

DEVELOPMENT CONSENT AUTHORITY
ALICE SPRINGS DIVISION

NORTHERN TERRITORY PLANNING SCHEME 2020

AGENDA ITEM: **1** MEETING DATE: 10/06/2026 FILE: PA2018/0224

APPLICATION PURPOSE: Variation to Condition 3 of DP18/0256

SUBJECT SITE: Units 10998, 10999, 11000, 11001 and 11002
(Subdivision of Lot 179), (80) Hartley Street, Town of Alice Springs. A locality plan is at **Bookmark A**

ZONE: TC (Tourist Commercial)

SITE AREA: 1840m²

APPLICANT Cunningham Rosse Town Planning and Consulting
Director - Brad Cunningham

PERSONS ON WHOSE BEHALF THE APPLICATION IS MADE Centrecorp Aboriginal Investment Corporation
Chief Executive Office - Randle Walker

LANDOWNER Centrecorp Aboriginal Investment Corporation

ANY PERSON WITH AN AGREEMENT TO ACQUIRE AN INTEREST IN THE LAND None

1. PROPOSAL

The application seeks consent to vary Condition 3 of DP18/0256A to facilitate layout and access changes to the external areas of the site, namely the deletion of the Hartley Street vehicle access and reinstatement of the site layout arrangements approved through DP18/0256 including:

- Removal of Hartley Street vehicle access and reinstate kerbside car parking space.

Proposed variation:

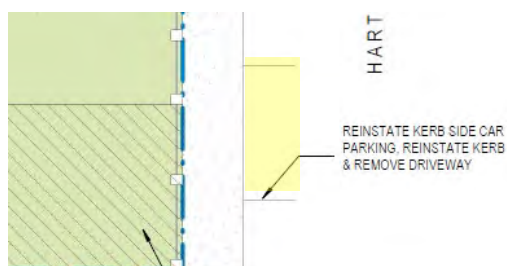


Figure 1 Reinstated kerbside parking in front of lot on Hartley Street (highlighted yellow) - Proposed Site Plan, prepared by Funarchi, 25/03/2026

DP18/0256A:

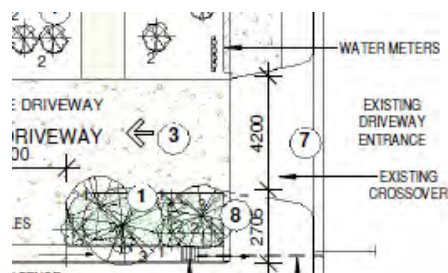


Figure 2 DP18/0256A – Crossover - Endorsed Drawing No. PA2018/0224/A1

DP18/0256:

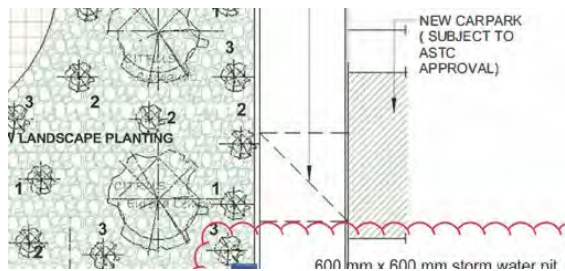


Figure 3 New kerbside parking - DP18/0256 - Endorsed Drawing No. PA2018/0224/02

- Two-way driveway from rear laneway.

Proposed variation:

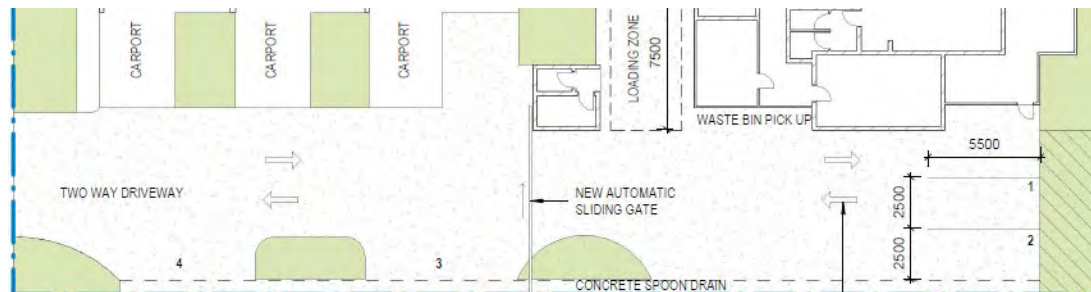


Figure 4 Reinstate two-way driveway - Proposed Site Plan, prepared by Funarchi, 25/03/2026

DP18/0256A:

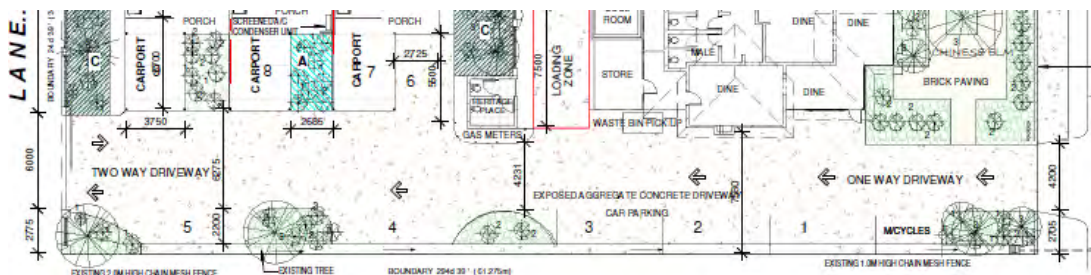


Figure 5 DP18/0256A - Endorsed Drawing No. PA2018/0224/A1

DP18/0256:

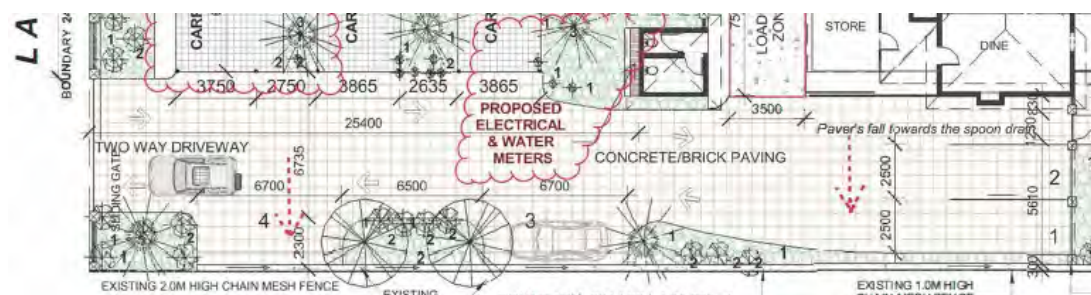


Figure 6 Two-way driveway - DP18/0256 - Endorsed Drawing No. PA2018/0224/02

- Landscaping to the southern boundary in place of driveway- Hartley Street frontage

Proposed variation:

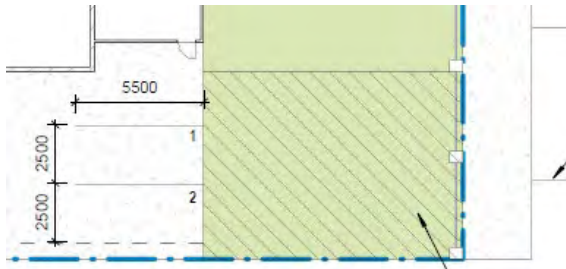


Figure 7 Landscaping to southern boundary of lot in place of driveway to Hartley Street – Proposed Site Plan, prepared by Funarchi, 25/03/2026

DP18/0256A:

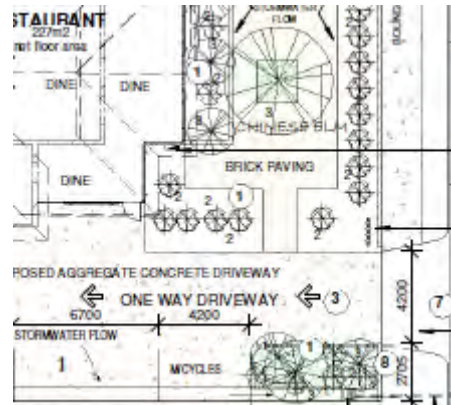


Figure 8 DP18/0256A – Removal of landscaping - Endorsed Drawing No. PA2018/0224/A1

DP18/0256:

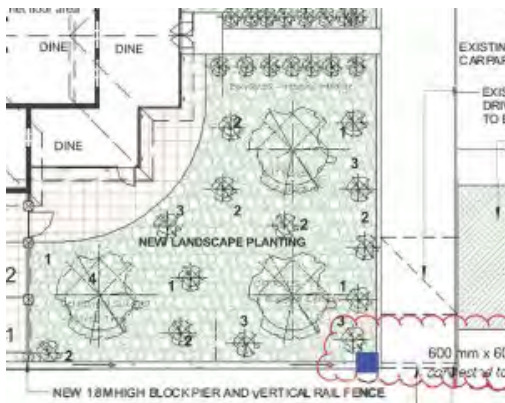


Figure 9 DP18/0256 – Landscaping - Endorsed Drawing No. PA2018/0224/02

- Reinstate car parking spaces 1 and 2 located at the Hartley Street end of the internal driveway.

Proposed variation:

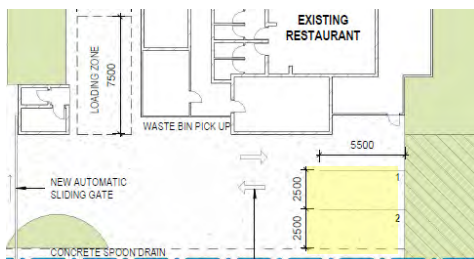


Figure 10 Proposed removal of Hartley Street access and reinstatement of 2 right angle parking spaces (highlight yellow), Proposed Site Plan, prepared by Funarchi, 25/03/2026

DP18/0256A:

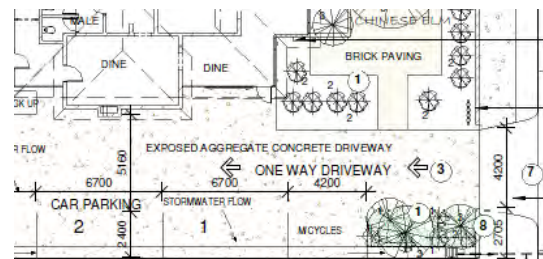


Figure 11 DP18/0256A – One way access point from Hartley Street - Endorsed Drawing No. PA2018/0224/A1

DP18/0256:

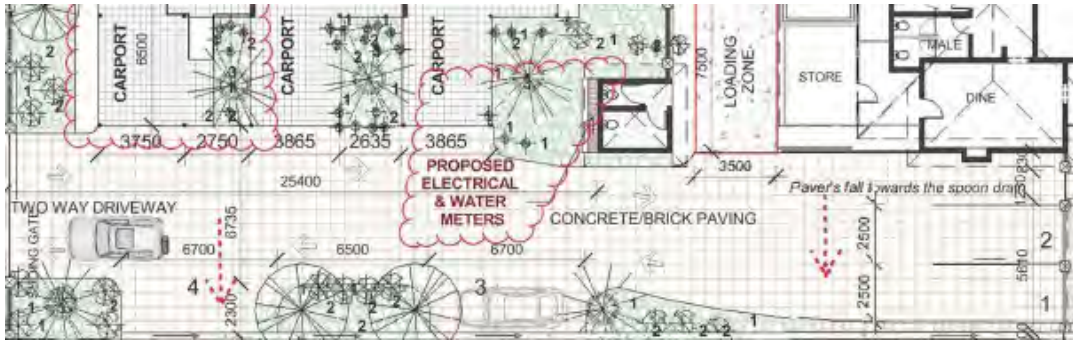


Figure 15 4 onsite car parking spaces (associated with restaurant) + 3 spaces for serviced apartments - DP18/0256 - Endorsed Drawing No. PA2018/0224/02

Elements of the layout approved through DP18/0256A that will remain per existing are as follows:

- Garden bed and driveway layout west of the existing loading zone.

