IPF1

**d x b x b**

950 x 950 x 950  
700 x 700 x 700  
700 x 700 x 700  
950 x 950 x 950

**INTEGRAL PAD FOOTINGS**

MASS CONCRETE FOOTINGS CAST INTEGRAL WITH FLOOR & EDGE BEAM ARE ECONOMICALLY SUITED FOR SHEDS ON SANDY GROUND.

- THIS DESIGN MAY ALSO BE USED FOR CLAYEY SOIL OR WHERE ROCK IS ENCOUNTERED.
- ALL PAD FOOTINGS TO BE FOUNDED IN NATURAL GROUND WITH A SAFE BEARING CAPACITY OF 100 kPa AT DEPTH INDICATED.

**REFERENCE**

- SEE SLAB DETAIL DRAWING FOR:-
- MINIMUM SITE PREPARATION NOTES
  - MINIMUM SITE PREPARATION NOTES
  - CONCRETE SPECIFICATION NOTES
  - CONCRETE REINFORCEMENT NOTES
  - SLAB ON GRADE NOTES
  - DETAIL S1/EB1 - SLAB EDGE TYPE 1
  - DETAIL S1/EB2 - SLAB EDGE TYPE 2
  - DETAIL S1/A - SLAB CONTROL JOINT
  - DETAIL S1/C - SLAB CONSTRUCTION JOINT



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ACCREDITED PRACTITIONER  
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CLIENT  
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SITE  
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KNUCKEY LAGOON NT 0828**

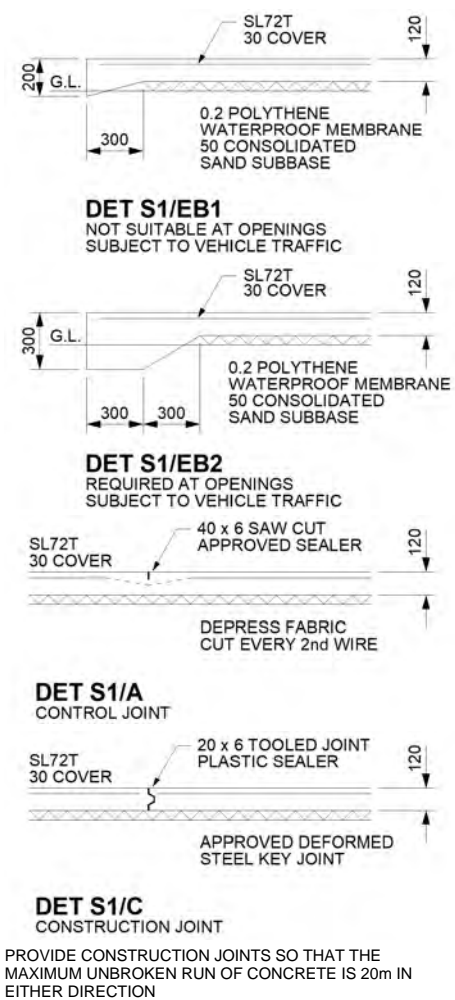
BUILDING TYPE  
**Covermaster (Cee)**  
BUILDING DIMENSION  
**20000S x 4200E x 30000L**

TITLE  
**RC FLOOR PLAN & INTEGRAL  
PAD FOOTING DETAILS**

DRAWING NUMBER  
**ENG4/2-430559**

FOR BUILDING PERMIT STAGE

DRAWN RDS	REV A	SCALE 1:40, 1:300 A3	PAGE 6/8
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#### SITE FOUNDATION CLASSIFICATION

TWO COMMON FOUNDATION CONDITIONS & SITE CLASSIFICATIONS IN ACCORDANCE WITH AS2870 ARE USED FOR THE STANDARDISED FOOTING DESIGNS AS FOLLOWS:-

- STIFF CLAY CONFORMING TO AS2870 CLASS M.  
MINIMUM SAFE BEARING CAPACITY - 100 kPa.  
SHAFT ADHESION - 20 kPa
- DENSE SAND CONFORMING TO AS2870 CLASS A/S.  
MINIMUM SAFE BEARING CAPACITY - 100 kPa.
- A SITE SPECIFIC GEOTECHNICAL INVESTIGATION IS RECOMMENDED & IF CONDITIONS OTHER THAN ASSUMED ARE ENCOUNTERED A DIFFERENT FOOTING DESIGN MAY BE REQUIRED & SHOULD BE REFERED TO A QUALIFIED LOCAL ENGINEER.
- ALL FOOTINGS TO BE FOUNDED IN NATURAL GROUND.
- NO FOOTING TO BE FOUNDED ON FILL MATERIAL.
- REFERENCE SHOULD BE MADE TO CSIRO PUBLICATION 10.91 GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE & FOOTING PERFORMANCE

#### MINIMUM SITE PREPARATION

- STRIP SITE OF ALL TOP SOIL & DISCARD TO SPOIL. THE EXPOSED SURFACE TO BE PROOF ROLLED & AREAS REMAINING SOFT OR SPONGY ARE TO BE EXCAVATED TO SPOIL.
- PLACE APPROVED GRANULAR FILL MATERIAL TO THE REQUIRED BUILDING PLATFORM LEVEL IN LAYERS NOT EXCEEDING 200mm AND COMPACT BY ROLLING WITH SUITABLE EQUIPMENT TO ACHIEVE A DRY DENSITY RATIO OF 98% STANDARD COMPACTION TO AS1289 - E1.1 AT OPTIMUM MOISTURE CONTENT. THE TOP 200mm TO BE COMPACTED TO 100% STANDARD DRY DENSITY.
- THE COMPACTION OF ALL FILL MATERIAL TO BE INSPECTED AND APPROVED BY A RESPONSIBLE GEOTECHNICAL CONSULTANT.