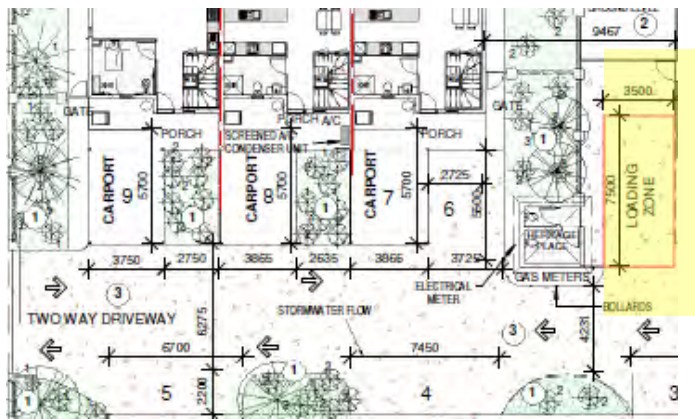


Figure 16 Garden bed and driveway, west of existing loading zone (highlighted yellow)- Endorsed Drawing No. PA2018/0224/A1

- Built form and site servicing arrangements.

Proposed changes that vary both DP18/0256 and DP18/0256A approved layouts include:

- Automatic sliding gate across the driveway between unit 3 and the freestanding amenities block.

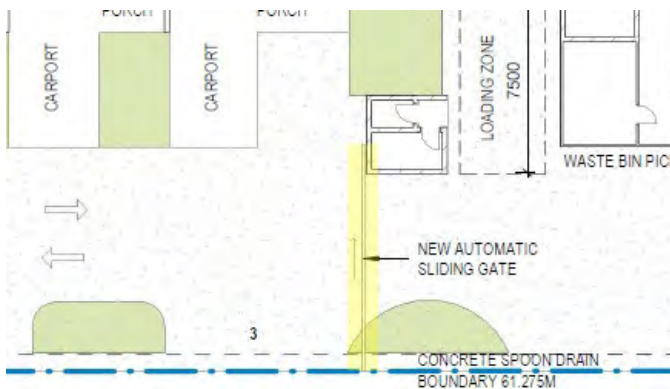


Figure 17 Proposed Automatic sliding gate (highlighted yellow) – Proposed Site Plan, prepared by Funarchi, 25/03/2026

- Demolish concrete block wall and reinstate heritage concrete post and wire fence to Hartley Street.
- Increase length of driveway to that approved through DP18/0256. This would result in a reduction to landscaping approved under DP18/0256, however would be an increase to the reduction approved under DP18/0256A, which accommodated vehicle access from Hartley Street (See Fig.7 and 9).

The proposed works are retrospective, albeit the Hartley Street car park line-marking and removal of the crossover.

The application notes that the proposed works support the reinstatement of heritage features to the heritage building façade, landscaping and fencing on Unit 10998. Further, that the changes will contribute to the Alice Springs Heritage Precinct, of which the site is part of.

The application states that the internal refurbishment of the heritage building on Unit 10998 from 'Food Premises Restaurant' to 'Office', will be subject to a separate development application.

A copy of the application is at **Bookmark B (B01 – B03)**.

A copy of the proposed variation is at **Bookmark B01 - Att. D**

2. REASON FOR APPLICATION

Pursuant to Section 57(1) of the *Planning Act 1999* (the Act), Mr Brad Cunnington of Cunnington Rosse Town Planning and Consulting has been authorised by the landowner, Centrecorp Aboriginal Investment Corporation to seek planning consent to vary Condition 3 of development permit DP18/0256A.

3. ASSESSMENT SYNOPSIS

This report concludes that the Authority should approve the variation application subject to conditions on the development permit.

4. BACKGROUND

The site is within the Alice Springs Heritage Precinct and is a declared heritage place under the *Heritage Act 2011* (Heritage Act). Telegraph Terrace, Stott Terrace, Gap Road and Simpson Street border the Heritage Precinct.

The original building on site (formally used as a Chinese restaurant), fronting Hartley Street is a BCG Burnett designed house, constructed in 1939 (see Fig. 18). Key characteristics of this era included wide allotments, fenced with precast concrete posts and wire, and buildings that incorporated arid zone design principles, such as large, enclosed verandahs.



Figure 18 80 Hartley Street, showing completed reinstatement works, Site visit - Planning Officer, captured 2 April 2026.

In 2014, a delegate of the Development Consent Authority approved to issue Development Permit DP14/0434 to allow the construction of 2 x 2 bedroom multiple dwellings in a single storey building. Works did not proceed and the permit lapsed.

On 21 July 2018, the Alice Springs Division of the Development Consent Authority (DCA) issued Development Permit DP18/0256 (**Bookmark B01 – Att. A2**) for the purpose of 3 x 2 Bedroom multiple dwellings (serviced apartments) in a two storey building and alterations to an existing restaurant. Condition Precedents 1 and 2 were met with the endorsement of drawings on 17 October 2018 (**Bookmark B01 – Att. A3**).

On 28 June 2021, the DCA issued a Variation of Conditions Permit DP18/0256A, approving changes to the car parking layout, addition of 2 garden sheds to the existing restaurant development and addition of air-conditioner units to the existing dwelling-multiple (serviced apartments) (**Bookmark B01 – Att. B1 and B2**). The variation application was lodged after it was found that the development had not been constructed *generally in accordance* with endorsed plans issued for DP18/0256.

On 27 January 2022, a Certificate of Compliance for DP18/0256, as varied through DP18/0256A was issued in full, pursuant to section 65(3) of the Act.

On 30 August 2022, the DCA issued Development Permit DP21/0238 for the purpose of a Unit Title Scheme to subdivide Lot 179 to create 4 units and common property as follows:

- Unit 10998 – Declared heritage building (restaurant)
- Units 10999, 11000 and 11001 – Serviced apartments x 3
- Unit 11002 – Common Property

On 26 July 2022, a Certification of Compliance with DP21/0238 (Subdivision) was approved, pursuant to section 62(1)(b)(i) of the Act.

5. MATTERS TO BE TAKEN INTO ACCOUNT (SECTION 57(3) OF THE PLANNING ACT 1999)

Pursuant to section 57(3) of the *Planning Act 1999* the consent authority must only vary a condition of a development permit if:

- (a) the proposed variation will not materially affect the amenity of adjoining or nearby land or premises; and
- (b) the variation does not authorise a substantive change to the development approved by the development permit.
For subsection (3)(b), a substantive change is:
 - (a) a change that increases non-compliance with a measurable aspect of the development permit by more than 5%; or
 - (b) if the change is not conveniently measurable - a variation that materially changes the character of the development approved by the development permit.

Pursuant to section 57(4), despite subsection (3)(a), a permit must not be varied if it will allow an increase in the number of dwellings capable of separate occupancy.

6. ASSESSMENT

The proposal seeks consent to alter the site layout arrangement approved through DP18/0256A and revert to that approved through DP18/0256, in addition to minor changes, not considered measurable. An assessment of proposed changes is outlined below.

DP18/0256 was approved with the following variations:

Clause 6.5.1 (Vehicle Parking)

- A shortfall of two car parking spaces. A reduction to car parking requirements was considered acceptable, pursuant to Clause 6.5.2A (Reduction in car parking requirements outside Zone CB in Darwin) for the following reasons:
 - The provision of adequate car parking, within walking distance to the site on Hartley Street. In addition to the proposal providing a minimum of one car parking space within the Hartley Street road reserve.
 - The site being a declared heritage place and the proposed design and site layout receiving approved under the Heritage Act.
 - The site having convenient access to public transport (bus stops)
 - The proposed development not expected to generate additional need for parking.

Use	Minimum car parking requirements	Required	Proposed	Compliance
Serviced Apartments	1 for every dwelling <u>plus</u> 3 for every 100m ² of net floor area not within a dwelling	3 serviced units 3	1 per unit – under carport - total of 3	Yes
Restaurant	6 for every 100m ² of net floor area and any alfresco dining areas <u>plus</u> 10 for drive-through (if any) for cars being served or awaiting service	~93m ² (net floor area indoor dining) 5.58 (6)	4	No
TOTAL:		9 spaces	7 spaces	No

Clause 6.5.3 (Parking Layout)

- The use of gravel to parts of the car parking area as an alternative to impervious seal, as required by sub-clause 3(b) of Clause 6.5.3. A variation to this clause was considered acceptable having regard to the declared heritage values of the site.
- The Statement of Effect submitted as part of PA2018/0224 sought a variation to sub-clause 3(b) noting that the surface of the driveway and car parking areas would remain a gravel surface consistent with the guidance contained within the Management Plan for the Heritage Precinct and previous planning approval DP14/0434 for Lot 179 that granted a variation to this Clause. This was reiterated in Development Assessment Services agenda report to the Development Consent Authority (DCA) for its meeting held on 11 July 2018. Contrary to this, amended plans addressing Condition Precedent 1 and endorsed under DP18/0256, showed a change to the driveway from gravel to concrete/brick pavers.

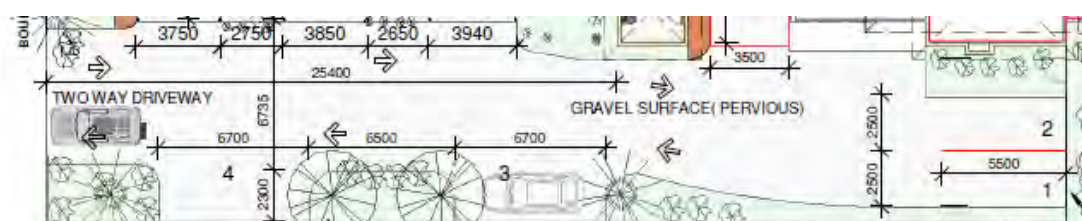


Figure 19 Proposed Plans for PA2018/0224, as reviewed by the Development Consent Authority on 11 July 2018, Drawing No. A02, prepared by Steve Adler Building Design, dated 22/05/2018

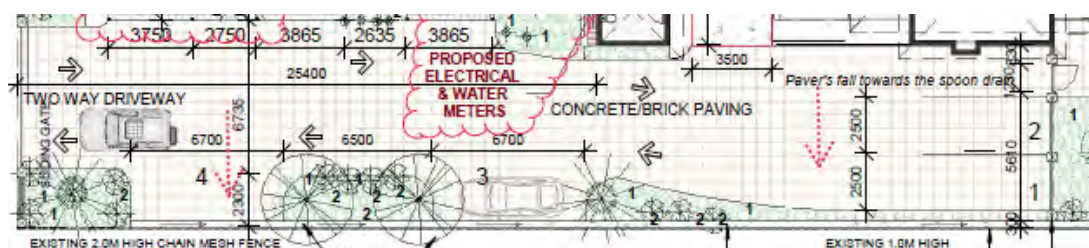


Figure 20 Amended plans addressing Condition Precedent 1, submitted for endorsement and showing changes to driveway surfacing, Drawing No. A02, prepared by Steve Adler Building Design, dated 27/09/2018

Clause 7.5 (Private Open Space)

- A reduction in minimum area dimensions, required by sub-clause 2(a) and reduced permeable area of private open space to support stormwater infiltration, required by sub-clause 2(d) of Clause 7.5. Reasons supporting a variation to this clause are not considered relevant to the current variation.

DP18/0256A granted retrospective approval to vary Condition 3 of DP18/0256 for the purpose of:

- Changes to the approved car parking and car parking layout (driveway)
 - Retention of one-way vehicle access to site from Hartley Street, instead of restricting access to site via laneway to the rear (western boundary).
 - Addition of two car parking spaces to service restaurant
 - Location of restaurant and overflow car parking spaces
 - Inclusion of motorcycle parking bay
 - Revisions to landscaping
- Addition of 2 x 9m² garden sheds, northern side of restaurant (heritage building)
- Increase in private open space area for Unit 3
 - Boundary fence repositioned
- Change to the first-floor layout of dwellings
 - Study deleted – changed to dress/robe with associated changes to doors

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- Endorsement of air-conditioner location details for the multiple dwelling (serviced apartments) development, with all a/c units low-mounted and screened.

The proposed variations, subject of this report do not increase non-compliance approved through DP18/0256 by more than 5% for the following reasons:

Clause 6.5.1 (Vehicle Parking)

- DP18/0256 approved a variation to car parking requirements associated with the restaurant, whereby 6 were required and 4 were provided.
- DP18/0256A increased car parking to the restaurant by providing 2 additional spaces, bringing the proposal into full compliance with Clause 6.5.1.
- While the proposed amendment would result in the removal of the 2 additional spaces approved through DP18/0256A, it would not reduce the minimum number of car parking spaces approved under DP18/0256.

Clause 6.5.3 (Parking Layout)

- Endorsed plans under DP18/0256, approved a concrete/brick paved driveway, contrary to the permit approving a variation allowing for an unsealed driveway to better align with heritage outcomes.
- While DP18/0256A did not seek a variation to the surfacing of the driveway, amended endorsed plans approved an 'exposed aggregate concrete driveway'
- The proposed variation does not alter the existing surfacing of the driveway, car parking spaces, and loading bay which appear to be concrete.

Clause 7.5 (Private Open Space)

- The proposed variations subject of this application does not alter private open space areas to the serviced apartments.

NT Planning Scheme 2020

In addition to the variations approved through the original permit, the following clauses of the NT Planning Scheme 2020 are relevant:

Clause 3.6 (Land Subject to Flooding)

- The proposed changes relate to external features of the site and do not alter compliance with Clause 3.6.

Clause 5.2.4.4 (Layout of car parking areas)

- The proposed car parking layout is generally in accordance with the design approved under DP18/0256 and consistent with the requirements set out under Clause 5.2.4.4.

Clause 5.5.2 (Commercial Plot Ratio)

- Unit 10998 is subject to commercial plot ratio, however no changes, subject of this variation will alter existing floor area.

Clause 5.5.3 (General Building and Site Design)

- Albeit minor differences, the proposed variation is commensurate with the Hartley Street interface approved under DP18/0256 and complies with the requirements of Clause 5.5.3, specifically, is sympathetic to the character of buildings in the immediate vicinity.

Clause 5.9.1 (Alice Springs Town Centre)

- 5.9.1.1 (Building Design in Alice Springs Town Centre) – N/A
- 5.9.1.2 (Volumetric Control) – N/A

- 5.9.1.3 (Active Street Frontages in Alice Springs Town Centre) – Reinstatement of landscaping to Hartley Street frontage supports active street frontage of the site.

Taken together, the proposed changes:

- (a) Will not materially affect the amenity of adjoining properties and nearby land, rather the changes are considered to improve and contribute to the cohesiveness of the heritage streetscape.
- (b) Are not considered to measurably alter what was allowed under both DP18/0256 and DP18/0256A.

The addition of an internal sliding gate and demolition and construction of heritage fencing to Hartley Street frontage is not considered to be conveniently measurable, nor would it materially change the character of the development approved by DP18/0256.

A Condition Precedent is recommended for this application to ensure that all relevant site plan information, unchanged by the current variation is shown, per previously endorsed plans.

The proposal was circulated to the following authorities for comment (**Bookmark C**):

Local Authority:

Alice Springs Town Council – **Bookmark C01**

Council raised the following comments for consideration:

- Council objects to the closure of the Hartley Street vehicle access point to the site, as it would result in the rear laneway functioning as the sole vehicular access to service the development.
- Council notes that it previously objected to the closure of the Hartley Street vehicular access under the original application PA2018/0224, documented in its referral letter dated 12 June 2018.
- In 2025, Council lodged a formal complaint with the Department of Lands Planning and Environment regarding the owner fencing off the driveway on Hartley Street without approval.
- Council does not support the reliance on a public laneway as a primary access, as laneways are intended to provide secondary access, service connectivity and accommodation of essential services infrastructure only.
- Reliance on the laneway as sole access is inconsistent with Council policy and infrastructure planning principles.
- Council cannot guarantee uninterrupted access via the laneway due to periodic maintenance or works by Council or utility providers. This creates a risk of restricted access for residents, waste collection, service vehicles and emergency services.
- Concern regarding swept path compliance and manoeuvrability for emergency and service vehicles accessing site via the laneway.
- Council recommends conditions to be included on any variation permit that may issue, relating to (summarised):
 - The retention of the Hartly Street access
 - Rear access to be used only as a secondary point of access.
 - Manoeuvrability of emergency vehicle access undertaken by a suitably qualified engineer.
 - Requirement of a permit to work within the road reserve.

DAS Comment:

It is acknowledged that reliance on the rear Bath Street laneway for primary access to the site is not consistent with ASTC policy, and this arrangement may increase risk due to their being accommodation on site. Conversely, retaining the Hartley Street crossover would conflict with the Alice Springs Heritage Precinct Conservation Management Plan (2024).

The heritage building on site is one of four surviving AS3 BCG Burnett houses on Hartley Street. Its significance ranking is classified as 'moderate', due to external and internal alterations. The closure of the Hartley Street crossover and reinstatement of the mesh wire and concrete post fencing and landscaping to the front setback, has improved the sites heritage significance and it is now more in keeping with the prevailing character of declared heritage places on Hartley Street, contributing to a largely intact heritage streetscape.

Reliance on rear access to heritage places on Hartley Street is evident at Lots 174, 173, 180, 182 and 183 Town of Alice Springs (See Fig. 21). Further, it is noted that DP18/0256A approved one way access from Hartley Street to Lot 179, however still required the rear of the lot for egress of all vehicles from site. It is considered that the retention of access from Hartley Street would not adequately address Council concerns, where there would remain to be primary reliance on Bath Street Laneway for egress.



Figure 21 Car parking to rear of declared heritage places on Hartley Street, part of Alice Springs Heritage Precinct, Nearmap, captured May 11 2025

Service Authority:

Heritage Branch – Department of Lands Planning and Environment (DLPE) – Bookmark C02

Heritage Branch consider the proposed variation to be consistent with the Heritage Council approval issued on 4 October 2024. The removal of the Hartley Street driveway as part of the proposed variation reflects Heritage Councils approval for restoration of the of the former Burnett designed AS3(reversed) type house within the Alice Springs Heritage Precinct. The removal of the driveway is consistent with Policy 4.5 & 4.6 of the 2024 Conservation Management Plan for the Precinct.

Power and Water Corporation (PWC) – Power – Bookmark C03

PWC – Power do not object to the proposed variation with DP18/0256, noting that their response letter dated 26 June 2018 is unchanged for PA2018/0224.

Power and Water Corporation (PWC) – Water and sewer – Bookmark C04

PWC – Water and sewer do not object to the proposed variation as there is no additional demand on utilities.

Transport and Civil Infrastructure (TCI) – Department of Logistics and Infrastructure – Bookmark C05

TCI do not object in principle to the proposed variation and advise that the management of stormwater run-off from the site shall be to the standards and requirements of the Alice Springs City Council.

7. OTHER MATTERS

Section 37 of the Planning Act 1999 (The Act) (Abandonment of Existing use right) – Chinese Restaurant

According to the Centrecorp Foundation website¹, the Chinese Restaurant (Oriental Gourmet) ceased operation in early 2024 and per S37 of the Act has abandoned existing use rights, whereby a period of more than 12 months has lapsed since it operated. Further, there is no evidence to suggest that the landowner has applied to the Minister to seek an extension to this period.

The proposed variation, subject of this report, is seeking retrospective consent for works undertaken between 2024 and 2025, following the closure of the restaurant. Changes that were undertaken within this period largely related to the reinstatement of internal and external heritage features of the site, in addition, changes to car parking and carparking layout associated with the restaurant (heritage building). At the time of the works, the land would have still retained existing use rights.

However, this cannot be understood as an exception to the rule, whereby the application and any variation permit that may issue will be dated outside the period of the land holding existing use rights for a restaurant under s33 of the Act.

Further, the changes undertaken to the heritage building are described on Centrecorp's website as 'reconstruction to effectively turn back the clock to 1939'². These works involved the removal of commercial fridges and freezers, commercial kitchen, preparation areas and

¹ *Relaunch of 80 Hartley Street*, Centrecorp Foundation, <https://centrecorpfoundation.com.au/good-news-stories/relaunch-of-80-hartley-street>, viewed 1/06/2026

² *Relaunch of 80 Hartley Street*, Centrecorp Foundation, <https://centrecorpfoundation.com.au/good-news-stories/relaunch-of-80-hartley-street>, viewed 2/06/2026

extraction units and additional bathrooms - all elements that effectively classified the building as a restaurant.

The application states that the variation reflects works undertaken to restore the heritage building, including adapting it for use as an office. The works were considered by the Northern Territory Heritage Council, and approved 4 October 2024, subject to conditions.

Under Zone TC (Tourist Commercial), 'Office' is *Impact Assessable* and requires planning consent.

The application notes that use of the heritage building as 'Office' will be subject to a separate development application. It is understood that the proposal for a variation to DP18/0256A is to 'clean up' retrospective works, subject to the site (Lot 179).

Consequently, a change of use relating to Unit 10998, will be subject to a full assessment under the NT Planning Scheme 2020.

8. RECOMMENDATION

That, the Development Consent Authority:

- a) note the variation application reference material at **TRM Reference PA2018/0224-0090~0002**
- b) note the information above including relevant background;
- c) note the addition of Condition Precedent 3; and
- d) pursuant to section 57(3) of the *Planning Act 1999*, approve the application to vary Condition 3 of Development Permit DP18/0256A to facilitate the closure of vehicle access to Hartley Street, changes to site layout and access to external areas of the site.