#### CONCRETE REINFORCEMENT

- REINFORCEMENT IS REPRESENTED DIAGRAMATICALLY & NOT NECESSARILY IN TRUE PROJECTION.
- REINFORCEMENT NOTATION:-  
N DENOTES HOT ROLLED DEFORMED BAR.  
SL DENOTES HARD DRAWN WELDED WIRE FABRIC. THE NUMBER IMMEDIATELY FOLLOWING BAR NOTATION IS THE NOMINAL DIAMETER IN mm.
- PROVIDE BAR SUPPORTS OR SPACERS TO GIVE THE FOLLOWING COVER TO ALL REINFORCEMENT UNLESS NOTED OTHERWISE.  
FOOTINGS 80 BOTTOM, 65 TOP & SIDES  
SLABS 30 BOTTOM, 20 TOP  
BEAMS 40 BOTTOM & SIDES TO STIRRUPS. TOP COVER AS DETAILED
- PROVIDE 2N12 DIAGONAL CORNER BARS 900 LONG AT ALL RE-ENTRANT CORNERS OF OPENINGS IN SLABS AND THESE BARS TO BE POSITIONED 30mm FROM THE CORNER.

#### CONCRETE SPECIFICATION

- CARRY OUT ALL WORK IN ACCORDANCE WITH THE CURRENT ISSUE OF AS3600 & THE SPECIFICATION.
- CONCRETE SIZES SHOWN DO NOT INCLUDE FINISH & MUST NOT BE REDUCED OR HOLED IN ANY WAY WITHOUT THE ENGINEERS APPROVAL. DEPTH OF BEAMS INCLUDE SLAB THICKNESS.
- SLABS & BEAMS ARE TO BE POURED TOGETHER.
- CONSOLIDATE BY VIBRATION.
- SLAB CONCRETE TO BE AS SHOWN IN SLAB ON GRADE CRITERIA.
- BORED PIER CONCRETE SHALL HAVE  $F_c = 25$  MPa, MAXIMUM AGGREGATE SIZE = 20 mm, SLUMP = 100 mm, EXCEPT FOR BCA CLASSES 2 TO 9 BUILDINGS CONCRETE SHALL HAVE  $F_c = 32$  MPa.

#### SLABS ON GRADE

- SLABS TO BE PLACED OVER 25 CONSOLIDATED SAND OVER PREPARED SUBGRADE.
- PROVIDE 0.2 POLYTHENE FORTICON WATERPROOF MEMBRANE UNDER ALL SLABS WITH LAPPED & TAPED JOINTS.
- PLACE PUMP MIX CONCRETE AS SPECIFIED BELOW TO ACCURATE LEVELS AS PER ARCHITECTS SPECIFICATION.
- PROVIDE CONTROL JOINTS AS INDICATED BY NEATLY SAW CUTTING 40 x 6 GROOVES WITHIN 12 HOURS OF THE FINAL FLOAT OF THE CONCRETE.
- CURE SLAB FOR 7 DAYS AFTER PLACEMENT BY MAINTAINING A CONTINUOUSLY WET SURFACE BY APPROVED METHODS. FLOODING & COVERING WITH POLYTHENE IMMEDIATELY AFTER FINISHING IS AN APPROVED METHOD.
- SEALING OF JOINTS TO BE CARRIED OUT ONE MONTH MINIMUM AFTER CURING IS COMPLETE.
- PROVIDE PROPER STORMWATER DRAINAGE AWAY FROM THE BUILDING.

#### SLAB ON GRADE CRITERIA

CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS (MPa)	25
FLEXURAL STRENGTH AT 90 DAYS (MPa)	5
SLUMP (mm)	100
AGGREGATE MAXIMUM SIZE (MM)	20
CEMENT TYPE	SL
CEMENT CONTENT (kg/cubic metre) MIN	320
FLY ASH CONTENT (kg/cubic metre) MAX	70
WATER / CEMENT RATIO (MAX)	0.45
MICROSTRAIN AT 56 DAYS	600
FLOOR FINISH - BURNISHED STEEL TROWEL	NON SLIP
FLOOR TOLERANCE	CLASS B

- FOR OTHER LOAD CONDITIONS A DESIGN VARIATION IS REQUIRED & SHOULD BE REFERED TO A QUALIFIED LOCAL ENGINEER.