CONDITIONS PRECEDENT

1. Prior to the endorsement of plans and prior to commencement of works (including site preparation), amended plans to the satisfaction of the consent authority must be submitted to and approved by the consent authority. When approved, the plans will be endorsed and will then form part of the permit. The plans in Adobe PDF format, drawn to scale with dimensions and generally consistent with the drawings dated 22/05/2018 (Job No. 1808, prepared by Steve Adler Building Design), but modified to show:
 - (a) Locations of proposed electricity and water meters;
 - (b) Ground level private open space (POS) details for each units including proposed surface treatments, fencing arrangements that comply with sub-clause 4 of Clause 7.5 of the NT Planning Scheme, planting and extent of area open to the sky;
 - (c) Proposed landscaping details (clarification on landscaping to be retained, details of species, quantities, surface treatments) for the development, such that the consent authority can be satisfied that the criteria and objectives contained in Clauses 6.12 and 7.7 of the NT Planning Scheme can be met, have regard to the guidance contained within the Alice Springs Heritage Precinct Conservation Management Plan 1994.

CONDITION CLEARED - 17/10/2018

2. Prior to the endorsement of plans and prior to the commencement of works, a schematic plan demonstrating the on-site collection of stormwater and its discharge into the Alice

Springs Town Council stormwater drainage system shall be submitted to and approved by the Alice Springs Town Council, to the satisfaction of the consent authority. The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.

CONDITION CLEARED - 17/10/2018

3. Prior to the endorsement of plans and prior to commencement of works, an amended site plan to the satisfaction of the consent authority must be submitted to and approved by the consent authority. When approved, the site plan will be endorsed and will then form part of the permit. The site plan must be drawn to scale with dimensions and be generally consistent with the site plan prepared by Steve Adler Building Design and identified as PA2018/0224/A1, including, dimensions, landscaping, schedules, location of utilities, etc., but modified to show:
 - (a) Dimensions showing length and width of two-way driveway. The width of the driveway is to be measured at the laneway entrance, location of internal sliding gate and from the southern most external wall of the heritage building.
 - (b) Location of utilities (meters and power pole) within the front setback, not otherwise shown on PA2018/0224/A1.

GENERAL CONDITIONS

4. The works carried out under this permit shall be in accordance with the drawings endorsed as forming part of this permit.
5. Before the use or occupation of the development starts, the area set-aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
 - (a) Constructed
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced as shown on the endorsed drawings;
 - (d) drained; and
 - (e) line marked (or otherwise suitably delineated) to indicate each car space;to the satisfaction of the consent authority. Car parking spaces, access lanes and driveways must be maintained and kept available for these purposes at all times.
6. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street. This condition is to the satisfaction of the consent authority, on advice from the Alice Springs Town Council.
7. Before the use/occupation of the development starts the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.
8. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.
9. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, sewerage and electricity facilities and telecommunication networks to the development shown on the endorsed plans in accordance with the authorities' requirements and relevant legislation at the time.

Item 1

10. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the consent authority.
11. All existing and proposed easements and sites for existing and required utility services must be vested in the relevant authority for which the easement or site is to be created.
12. All substation, fire booster and water meter arrangements are to be appropriately screened to soften the visual impact of such infrastructure on the streetscape, to ensure that the infrastructure is sympathetic to and blends in with the design of the building. Details will need to be resolved to the satisfaction of the consent authority in consultation with the Power and Water Corporation, and NT Fire and Emergency Services.
13. Prior to the use/occupation of the development and connection of services (i.e. power and water), the owner of the land must apply for unit/street addressing from the Surveyor-General of the Northern Territory. This will form the legal address and will be required to be placed on the doors and meters within the development in accordance with the allocation. A Certificate of Compliance (section 65 of the Planning Act) for each stage of the development will not be able to be granted until such time as addressing is obtained.
14. Confirmation shall be provided to Development Assessment Services (in the form of an email addressed to the Power and Water Corporation) from a suitable qualified professional (being the Licensed Surveyor in most instances) confirming that all new UTS number labels have been correctly installed at the Customer's Metering Panel(s) and water meters (where applicable). Please provide a copy of an email addressed to both waterdevelopment@powerwater.com.au and powerconnections@powerwater.com.au.
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16. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of the Alice Springs Town Council, to the satisfaction of the consent authority.
17. Storage for waste disposal bins is to be provided to the requirements of Alice Springs Town Council to the satisfaction of the consent authority.
18. The owner shall:
 - (a) remove disused vehicle and/ or pedestrian crossovers;
 - (b) provide footpaths/ cycleways; and
 - (c) undertake reinstatement works;all to the technical requirements of and at no cost to the , the Alice Springs Town Council (Hartley Street and rear laneway), to the satisfaction of the consent authority.
19. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to the Alice Springs Town Council (Hartley Street and rear laneway) to the satisfaction of the consent authority.

Item 1

20. All balconies are to be internally drained and discharge is to be disposed of at ground level and in a manner consistent with stormwater disposal arrangements for the site to the satisfaction of the consent authority.
21. All air conditioning condensers (including any condenser units required to be added or replaced in the future) are to be appropriately screened from public view, located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the consent authority.
22. Pursuant to section 34 of the Land Title Act, a Caution Notice shall be lodged with the Registrar-General on the title of Lot 179, Town of Alice Springs to include the following advice. The Caution Notice is to state that: "parts of this site are liable to inundation in a 1% AEP Defined Flood Event". Evidence of lodgement on the parcel shall be provided to the satisfaction of the consent authority.

Notes

1. This development permit does not grant "building approval" for the proposed structure. The Building Code of Australia requires that certain structures within 900mm of a boundary meets minimum fire resistance level requirements and you are advised to contact a registered private Building Certifier to ensure that you have attained all necessary approvals before commencing demolition or construction works.
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7. Any proposed works which fall within the scope of the Construction Industry Long Service Leave and Benefits Act must be notified to NT Build by lodgement of the required Project Notification Form. Payment of any levy must be made prior to the

Item 1

commencement of any construction activity. NT Build should be contacted via email (info@ntbuild.com.au) or by phone on 08 89364070 to determine if the proposed works are subject to the Act.

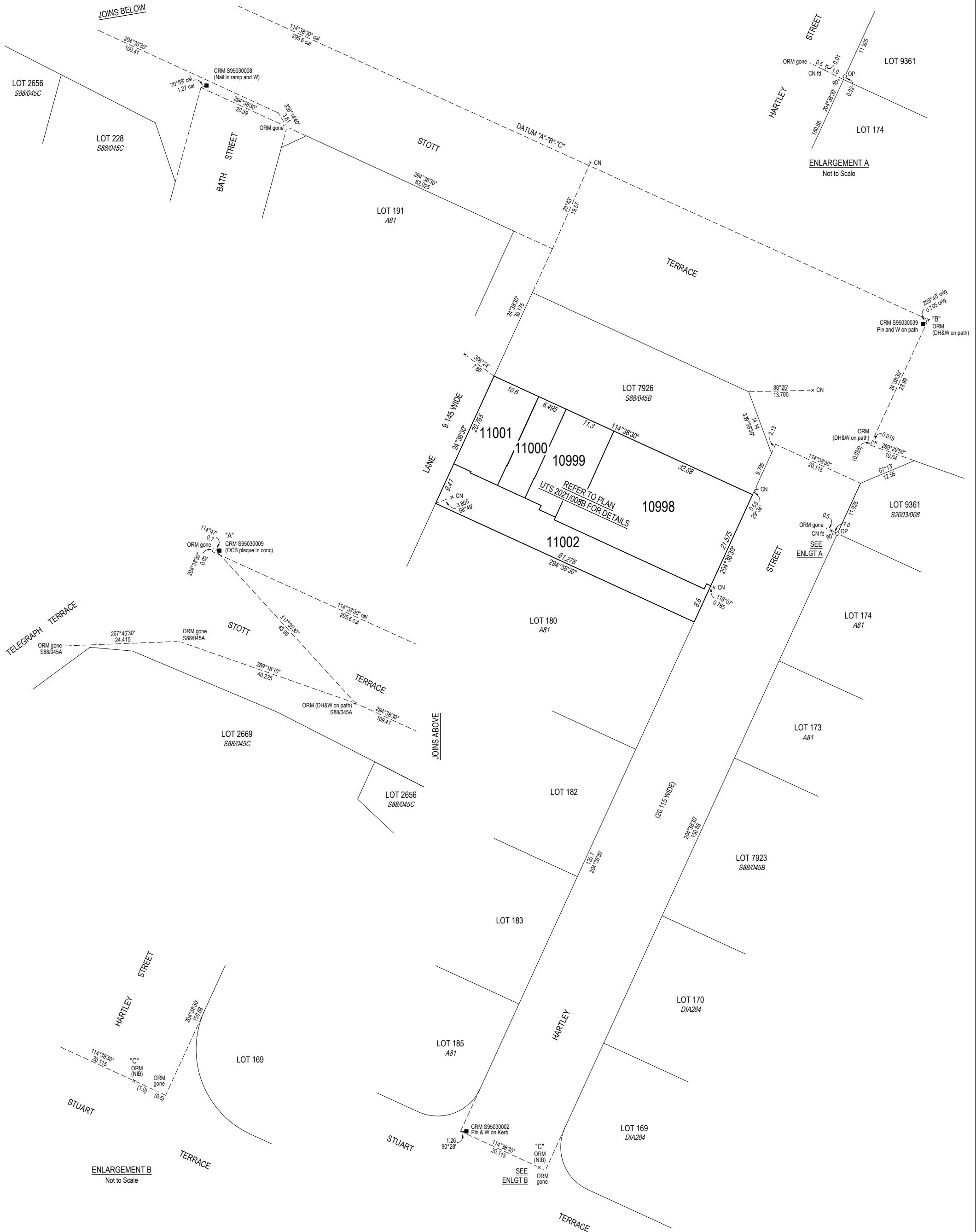
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 - (b) the development is not completed within four years of the date of this permit.The consent authority may extend the periods referred to if a request is made in writing before the permit expires.

AUTHORISED:



.....
**PLANNER – ALICE SPRINGS (SOUTHERN REGION)
DEVELOPMENT ASSESSMENT SERVICES**

Supersedes Part of A81



UNIT TITLES SUBDIVISION - UNIT TITLE SCHEMES ACT

I, **Brian John Blakeman**, hereby certify that the survey represented on this plan was carried out by me or under my supervision and was completed on **22/3/2022**, and that this survey has been executed in accordance with the Licensed Surveyors Act and the Directions thereunder.

Brian Blakeman
Licensed Surveyor

Date: 27/6/2022

SURVEY APPROVED
08/09/2022
Date

Delegate of the Surveyor-General

Note
Unit 10998 is a Single Storey Building
Units 10999 to 11001 are Two Storey Buildings
Unit 11002 is Common Property
Unit Boundaries have no upper or lower limits
Dimensions of unmarked boundaries and connections are original unless otherwise shown
CN denotes Concrete Nail
NIB denotes Nail in Bitumen

Version 1.1 - survey plan as lodged

Field Book
BBS Archives: 20173

Drawn
Earl James & Associates
(11737) 22/6/2022

Examined
Earl James & Associates
6/9/2022

Map Reference

Grid Bearings

AZIMUTH
Assumed from S2003/008, S88/045A & S2001/011
Observed at

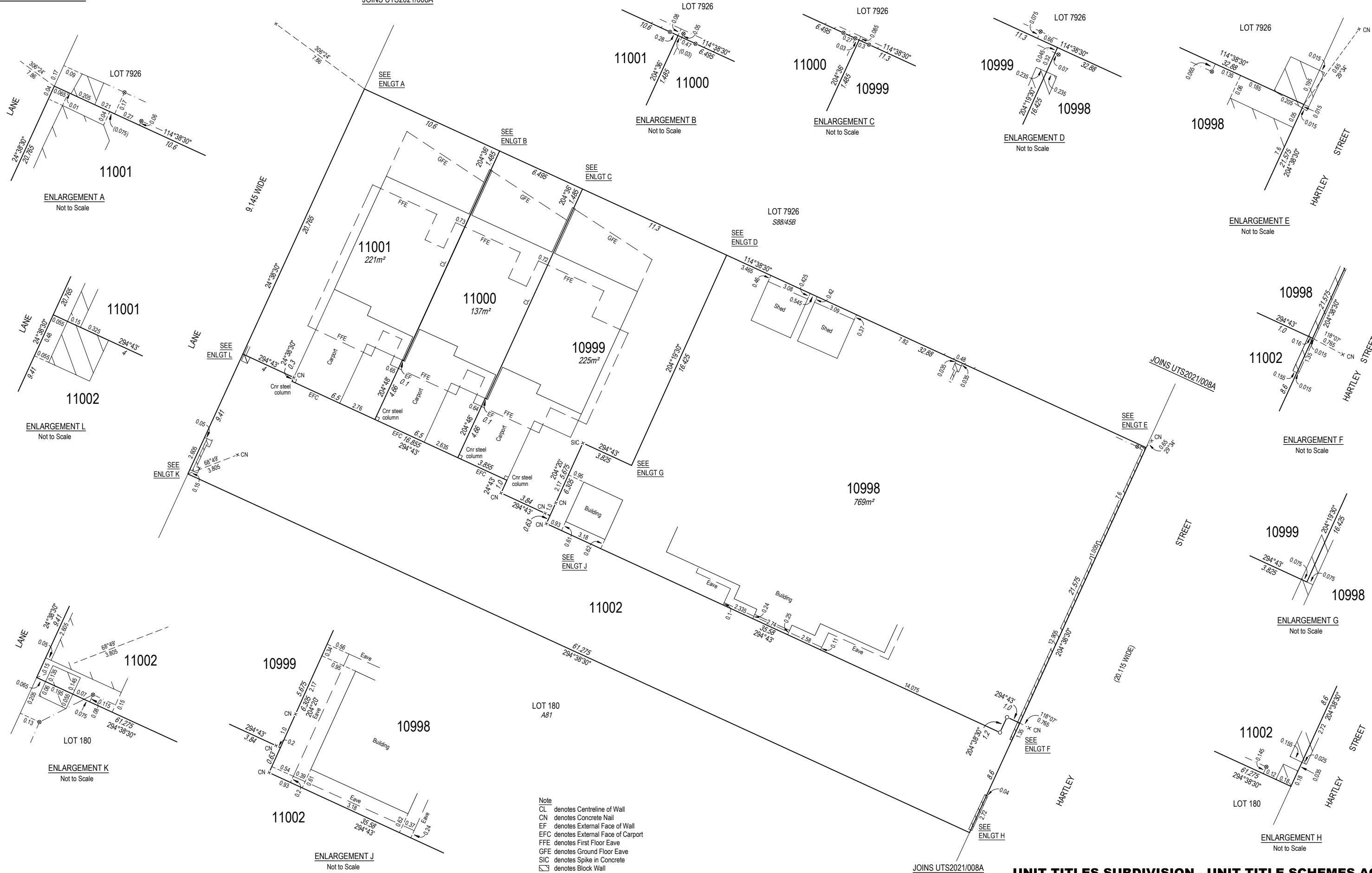
LEGEND
Concrete Post □
Concrete Block ■
Peg or Wooden Post ○
Reference Mark x
Lockspit ▶
Fence Post ⊗

UNITS 10998 TO 11002
SUBDIVISION OF LOT 179
TOWN OF ALICE SPRINGS

SCALE 1: 750 (A3)

5 0 5 10 15 20 25 metres

UTS2021/008A
SHEET 1 OF 2



Note
 CL denotes Centreline of Wall
 CN denotes Concrete Nail
 EF denotes External Face of Wall
 EFC denotes External Face of Carport
 FFE denotes First Floor Eave
 GFE denotes Ground Floor Eave
 SIC denotes Spike in Concrete
 □ denotes Block Wall

ENLARGEMENT A
Not to Scale

ENLARGEMENT L
Not to Scale

ENLARGEMENT K
Not to Scale

ENLARGEMENT J
Not to Scale

ENLARGEMENT B
Not to Scale

ENLARGEMENT C
Not to Scale

ENLARGEMENT D
Not to Scale

ENLARGEMENT E
Not to Scale

ENLARGEMENT F
Not to Scale

ENLARGEMENT G
Not to Scale

ENLARGEMENT H
Not to Scale

UNIT TITLES SUBDIVISION - UNIT TITLE SCHEMES ACT

I, **Brian John Blakeman**, hereby certify that the survey represented on this plan was carried out by me or under my supervision and was completed on **22/3/2022** and that this survey has been executed in accordance with the Licensed Surveyors Act and the Directions thereunder.

Brian John Blakeman
 Licensed Surveyor
 Date: 27/6/2022

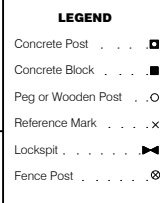
SURVEY APPROVED
Debra
 Delegate of the Surveyor-General
 Date: 08/09/2022

AMENDMENTS			
Reference	Details	Approved	Date

Note
 Unit 10998 is a Single Storey Building
 Units 10999 to 11001 are Two Storey Buildings
 Unit 11002 is Common Property
 Unit Boundaries have no upper or lower limits
 Offsets are at 90° to the boundary unless otherwise shown

Version 1.1 - survey plan as lodged

Field Book
 BBS Archives: 20173
 Drawn
 Earl James & Associates
 (11737) 22/6/2022
 Examined
 Earl James & Associates
 6/9/2022
 Map Reference



LEGEND
 Concrete Post □
 Concrete Block ■
 Peg or Wooden Post ○
 Reference Mark ×
 Lockpit ⊗
 Fence Post ⊛

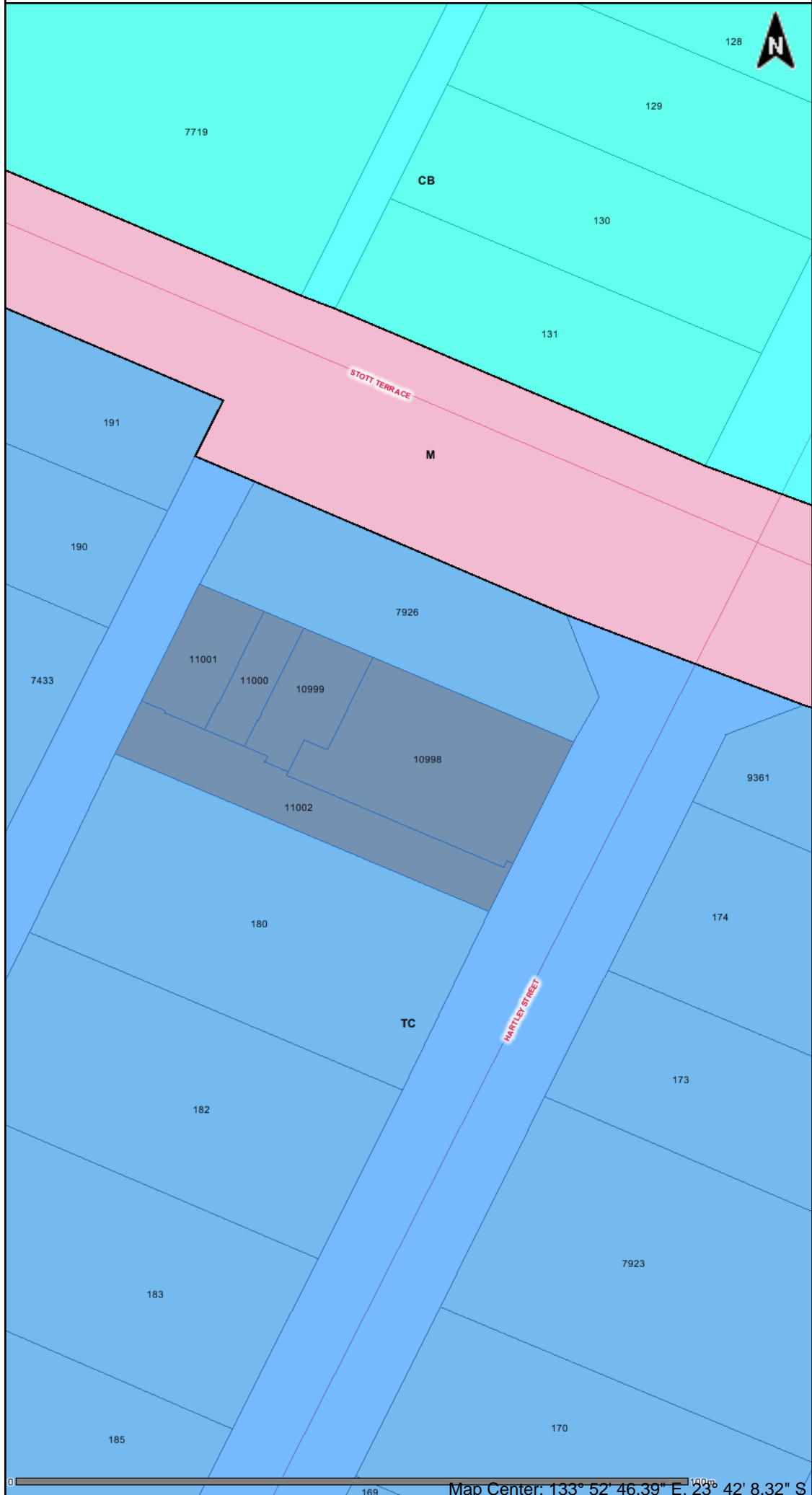
UNITS 10998 TO 11002
SUBDIVISION OF LOT 179
TOWN OF ALICE SPRINGS

SCALE 1:250 (A3)
 0 2 4 6 8 metres

UTS2021/008B
 SHEET 2 OF 2

Bookmark A - Locality Plan - Zone

Legend



- General Lines
- Town Planning Zones**
- A - Agriculture
- CV - Caravan Park
- CB - Central Business
- C - Commercial
- CL - Community Living
- CP - Community Purpose
- CN - Conservation
- DV - Development
- RR - Rural Residential
- GI - General Industry
- HT - Heritage
- HR - High Density Residential
- H - Horticulture
- LI - Light Industry
- M - Main Road
- MR - Medium Density Residential
- LMR - Low-Medium Density Residential
- CA - No Planning Scheme Controls
- OR - Organised Recreation
- PM - Proposed Main Road
- PS - Public Open Space
- RW - Railway
- RD - Restricted Development
- R - Rural
- RL - Rural Living
- SC - Service Commercial
- LR - Low Density Residential
- S - Specific Use
- TC - Tourist Commercial
- U - Utilities
- WM - Water Management
- FD - Future Development
- RJ - Residential Jabiru
- PSJ - Public Open Space Jabiru
- ORJ - Organised Recreation Jabiru
- CJ - Commercial Jabiru
- SCJ - Service Commercial Jabiru
- TCJ - Tourist Commercial Jabiru
- CPJ - Community Purpose Jabiru
- FDJ - Future Development Jabiru
- IJ - Industrial Jabiru
- MJ - Main Road Jabiru
- UJ - Utilities Jabiru
- Road Labels**
- Road Centrelines**
- Highway
- Other Road
- Parcel Numbers**
- Cadastre