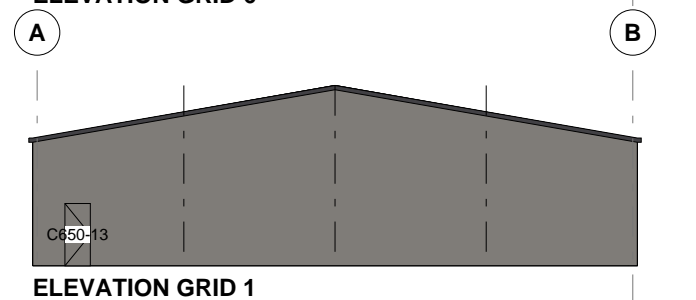
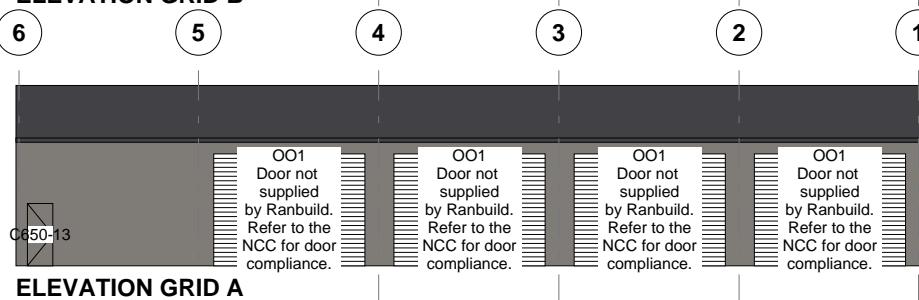
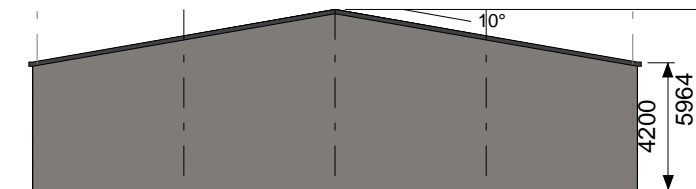
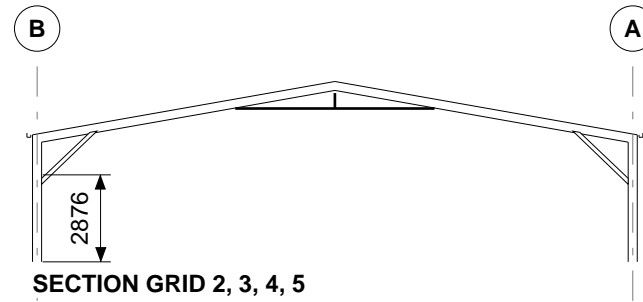
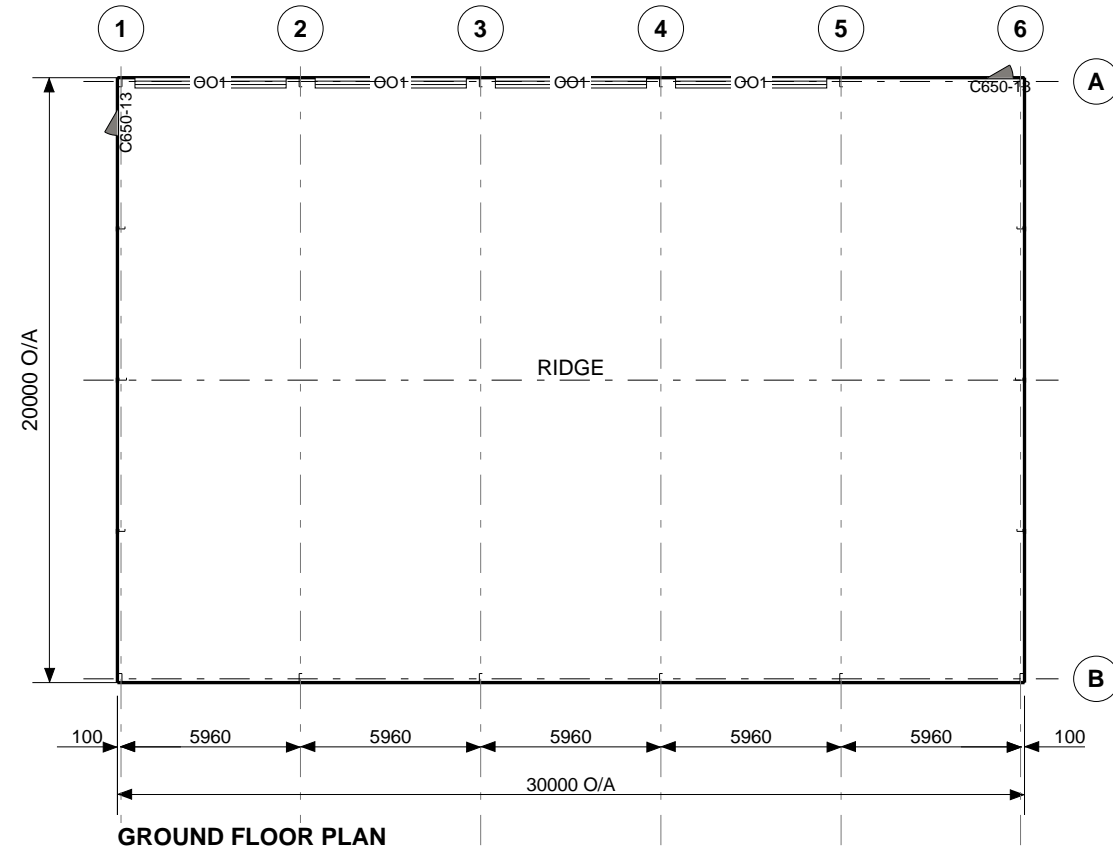
**CLADDING**