Created by NEREI

Bottom Left: 133° 52' 44", -23° 42' 09"
 Top Right: 133° 52' 48", -23° 42' 07"
 Approximate Scale: 1:886
 Datum: GDA 1994
 Data for information purposes only
 - accuracy not guaranteed
 N.T. Land Information System
 Copyright Northern Territory of Australia

Map Center: 133° 52' 46.39" E, 23° 42' 8.32" S

Bookmark A - Locality Plan - Overlay

Legend



- General Lines
- Land Subject to Flooding
- Road Labels
- Road Centrelines
- Highway
- Other Road
- Parcel Numbers
- Cadastre

Created by NEREI

Bottom Left: 133° 52' 44", -23° 42' 09"

Top Right: 133° 52' 48", -23° 42' 07"

Approximate Scale: 1:886

Datum: GDA 1994

Data for information purposes only

- accuracy not guaranteed

N.T. Land Information System

Copyright Northern Territory of Australia

Map Center: 133° 52' 46.39" E, 23° 42' 8.32" S

Locality Plan - Aerial (and Zone)

Legend



- General Lines
- Town Planning Zones**
- A - Agriculture
- CV - Caravan Park
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Bookmark B – Application Material

Bookmark B01 - Variation Letter and attachments

- Bookmark B01 - Att. A1 - DP18-0256 NOC.PDF
- Bookmark B01 - Att. A2 - DP18-0256
- Bookmark B01 - Att. A3 - DP18-0256 ED
- Bookmark B01 - Att. B1 - DP18-0256A
- Bookmark B01 - Att. B2 - DP18-0256A ED
- Bookmark B01 - Att. C - DP18-0256 and A CoC
- Bookmark B01 - Att. D - Proposed Amended Plans
- Bookmark B01 - Att. E - NT Heritage Council Notice of Decision

Bookmark B02 - Landowner Authorisation

Bookmark B03 - Invoice

NORTHERN TERRITORY OF AUSTRALIA

Planning Act 1999 - Section 57(3)

VARIATION OF CONDITIONS

DP18/0256A

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 00179
Town of Alice Springs
80 HARTLEY ST, ALICE SPRINGS

VARIATION

Consent is granted to vary Condition 3 of Development Permit DP18/0256 for the purpose of changes to the approved parking layout, addition of 2 garden sheds to the existing restaurant development and addition of air-conditioner units to the existing multiple dwelling (serviced apartments), in accordance with drawings numbered PA2018/0224/A1 to PA2018/0224/A6 (inclusive) and endorsed as forming part of this permit.

In all other respects Development Permit DP18/0256 remains unchanged.

BASE PERIOD OF THE PERMIT

This permit does not extend the base period of the original permit.



Suzanne
Philip
2021.06.28
10:12:58
+09'30'

SUZANNE PHILIP
Delegate
Development Consent Authority

28 June 2021

SCHEDULE OF CONDITIONS

DEVELOPMENT PERMIT

DP18/0256A

CONDITIONS PRECEDENT

1. Prior to the endorsement of plans and prior to commencement of works (including site preparation), amended plans to the satisfaction of the consent authority must be submitted to and approved by the consent authority. When approved, the plans will be endorsed and will then form part of the permit. The plans in Adobe PDF format, drawn to scale with dimensions and generally consistent with the drawings dated 22/05/2018 (Job No. 1808, prepared by Steve Adler Building Design), but modified to show:
 - (a) Locations of proposed electricity and water meters;
 - (b) Ground level private open space (POS) details for each units including proposed surface treatments, fencing arrangements that comply with sub-clause 4 of Clause 7.5 of the NT Planning Scheme, planting and extent of area open to the sky;
 - (c) Proposed landscaping details (clarification on landscaping to be retained, details of species, quantities, surface treatments) for the development, such that the consent authority can be satisfied that the criteria and objectives contained in Clauses 6.12 and 7.7 of the NT Planning Scheme can be met, have regard to the guidance contained within the Alice Springs Heritage Precinct Conservation Management Plan 1994; **CONDITION CLEARED**
2. Prior to the endorsement of plans and prior to the commencement of works, a schematic plan demonstrating the on-site collection of stormwater and its discharge into the Alice Springs Town Council stormwater drainage system shall be submitted to and approved by the Alice Springs Town Council, to the satisfaction of the consent authority. The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system. **CONDITION CLEARED**

GENERAL CONDITIONS

3. The works carried out under this permit shall be in accordance with the drawings numbered PA2018/0224/A1 to PA2018/0224/A6 (inclusive) and endorsed as forming part of this permit.
4. Before the use or occupation of the development starts, the area) set-aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
 - (a) constructed;
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced as shown on the endorsed drawings;
 - (d) drained; and
 - (e) line marked (or otherwise suitably delineated) to indicate each car space;to the satisfaction of the consent authority. Car parking spaces, access lanes and driveways must be maintained and kept available for these purposes at all times.

5. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street. This condition is to the satisfaction of the consent authority, on advice from the Alice Springs Town Council.
6. Before the use/occupation of the development starts the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.
7. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.
8. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, sewerage and electricity facilities and telecommunication networks to the development shown on the endorsed plans in accordance with the authorities' requirements and relevant legislation at the time.
9. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the consent authority.
10. All existing and proposed easements and sites for existing and required utility services must be vested in the relevant authority for which the easement or site is to be created.
11. All substation, fire booster and water meter arrangements are to be appropriately screened to soften the visual impact of such infrastructure on the streetscape, to ensure that the infrastructure is sympathetic to and blends in with the design of the building. Details will need to be resolved to the satisfaction of the consent authority in consultation with the Power and Water Corporation, and NT Fire and Emergency Services.
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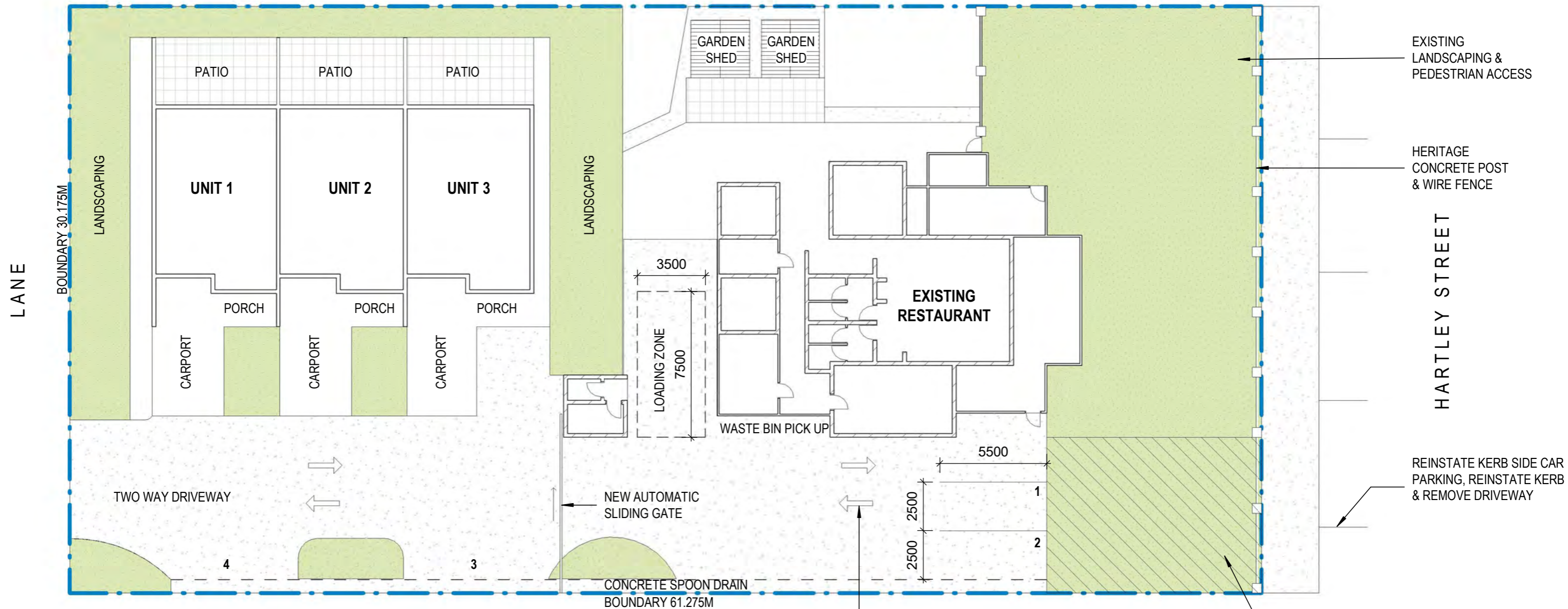
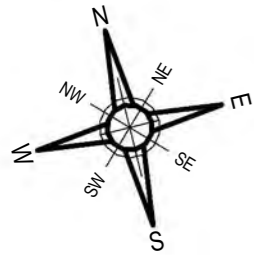
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(powerconnections@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing in order to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.

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1 PROPOSED SITE PLAN
1 : 200

REINSTATE 2-WAY VEHICLE MOVEMENTS & END OF DRIVEWAY PARKING BAYS AS PER DP18/0256

REINSTATE KERB SIDE CAR PARKING, REINSTATE KERB & REMOVE DRIVEWAY

EXTEND LANDSCAPING TO SOUTHERN BOUNDARY

SHEET No. A100	SCALE 1 : 200	DATE 25/03/2026	PROJECT No. 26001	DRAWN JB	SHEET SIZE A3
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Randle Walker
randle@centrecorp.com.au

Dear Mr Walker

Notice of Decision (Section 77 of the *Heritage Act 2011*): Alice Springs Heritage Precinct 1/80 Hartley Street Reconstruction

I refer to an Application to Carry out Work on a Heritage Place received from you dated 15 August 2024, in which it was proposed to carry out works to reconstruct and restore the former Burnett designed AS3(reversed) type house within the Alice Springs Heritage Precinct. The works include adaptations as presented in your application to carry out works to enable the use as office accommodation.

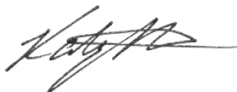
The Heritage Council has agreed to approve the proposed works with the below conditions:

1. That short lapped roof sheets are maintained (except in valleys);
2. Fix roof sheeting with Tek roof screws permitted; and
3. Document all adaptations to the building in a final close out report (i.e. photographic record) and provide to the Heritage Branch.

This work approval is valid for a period of 24 months from the date of this letter. Work must be completed by the expiration date or a revised application submitted. The *Heritage Act 2011* requires me to provide you with a review notice, which is attached to this letter.

If you have queries about this matter, please contact Mr David Steinberg, Director Heritage Branch, on 8999 5083 or at david.steinberg@nt.gov.au.

Yours sincerely



Katy Moir
Deputy Chair

4 October 2024

REVIEW NOTICE

This review notice is provided in accordance with section 77 of the *Heritage Act 2011*.

THE DECISION

To approve works with conditions to 1/80 Hartley Street within the Alice Springs Heritage Precinct, namely the reconstruction and restoration of the former Burnett designed AS3(reversed) type house, as described in an Application to Carry out Work received from Randle Walker of Centre Corp, dated 15 August 2024.

The approval is valid for a period of 24 months. Work must be completed by the expiration date or a revised application submitted.