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	TRIMDEK 0.42 BMT	CB	MO
WALLS	TRIMDEK 0.42 BMT	CB	WB
CORNERS	-	CB	WB
BARGE	-	CB	MO
GUTTER	SHEERLINE	CB	MO

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

**ACCESSORY SCHEDULE & LEGEND**

QTY	MARK	DESCRIPTION
2	C650-13	Larnec Door & Frame Kit, 650/37, Std. 2040 x 820 C/Bond
4	OO1	Roller Door opening, 3700 high x 5000 wide. Roller Door must be fitted, refer to the NCC for door compliance.



ARCHITECTURAL DRAWING ONLY, FOR BUILDING PERMIT STAGE

CLIENT  
**Jackson Goold**

SITE  
**95 Thorack Road  
KNUCKEY LAGOON NT 0828**

BUILDING  
**COVERMASTER (CEE)  
20000 SPAN x 4200 EAVE x 30000 LONG**

ACCREDITED PRACTITIONER  
**Richard Wardrop  
354865ES  
Level 2, 1 Southbank Boulevard Southbank  
VIC 3006  
03 9982 4639  
24/04/2024**

TITLE  
**GENERAL ARRANGEMENT**

SCALE A3 SHEET 1:250	DRAWING NUMBER <b>430559-GA</b>	REV <b>A</b>	PAGE <b>8/8</b>
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# Certificate of compliance

## Structural - design

Section 40 Building Act 1993

Mark N/A to any part that does not apply

Property/Project Details									
<b>Building permit number</b> (if known)				<b>Project reference</b>					
<b>Location code</b>		<b>LTO number</b>		<b>Lot number</b>					
<b>Address</b>	95 Thorack Road KNUCKEY LAGOON								
<b>Description of works</b> (Include all relevant details such as number of storeys, intended use etc)	Steel frame, Footings and Slab								
Documents Attached									
<b>Drawing Numbers</b>	ENG1/1-430559, ENG2/1-430559, ENG3/1-430559, ENG3/2-430559, ENG4/1-430559, ENG4/2-430559, ENG5/1-430559, 430559-GA								
<b>Other</b>									
Design Basis									
<b>List all relevant standards and design considerations used in design.</b> (NCC 2022 Schedule 2)									
AS1170.0 1:2002, 2:2021, 4:2007; AS4100:2020 ; AS4600:2018; AS3600:2018; AS2870:2011									
<b>Class of building</b> (NCC)	10a			<b>Is an Independent Third Party Review required?</b> (Building Regulation 15AA)	No				
<b>Type of Construction</b> (NCC 2022 Table C2D2)	N/A			<b>Building Importance Level</b> (NCC 2022 Table B1D3a)	2				
<b>Does the design contain a performance solution/s)?</b> NCC 2022 A2G2 Note: The performance-based design brief must accompany this certificate					No				
<b>Annual Probability of Exceedance for Wind</b> (NCC 2022 Table B1D3b)				1 in 500					
<b>Wind Region</b> (AS/NZS1170.2:2021)	C			<b>Region gust wind speed <math>V_R</math>(m/s)</b>	63.9				
<b>Terrain category</b>	2.5			<b>Reference height (m)</b>	5.082				
<b><math>M_{z\ cat}</math></b>	0.871	<b><math>M_s</math></b>	1.0	<b><math>M_t</math></b>	1.0	<b><math>M_c</math></b>	1.05	<b><math>M_d</math></b>	0.9
<b>Design Wind Speed at reference height <math>V_{des\theta}</math> (m/s)</b>				52.6					

Certificate of compliance

<b>Internal pressure coefficients (C<sub>p,i</sub>)</b> Provide justification in comments section below for the use of other than full internal pressures in Regions B2 and C.	Enclosed: 0.0, -0.3
<b>External pressure coefficients (C<sub>p,e</sub>)</b>	<b>Walls</b> Winward walls: +0.7; Leeward wall: -0.3 Side walls: variable from -0.65 to -0.2
	<b>Roof</b> Roof pitch ? = 0° : variable from -1.3 to +0.2 Roof pitch ? = 10° : variable from -1.3 to -0.3
<b>Net pressure coefficients (C<sub>p,n</sub>)</b> (AS/NZS1170.2 Appendix B)	<b>Roof / Walls</b>
<b>Imposed Loads, kPa</b> (AS/NZS1170.1)	<b>Floor / Roof</b> Floor = 5kPa, Roof = 0.25kPa
<b>Earthquake design category</b> EDC (table 2.1 of AS/NZS1170.4)	N/A
<b>Hazard design factor (Z)</b> (AS/NZS1170.4 Section 3)	N/A
<b>Class of sub-soil</b> (AS/NZS1170.4 Section 4)	N/A
<b>Annual Probability of Exceedance for Earthquake Actions</b> (NCC2022 Table B1D3b)	1 in 500
<b>Design Bearing Capacity kPa</b>	100
<b>Site classification</b> (AS2870)	Sand (Class A, S)

**Comments / Exclusions** (Exclusions to the certificate must be clearly identified)

Modifications as below:  
 C1 - Column Main 2 @ C35030  
 C3 - Column - E/W, PARTITION 2 @ C20019  
 C3a - 2 @ C25019  
 R1 - RAFTER MAIN - 2 @ C30030  
 KB - KNEE BRACE - 2 @ C20024  
 RT - RAFETR TIE - 2 @ C15024  
 DM1 - MULLION ROLLER DOOR - C15024  
 P1 - PURLIN PERIPHERY - C20024  
 P2 - PURLIN INTERNAL - C20019  
 P3 - PURLIN - END - C20024  
 EG1 - GIRT END WALL ZONE - C20024  
 EG2 - GIRT END WALL ZONE - C20024  
 SG1 - SIDE WALL ZONE - C20024  
 SG2 - SIDE WALL ZONE - C20024

**Comments**


Ranbuild Ref Number: 430559

Modifications as below:  
 C1 - Column Main 2 @ C35030  
 C3 - Column - E/W, PARTITION 2 @ C20019  
 C3a - 2 @ C25019  
 R1 - RAFTER MAIN - 2 @ C30030  
 KB - KNEE BRACE - 2 @ C20024  
 RT - RAFETR TIE - 2 @ C15024  
 DM1 - MULLION ROLLER DOOR - C15024  
 P1 - PURLIN PERIPHERY - C20024  
 P2 - PURLIN INTERNAL - C20019  
 P3 - PURLIN - END - C20024  
 EG1 - GIRT END WALL ZONE - C20024  
 EG2 - GIRT END WALL ZONE - C20024  
 SG1 - SIDE WALL ZONE - C20024  
 SG2 - SIDE WALL ZONE - C20024

**Certification by structural engineer**

## Certificate of compliance

I certify that reasonable care has been taken to ensure that structural engineering aspects of the works described above have been designed in accordance with the requirements of the Northern Territory *Building Act and Regulations 1993*.

<b>Signature</b>		<b>Date</b>	24/04/2024
<b>Name / nominee<sup>1</sup></b>	Richard Wardrop	<b>Individual NT BPB registration number</b>	354865ES
<b>Registered company name</b> (if certification is on behalf of a registered company)	ARP Consulting Engineers		
<b>Company NT BPB registration number</b>	N/A		

<sup>1</sup> Name and registration number of nominee signing on behalf of the company or if no registered company, the name of registered individual issuing certification.

## Further information

Contact Building Advisory Services on 08 8999 8985 or email [bas@nt.gov.au](mailto:bas@nt.gov.au)

Certificate of compliance

**Schedule of structural inspections required**

- 1) Inspections are required to be carried out by either the certifying engineer or the building certifier who issued the building permit for the work. (If no inspections are indicated refer to the certifying engineer for advice).
- 2) Where works are prescribed building works under the *Building Act 1993*, the building certifier must be provided with a copy of the inspection record and no further works must be carried out by the builder until the building certifier issues a release to proceed with further works.
- 3) Additional non-structural inspections may be required during the course of construction before the issue of an occupancy permit (refer to building certifier for requirements).
- 4) Failure to obtain inspections may prevent the issue of an occupancy permit upon completion of the building works.

**Schedule of structural inspections for works covered by this certificate**

Completion of site preparation/site filling/excavations for footings prior to placement of any reinforcement or concrete.	Yes / No
Completion of preparations for placing of concrete strip footings including placement of reinforcement.	Yes / No
Completion of preparations for placing concrete slabs including compaction of fill and sand blinding, placement of formwork, reinforcement, starter bars and cast in items.	Yes / No
Completion of preparations for placing of concrete pier footings including reinforcement (if any).	Yes / No
Starter bars and cast in items after placing of concrete and prior to any covering up work.	Yes / No
Reinforcement to walls completed prior to core filling (inspection holes and cleanout cores to be completed).	Yes / No
Structural steelwork and cold formed steelwork completed and prior to any covering up work. Floor framing system completed before floors are laid or underside is lined.	Yes / No
Suspended concrete floor slabs with formwork, reinforcement and cast in items completed, prior to placing of concrete.	Yes / No
Wall framing or blockwork wall core filling completed (with windows fixed in place) and roof framing with connections completed and prior to sheeting or lining.	Yes / No
<ul style="list-style-type: none"> <li>• Prior lodgement of truss manufacturer's drawings, details and certification required</li> </ul>	Yes / No
<ul style="list-style-type: none"> <li>• Prior lodgement of windows manufacturer's drawings including fixings and certification required</li> </ul>	Yes / No
Structural wall linings completed and prior to any covering up work.	Yes / No
Final inspection upon completion of all structural work including fixings of external roof and wall claddings, flashings, barges and vents.	Yes / No
Other inspections	Yes / No
If other, please specify	