STATEMENT OF REASONS

The restoration and reconstruction works are in line with the Burra Charter Principles of revealing culturally significant aspects of the place that previous adaptations and unsympathetic works have diminished/removed. It is also in line with the policies of the 1994 CMP for the precinct. There is sufficient evidence to reproduce an earlier state of the fabric to retain and enhance the heritage value of 80 Hartley Street. In line with Burra Charter Principles documenting the adaptations is part of the ongoing conservation process of 80 Hartley Street.

NOTICE OF RIGHT OF REVIEW

You have a right to have this decision reviewed by the Northern Territory Civil and Administrative Tribunal. Contact details are as follows:

Phone: 1800 604 622

Darwin:

The Met Building
CASCOM Building 5, Casuarina Village
Level 1, 13-17 Scaturchio Street
CASUARINA NT 0811

Alice Springs:

Westpoint Building
1 Stott Terrace
ALICE SPRINGS NT 0870

26 March 2026

Development Assessment Service
Department of Lands, Planning and Environment
Level 1 Green Well Building
50 Bath Street
Alice Springs NT 0870

ATTENTION: David Burrow, A/Manager Planning and Development – Southern Region

Dear David

**Re: Variation to Development Permit DP18/0256
Units 10998, 10999, 11000, 11001 and 11002 Town of Alice Springs (Apt's 1-4, 80 Hartley Street Alice Springs)**

1.0 Introduction and Background

Cunnington Rosse Town Planning and Consulting have been engaged by Centrecorp Aboriginal Investment Corporation to apply for a variation to Development Permit DP18/0256. This application seeks approval for variation to an existing development permit (and subsequent variation previously issued) pursuant to **Section 57** of the Northern Territory Planning Act to facilitate layout and access changes to the external areas of the site. The proposed changes seek approval for the deletion of the Hartley Street vehicle access and thus reinstatement (predominantly) of the site layout arrangements approved through the original development permit.

The subject land comprises the common property (Unit 11002) servicing units 10998, 10999, 11000 and 11001 Town of Alice Springs, comprising the three dwellings and restaurant building situated at 80 Hartley Street. The site is within the Alice Springs Heritage Precinct, with the original building towards the Hartley Street frontage designed by Beni C G Burnett and constructed in 1939 by Emil Martin for government workers accommodation. The building was, until recently, occupied as by the Oriental Gourmet restaurant.

The proposed variation reflects the works recently undertaken to restore the former house, including adapting the existing building (within unit 1 fronting Hartley Street) for use as an office. The works were considered by the Northern Territory Heritage Council and ultimately approved via decision dated 4 October 2024 (**Attachment E**).

This application seeks approval for a variation to both DP18/0256 and, by extension, the subsequent variation permit DP18/0256:

- **DP18/0256 (Attachment A)** was issued on behalf of the Alice Springs division of the Development Consent Authority on 21 July 2018 for the purpose of *constructing 3 x 2 bedroom multiple dwelling (serviced apartments) in a two storey building and alterations to an existing restaurant.*

DP18/0256 included 2 precedent and 19 general conditions, with conditions precedent requiring amended plans and approved stormwater management details. The conditions precedent were addressed and endorsed drawings issued on 17 October 2018; and

- **DP18/0256A (Attachment B)** issued on 28 June 2021 for the purpose of *changes to the approved parking layout, addition of 2 garden sheds to the existing restaurant, development and addition of air-conditioner units to the existing multiple dwelling (serviced apartments).*

Particularly pertinent to this application, DP18/0256A included a driveway entrance from Hartley Street through the subject land to the rear laneway. By comparison, the DP18/0256 endorsed plans included a single two-way driveway from the rear laneway only, with no vehicle access from Hartley Street. A single certificate of compliance was subsequently issued for both development permits (**Attachment C**).

This application is to be read together with the following attachments:

- Attachment A:** DP18/0256 Development Permit, Notice of Consent and Endorsed Drawings
- Attachment B:** DP18/0256A Development Permit and Endorsed Drawings
- Attachment C:** DP18/0256 and DP18/0256A Certificate of Compliance
- Attachment D:** Amended Site layout Plan
- Attachment E:** NT Heritage Council Notice of Decision

2.0 Proposed Variations

This application seeks approval to alter the site layout arrangements approved through DP18/0256A to largely revert back to that approved through DP18/0256 (albeit with minor amendments). The following changes from DP18/0256A back to the approved DP18/0256 layout are proposed:

- Removal of Hartley Street vehicle access and reinstate kerbside car parking space (subject to approval from Alice Springs Town Council);
- Two-way driveway (for its entire length) from the rear laneway;
- Landscaping to the southern boundary along the Hartley Street frontage;
- Car parking spaces 1 and 2 located at the Hartley Street end of the internal driveway; and
- A total of 4 on-site car parking spaces in addition to the 3 single-spaces within the serviced apartment carports.

The following elements of the DP18/0256A approved layout are proposed to be retained:

- Garden bed and driveway layout west of the existing loading zone; and
- Any other built form and site servicing arrangements not otherwise altered by the proposed variation.

The following elements vary both the DP18/0256 and DP18/0256A approved layouts:

- New automatic sliding gate across the driveway between unit 3 and the freestanding amenities block;
- Replace concrete block wall with concrete post and wire fence; and
- Increase length of driveway relative to DP18/0256 so the depth of landscaping between the Hartley Street boundary and the end of the driveway is slightly less than DP18/0256 (but significantly more than DP18/0256A).

The works are intended to provide a more appropriate interface with Hartley Street noting its context within the Alice Springs Heritage Precinct, by removing the vehicle access and crossover, and providing a more appropriate front fence interface. The works were accompanied by an overall refurbishment of the existing building triggered by the Oriental Gourmet restaurant vacating the premises, adapting the former house for reuse as an *office*. The use of the existing building as an *office* will be subject to a separate development application.

The proposed works are largely retrospective, however additional car park line-marking and removal of the existing crossover will be required to reflect the updated site layout included at **Attachment D**. The amended site layout and fence design is shown in **figure 1** below.



Figure 1: Subject land showing updated front fence and extended landscaping, with Hartley Street vehicle access removed albeit crossover still remaining.

3.0 Consideration

This application is made pursuant to **Section 57 (1)** of the *Northern Territory Planning Act*, which states:

- (1) The owner of land to which a development permit relates, or a person authorised by the owner, may at any time before the permit lapses apply to the consent authority for a variation of a condition of the permit.*

Subsection (3) of **Section 57** of the Act provides that:

- (3) the consent authority may, in writing, vary a condition of a development permit if:*
- a) the proposed variation will not materially affect the amenity of adjoining or nearby land or premises; and*
 - b) the variation does not authorise a substantive change to the development approved by the development permit.*

Subsection (6) provides further clarification on a “substantive change”

- (6) For subsection (3)(b), a substantive change is:*
- a) A change that increases non-compliance with a measurable aspect of the development permit by more than 5%; or*
 - b) If the change is not conveniently measurable, a variation that materially changes the character of the development approved by the development permit.*

The notice of consent accompanying DP18/0256 (**Attachment A**) identifies the following non-compliance with the Northern Territory Planning Scheme 2007:

- Car parking shortfall of 2 parking spaces relative to that required by **Clause 6.5.1**;
- The use of gravel instead of an impervious seal to parts of the car parking area, comprising a variation to **Clause 6.5.3**; and
- A variation to **Clause 7.5** to reduce the minimum area and permeability dimensions of the serviced apartment private open space areas.

The proposed variation subject of this application does not increase alter the approved non-compliances:

- The variation maintains the approved number of car parking spaces – 4 spaces are provided along / at the end of the shared driveway, whilst the three townhouses (serviced apartments) are each provided with a single car parking space. Whilst the positioning of parking spaces 1 and 2 requires vehicles to reverse along the driveway and utilise the loading zone to perform a 3-point turn, this arrangement is consistent with that approved through DP18/0256.

The proposed variation slightly increases the length of the reversing manoeuvre, however does not affect compliance / non-compliance of the approved layout with the Planning Scheme. The low number of parking spaces, lack of conflicting pedestrian areas, limited access and short reversing distance are such that the approved / proposed arrangement is appropriate;

- The proposed variation does not alter the existing driveway / car park surface. The existing concrete surface is maintained, consistent with the reference to “concrete / brick paving” on the DP18/0256 endorsed drawings. The use of gravel referred to in the Notice of Consent is unclear, although it may relate to the identified loading zone. The loading area is currently sealed consistent with that shown in the DP18/0256A endorsed drawings; and
- The proposed variation will not alter the private open space areas attached to each serviced apartment.

In addition to the variations identified in the original approval, the following Planning Scheme (2020) Clauses apply to the development and/or use of land in Zone TC (Tourist Commercial) and are applicable to the subject land:

Clause	Implication of Proposed Variation
Clause 3.6 – Land Subject to Flooding	No change. The proposed variation does not alter compliance with Clause 3.6 as no land use or habitable room floor levels is proposed as part of this application.
Clause 5.2.1 – General Height Control	No change. The proposed variation does not alter the height of existing buildings.
Clause 5.2.4 – Car Parking	No change. The proposed variation maintains the 7 car parking spaces and driveway / car parking area dimensions approved through DP18/0256.
Clause 5.2.5 – Loading Bays	No change. The existing loading bay is retained and the building floor area is not altered.
Clause 5.2.6 – Landscaping	Not applicable. Clause 5.2.6 does not apply specific landscaping requirements for serviced apartments / food premises in Zone TC.
Clause 5.3.7 – Bicycle Parking and End of Trip Facilities	No change. Bicycle parking and end of trip requirements are based on dwelling yield, commercial floor area and staff numbers. No variation to these elements is proposed.
Clause 5.4 – Residential Density; Residential Building Setbacks; Extensions and Ancillary Structures; Private Open Space; Residential Building Design; Building Articulation	No change. The proposed variation does not alter the residential density, building setbacks, ancillary structures, private open space, existing building layout or design.

Clause 5.5.2 – Commercial Plot Ratio	No change. Variation does not alter existing floor or site areas.
Clause 5.5.3 – General Building and Site Design	No change to compliance to DP18/0256. Minor increase to compliance with DP18/0256A. Proposed variation reverts back to Hartley Street interface similar to DP18/0256, improving compliance with: <ul style="list-style-type: none"> • subclause (3) by providing a more appropriate response to the character of buildings in the immediate vicinity, specifically the removal of the Hartley Street access and replacement front fencing.
Clause 5.5.4 – Expansion of Existing Development	No change. Original approvals were not granted under Clause 5.5.4 .
Clause 5.5.11 – Food Premises	No change to compliance to DP18/0256. Minor increase to compliance with DP18/0256A. Proposed variation reverts back to Hartley Street interface similar to DP18/0256, improving compliance with: <ul style="list-style-type: none"> • subclause (3) by providing additional landscaping to ensure no unreasonable loss of amenity for adjoining and nearby property.
Clause 5.9.1 – Alice Springs Town Centre	No change to: <ul style="list-style-type: none"> • Building design requirements in Clause 5.9.1.1; • Volumetric controls in Clause 5.9.1.2; • Active street frontage requirements in Clause 5.9.1.3 – inactive frontage (vehicle access) replaced with landscaping.