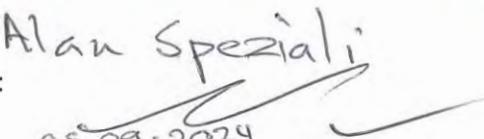


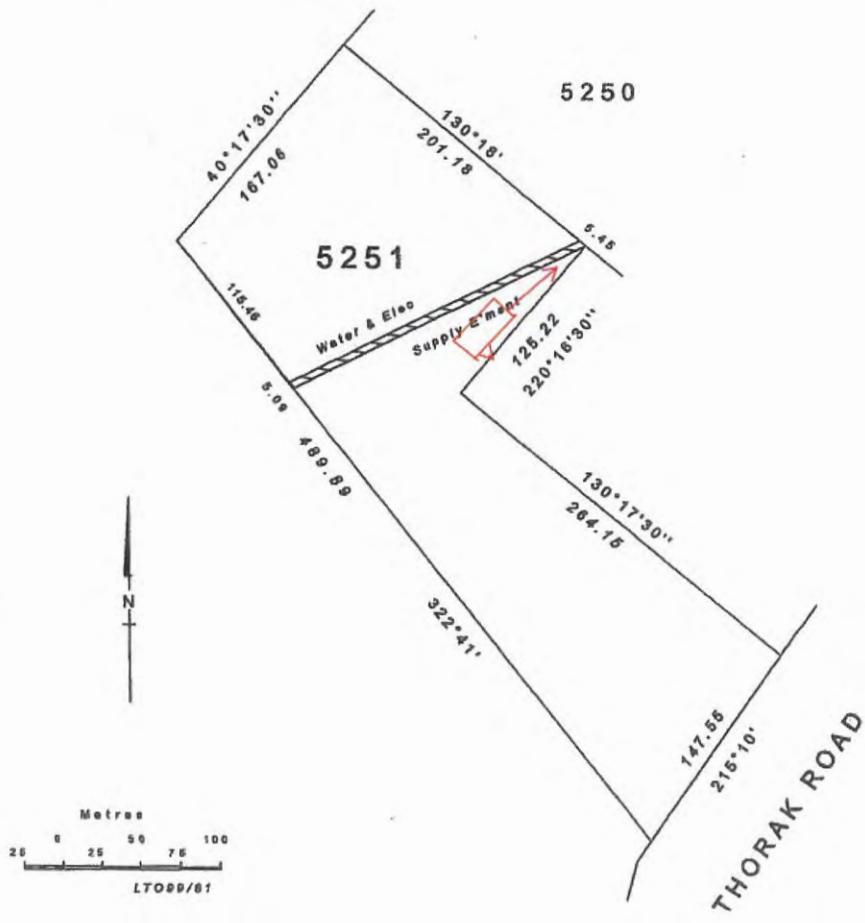
Attention: DIPL Planning

I, Alan Speziali, of 115 Thorak Road (Lot 1314), Knuckey Lagoon NT authorise Jackson Goid, of 95 Thorak Road, Knuckey Lagoon NT, to construct a shed (20 metres x 30 metres) two metres from the boundary line in accordance with the below map/drawing.

I acknowledge the minimum building setback requirements as detailed in the table below however, I am willing to support a variation from these standards.

Table D to Clause 5.4.3: Minimum building setbacks for residential buildings and ancillary structures in Zones RR, RL, R, H and A	
Lot Boundary	Minimum Setback
Primary street frontage	10m or 7.5m for lots less than 1ha in Zones RR and RL
Secondary street frontage	10m or 5m for lots less than 1ha in Zones RR and RL
Side and rear lot boundaries	10m or 5m for lots less than 1ha in Zones RR and RL

Name: Alan Speziali  
Signature:   
Date: 05.09.2024  
Contact: 0421 165 670





# Technical Assessment PA2024/0266

## TECHNICAL ASSESSMENT OF PROPOSED DEVELOPMENT AGAINST RELEVANT PROVISIONS OF THE NORTHERN TERRITORY PLANNING SCHEME 2020

Application No: PA2024/0266  
Lot number: Lot 5251 (95 Thorak Road, Knuckey Lagoon)  
Town/Hundred: Hundred of Bagot  
Zone: R (Rural)  
Site Area: 69300m<sup>2</sup>  
Proposal: Outbuilding (Shed) addition to an existing dwelling – single with a reduced building setback to the side boundary.  
Plans used for assessment: Various, prepared by applicant  
Date assessment finalised: 22 November 2024

The proposed development requires consent under the Northern Territory Planning Scheme 2020, as it is in Zone R (Rural) and has become *Merit Assessable* under Clause 1.8(1)(b)(ii)(2) of the Planning Scheme due to non-compliance with Part 5 (Specific Development Requirements). The relevant clauses are assessed in the summary below with any identified non-compliances addressed overleaf.

Clause (General Requirements)	Compliance	
	Yes	No
5.2.1 (General Height Control)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5.2.4 (Car Parking)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5.2.6.1 (Landscaping in Zones other than Zone CB)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Clause (Specific Development Requirements)	Compliance	
	Yes	No
5.4.1 (Residential Density)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5.4.3 (Building Setbacks of Residential Buildings and Ancillary Structures)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.4.6 (Private Open Space)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Clause (Overlays)	Applies	
	Yes	No
3.2 (Clearing of Native Vegetation)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.5 (Land in Proximity to Airports)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

*This is a technical assessment of the proposal against the requirements of the Northern Territory Planning Scheme 2020 and is no indication of whether or not approval will be given by the consent authority. It is noted that clause 1.10(2) provides for the consent authority to exercise discretion in making a decision on a development in particular circumstances.*

## 5.4.3 Building Setbacks for Residential Buildings and Ancillary Structures

### 5.4.3 Building Setbacks of Residential Buildings and Ancillary Structures

#### Purpose

Ensure that **residential buildings** and **ancillary** structures are located in a manner that:

- (a) is compatible with the streetscape and surrounding development including **residential buildings** on the same **site**;
- (b) minimises adverse effects of building massing when viewed from adjoining land and the street;
- (c) avoids undue overlooking of adjoining properties; and
- (d) facilitates breeze penetration through and between buildings.

#### Administration

1. The consent authority may **consent** to a development that is not in accordance with sub-clause 5 only if it is satisfied that the reduced setback is consistent with the purpose of this clause and the zone purpose and outcomes, and it is appropriate to the **site** having regard to such matters as its location, scale and impact on adjoining and nearby property.
2. In this clause:
  - (a) an **ancillary** structure includes an **outbuilding**, verandah, balcony, shade sail and the like, which may or may not include external walls; and
  - (b) where a lot has a boundary with a public street from which vehicular **access** to the lot is restricted by the controlling Agency or local authority, this boundary shall be considered a side or rear lot boundary for the purpose of calculation of the **building setback**.
3. This clause does not apply in Zones CB, C, LI, GI and DV.
4. Despite subclause 5 a shed in Zones other than H, A, RR, RL and R may have a nil setback to the side and rear boundaries provided it is
  - (a) 6m or more from the **primary street** and 2.5m or more from a **secondary street** when measured to the wall of the shed or where there is no wall, the outer face of any column;
  - (b) has a cumulative **floor area** of 15m<sup>2</sup> or less;
  - (c) is 2.5m or less in height;
  - (d) has no openings in walls that are less than 1.5m from a lot or unit title; and
  - (e) does not discharge rainwater on an adjacent lot or unit title.

#### Requirements

5. Subject to clause 5.2.7, **residential buildings** and **ancillary** structures are to be setback from lot boundaries in accordance with table A or B (as the case requires) to this clause noting that no part of the roof structure, including gutters and eaves, is to encroach more than 0.9m into the minimum **building setbacks** (subject to the Building Code of Australia) from the lot boundaries.

#### Requirements

6. Subject to clause 5.2.7, **building setbacks** of **residential buildings** and **ancillary** structures are to be set back from lot boundaries in accordance with:
  - (a) the relevant table to this clause, noting that no part of the roof structure, including gutters and eaves, is to encroach more than 0.9m into the minimum **building setbacks** (subject to the Building Code of Australia) from the lot boundaries; or
  - (b) any setbacks established in a building setback plan that is included in Schedule 9.
7. Where a zero or 300mm setback is identified on a building setback plan in Schedule 9, a zero or 300mm setback can only be established to the boundary nominated on the setback plan.
8. Unless detailed in a table to this clause or within a building setback plan in Schedule 9, no part of the roof structure, including gutters and eaves, is to encroach more than 0.9m into the minimum **building setbacks** (subject to the Building Code of Australia) from the lot boundaries.



Table B to Clause 5.4.3: Minimum building setbacks for residential buildings and ancillary structures in Zones RR, RL, R, H and A	
Lot Boundary	Minimum Setback
Primary street frontage	10m <u>or</u> 7.5m for lots less than 1ha in Zones RR and RL
Secondary street frontage	10m <u>or</u> 5m for lots less than 1ha in Zones RR and RL
Side and rear lot boundaries	10m <u>or</u> 5m for lots less than 1ha in Zones RR and RL

With a site area of 6.9 hectares, any proposed outbuildings must be setback 10m from side and rear boundaries. The proposed outbuilding has a 2m setback.

**DOES NOT COMPLY**

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9 October 2024

Development Assessment Services  
Department of Lands, Planning and Environment  
GPO Box 1680  
Darwin NT 0801

**RE: Letter of Comment Development Application**

**PA2024/0266**

**Hun: 055 P: 05251 95 Thorak Road KNUCKEY LAGOON, Hundred of Bagot  
Outbuilding (shed) addition to an existing dwelling-single with a reduced building setback to  
the side boundary**

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Thank you for the Development Application referred to this office on 13/09/2024, concerning the above. This letter may be tabled at Litchfield Council's next Council Meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

**Council wishes to lodge the following submission under Section 49(3) of the NT *Planning Act*, in which Council objects to the granting of a Development Permit for the following reasons:**

- a) In the first instance, the proposed reduced setback of the 'shed' does not appear to comply with the *Fire and Emergency Act 1996* in respect to Firebreaks and the provision of a 4 metre firebreak around the property boundary.
- b) In addition, despite the letter of support obtained from the neighbouring resident, Council has concerns with the impact on visual amenity that a 'shed' of this size poses on the neighbouring property.
- c) Further to this, Council also has concerns in relation to the discharge of stormwater onto the neighbouring property which has not been addressed with the provided engineering documents.
- d) The application also does not address Part 3.5 of the *Planning Scheme 2020* in relation to Land in Proximity to Airports.

**Should the application be approved, the Council requests the following condition(s) be included as Condition(s) Precedent in any Development Permit issued by the consent authority:**

- a) Prior to the endorsement of plans and prior to the commencement of works, a schematic plan demonstrating the on-site collection of stormwater and its discharge into Litchfield Council's stormwater drainage system shall be submitted to and approved by Litchfield Council.

**Should the application be approved, the following condition(s) pursuant to the *Planning Act* and Council's responsibility under the *Local Government Act* are also recommended for inclusion in any Development Permit issued by the consent authority:**

- a) The owner shall collect stormwater and discharge it to the drainage network, to the technical requirements and satisfaction of Litchfield Council, at no cost to Litchfield Council.
- b) Any developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of Litchfield Council.

**Should the application be approved, the following notes are recommended for inclusion in any Development Permit issued by the consent authority:**

- a) Litchfield Council's current Fees and Charges may apply to the above conditions. Additional information can be found at [www.litchfield.nt.gov.au](http://www.litchfield.nt.gov.au).
- b) A *Works Permit* is required from Litchfield Council before commencement of any work within the road reserve, which would include creation of any driveway crossover connecting to Litchfield Council's road network.
- c) Notwithstanding any approved plans, signs within Litchfield Council's municipal boundaries are subject to approval under Interim Development Control Order 29.

If you require any further discussion in relation to this application, please contact Litchfield Council on 08 8983 0600.

Kind Regards,



Jaimie O'Connor  
Planning & Development Program Leader

Phone 1800 245 092  
Web powerwater.com.au

Record No: D2024/352778  
Container No: NE055/5251

Your Ref: PA2024/0266

Lachlan Linkson  
Development Assessment Services  
GPO Box 1680  
Darwin NT 0810

Dear Lachlan

**Re: Section 5251 (95) Thorak Road Knuckey Lagoon**

In response to your letter of the above proposal for the purpose of outbuilding (20m x 30m shed) addition to an existing dwelling-single with a reduced building setback to the side boundary, Power and Water Corporation (PWC) advises the following with reference to electricity enquiries:

1. The landowner (MG Holding Co P/L) shall engage a licensed electrician to install any applicable electrical installations for the proposed shed in accordance with PWC's current NP018 Service and Installation Rules 2024 and NP010-Meter Manual.

If you have any further queries, please contact Andrew Venhuizen, Senior Customer Connections Officer on 8924 5700.

Yours sincerely



Thanh Tang  
**Manager Distribution Development**

16 September 2024





Container No: LD055/5251

DIPL - Development Assessment Services  
GPO Box 1680  
Darwin NT 0801

Dear Lachlan,

**RE: PA2024/0266 - Section 5251 Hundred of Bagot - 95 Thorak Road Knuckey Lagoon – Outbuilding shed addition**

In response to the above proposal for development application purposes, Power and Water Corporation (Water Services) advise the following with reference to water and sewer enquiries:

1. Reticulated sewer services are currently unavailable in the area. The developer must contact relevant authorities to discuss servicing requirements for the proposed development.
2. The developer must ensure that;
  - a) Backflow prevention is installed at the water service in accordance with AS/NZS 3500.1 – Plumbing and Drainage - Water Services
  - b) Where applicable, the device is tested annually in accordance with AS/NZS 2845.3 field testing and maintenance of testable devices.

Our database shows a device **is installed and is overdue for testing.**

Visit <https://www.powerwater.com.au/developers/water-development/backflow-prevention> or contact [BackflowPrevention.PWC@powerwater.com.au](mailto:BackflowPrevention.PWC@powerwater.com.au) for all backflow prevention enquires.

3. Power and Water have no objections or requirements for the proposed outbuilding shed additions.

If you have any further queries, please contact the undersigned on 8995 5884, or email [waterdevelopment@powerwater.com.au](mailto:waterdevelopment@powerwater.com.au)

Yours sincerely,

Louise Leyson  
Services Development

3<sup>rd</sup> October 2024

cc: Jackson Goold  
email: [jackson184@hotmail.com](mailto:jackson184@hotmail.com)