Evident from the above assessment, the proposed changes will not result in a substantive change to the approved development. Furthermore, the removal of the Hartley Street access and replacement with landscaping improves amenity for pedestrians within the public realm, and the replacement front fence ensures a more consistent interface with both the public realm and the immediate locality. For these reasons, the proposed variation will not materially affect the amenity of adjoining or nearby land or premises and is considered appropriate in the context of **Section 57** of the Planning Act. The proponent has separately referred this application to the Alice Springs Town Council and the Heritage Branch within the Department of Lands, Planning and Environment.

Please do not hesitate to contact the undersigned with any queries regarding this matter.

Regards



BRAD CUNNINGTON

Cunnington Rosse Town Planning and Consulting



Development Consent Authority

Northern Territory

PO Box 2130

ALICE SPRINGS NT 0871

Telephone No: (08) 8951 9249

Facsimile No: (08) 8951 9222

In reply please quote: PA2018/0224

Tristate Pty Ltd

PO Box 3160

ALICE SPRINGS NT 0871

Attention: Mr Samih Bitar

Dear Mr Bitar

NOTICE OF CONSENT (SECTION 53B OF THE *PLANNING ACT*) LOT 179, 80 HARTLEY STREET, TOWN OF ALICE SPRINGS

The Development Consent Authority has determined, in accordance with section 53(b) of the *Planning Act*, to alter the proposed development and grant consent to the proposed development as altered to use and develop the abovementioned land for the purpose of constructing 3 x 2 bedroom multiple dwellings (serviced apartments) in a two storey building and alterations to an existing restaurant, subject to the conditions specified on the attached Development Permit DP18/0256.

Reasons for the Determination

1. Pursuant to section 51(a) of the *Planning Act*, the consent authority must take into consideration the planning scheme that applies to the land to which the application relates. Subject to the receipt of amended plans and compliance with conditions of approval, the proposed use and development as presented in the application is considered to be generally consistent with the following policies and objectives of the NT Planning Scheme:

- Clause 2.8 (Reference to Policy: Compact Urban Growth Policy)
- Clause 4.3 (Planning Principles – Alice Springs)
- Clause 14.4.4 (Southern Area Plan)
- Zone TC (Tourist Commercial)

The development is under the 3 storey height limitation and the scale, character and architectural style of the multiple dwelling (serviced apartment) development is considered to be compatible with the streetscape and surrounding infill residential development within Heritage Precinct. The “serviced apartment” land use is consistent with the purpose of Zone TC.

2. An assessment against Clause 6.5.1 (Parking Requirements) of the NT Planning Scheme identifies that the proposed development will have as shortfall of two car parking spaces. A reduction to the parking required under Clause 6.5.1 (Parking Requirements), pursuant to Clause 6.5.2 (Reduction in Parking Requirements) of the Scheme is considered suitable as:

- Hartley Street provides adequate public car parking spaces with many spaces located within a reasonable walking distance of the proposed development, furthermore, the application proposes constructing a minimum of one car parking space within the road reserve;
- The subject site is a declared heritage place and the proposed design has received approval under the *Heritage Act* (letter of approval from Minister included with application);
- The subject site is located within convenient access to public transport (bus stops); and

- The development is expected to generate minimal additional demand for parking.
3. Pursuant to section 70(4) of the *Planning Act*, the Development Consent Authority, having considered the relevant criteria under Clause 6.5.2 (Reduction in Parking Requirements) of the NT Planning Scheme and recognising the lawfully established existing use of the subject site as a restaurant, considers it appropriate to grant the requested variation to Clause 6.5.1 (Parking Requirements) of the Northern Territory Planning Scheme. Accordingly, the Development Consent Authority does not require a car parking levy to be paid to Alice Springs Town Council and pursuant to section 70(3) of the *Planning Act* reduces the car parking requirement to 7 spaces.
 4. A variation to sub-clause 3(b) of Clause 6.5.3 (Parking Layout) of the NT Planning Scheme is granted on the basis that the use of gravel as an alternative to an impervious seal to parts of the parking area is expected to support the declared heritage values of the site.
 5. Variations are granted to Clause 7.5 (Private Open Space) of the NT Planning Scheme to allow private open space areas for some of the dwellings (as shown on the drawings) that do not fully comply with the minimum area, permeability dimensions. Variations to these provisions are supported, as the following circumstances apply to the development:
 - despite these non-compliances, each dwelling provides a useable, functional areas for recreation purposes directly accessible from habitable rooms within the dwelling.
 - the dimensions of the non-compliant private open space areas are considered adequate to meet the expected needs of future occupants of those dwellings (serviced apartments);
 - the private open space areas are positioned to enable an extension of the function of each dwelling;
 - the areas of private open space are considered to be appropriate for the floor areas and layout of each dwelling;
 - communal open space (landscaped areas) are included with the proposed development of the site; and
 - there are areas of quality public open space and community facilities in close proximity to the site (neighbourhood parks).
 6. Pursuant to section 51(j) of the *Planning Act*, in considering a development application the Development Consent Authority must take into account the capability of the land to which the proposed development relates to support the proposed development and the effect of the development on the land and on other land, the physical characteristics of which may be affected by the development. The physical characteristics of the land are considered suitable for the proposed development of multiple dwellings (serviced apartments). The location on the site that will contain the footprint of the dwellings is outside the 1% AEP Defined Flood Area and is generally flat. The site and floor layouts, private open space provision and other aspects of the design fulfil the intent of the objectives of the NT Planning Scheme relevant to multiple dwelling use.
 7. Pursuant to section 51(m) of the *Planning Act*, in considering a development application the consent authority must take into account the requirement for public facilities and services to be connected to the land and the requirement, if any, for those facilities or infrastructure to be provided by the developer for that purpose. The Power and Water Corporation has advised that areas of the site need to be set aside for connections to and infrastructure for power, water and sewer services and works are not to encroach into easements. The advisory notes and conditions of approval are intended to assist in ensuring service authority interests are duly recognised in terms of works within and affecting the road reserves, vehicle access, electricity, sewerage and water services that apply to the development of the land.
 8. Pursuant to section 51(p) of the *Planning Act*, in considering a development application the Development Consent Authority must take into account the public interest. Part of the site is identified as being liable to inundation in a 1% AEP Defined Flood Event. A Caution Notice is required to be placed on the land title with a view to ensuring future owners (including body corporate) and occupants of the site are aware of the flood liability and associated potential hazards and inconveniences.

9. Pursuant to section 51(r) of the *Planning Act*, in considering a development application the Development Consent Authority must take into account any potential impact on natural, social, cultural or heritage values. The site is part of a declared heritage place (Alice Springs Heritage Precinct), an advisory note is included on the permit to remind the owner/applicant to obtain any approvals required under the *Heritage Act*.
10. The application was publicly exhibited in accordance with the *Planning Act* and Planning Regulations. No public or local authority submissions were received.
11. Amended drawings and conditions precedent are required to:
 - (a) Ensure service authority interests with respect to storm water drainage and electricity and water meters are satisfactorily addressed; and
 - (b) Achieve satisfactory compliance with the objectives and performance criteria of the NT Planning Scheme with regard to:
 - Clause 7.5 (Private Open Space); and
 - Clause 6.12 (Landscaping) and Clause 7.7 (Landscaping for Multiple Dwellings, Hostels and Supporting Accommodation)

Right of Appeal

Applicants are advised that a right of appeal to the Northern Territory Civil and Administrative Tribunal exists under Part 9 of the *Planning Act*. An appeal under section 114 against a determination of a development application must be made within 28 days of the service of this notice.

The Northern Territory Civil and Administrative Tribunal can provide information regarding the Notice of Appeal form and fees payable. The address for lodgement of a Notice of Appeal is: Northern Territory Civil and Administrative Tribunal, PO Box 41860 CASUARINA NT 0810 or Level 1, The Met Building, 13 Scaturchio Street, CASUARINA NT 0810 (Telephone: 08 8944 8720 or Facsimile: 08 8922 7201 or email: AGD.ntcat@nt.gov.au).

There is no right of appeal by a third party under section 117 of the *Planning Act* in respect of this determination as section 117(4) of the Act and regulation 14 of the Planning Regulations apply to the application.

If you have any queries in relation to this Notice of Consent or the attached Development Permit, please contact Development Assessment Services on telephone (08) 8951 9249.

Yours sincerely



Benjamin Taylor
2018.07.21
11:08:00 +09'30'

BENJAMIN TAYLOR

Delegate

Development Consent Authority

CC: Mr Steve Adler
Alice Springs Town Council
Power and Water Corporation
Heritage Branch (Dept. Tourism and Culture)
DIPL (Transport and Civil Services Division)
Environmental Health (Department of Health)

NORTHERN TERRITORY OF AUSTRALIA

Planning Act - sections 54 and 55

DEVELOPMENT PERMIT

DP18/0256

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 00179
Town of Alice Springs
80 HARTLEY ST, ALICE SPRINGS

APPROVED PURPOSE

To use and develop the land for the purpose of constructing 3 x 2 bedroom multiple dwelling (serviced apartments) in a two storey building and alterations to an existing restaurant, in accordance with the attached schedule of conditions and the endorsed plans.

VARIATIONS GRANTED

Clause 6.5.1 (Parking Requirements), Clause 6.5.3 (Parking Layout) and Clause 7.5 (Private Open Space) of the Northern Territory Planning Scheme.

BASE PERIOD OF THE PERMIT

Subject to the provisions of sections 58, 59 and 59A of the Planning Act, this permit will lapse two years from the date of issue.



Benjamin Taylor
2018.07.21
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BENJAMIN TAYLOR
Delegate
Development Consent Authority

DEVELOPMENT PERMIT

DP18/0256

SCHEDULE OF CONDITIONS

CONDITIONS PRECEDENT

1. Prior to the endorsement of plans and prior to commencement of works (including site preparation), amended plans to the satisfaction of the consent authority must be submitted to and approved by the consent authority. When approved, the plans will be endorsed and will then form part of the permit. The plans in Adobe PDF format, drawn to scale with dimensions and generally consistent with the drawings dated 22/05/2018 (Job No. 1808, prepared by Steve Adler Building Design), but modified to show:
 - (a) Locations of proposed electricity and water meters;
 - (b) Ground level private open space (POS) details for each units including proposed surface treatments, fencing arrangements that comply with sub-clause 4 of Clause 7.5 of the NT Planning Scheme, planting and extent of area open to the sky;
 - (c) Proposed landscaping details (clarification on landscaping to be retained, details of species, quantities, surface treatments) for the development, such that the consent authority can be satisfied that the criteria and objectives contained in Clauses 6.12 and 7.7 of the NT Planning Scheme can be met, have regard to the guidance contained within the Alice Springs Heritage Precinct Conservation Management Plan 1994;
2. Prior to the endorsement of plans and prior to the commencement of works, a schematic plan demonstrating the on-site collection of stormwater and its discharge into the Alice Springs Town Council stormwater drainage system shall be submitted to and approved by the Alice Springs Town Council, to the satisfaction of the consent authority. The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.

GENERAL CONDITIONS

3. The works carried out under this permit shall be in accordance with the drawings endorsed as forming part of this permit.
4. Before the use or occupation of the development starts, the area) set-aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
 - (a) constructed;
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced as shown on the endorsed drawings;
 - (d) drained; and
 - (e) line marked (or otherwise suitably delineated) to indicate each car space;to the satisfaction of the consent authority. Car parking spaces, access lanes and driveways must be maintained and kept available for these purposes at all times.
5. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street. This condition is to the satisfaction of the consent authority, on advice from the Alice Springs Town Council.

6. Before the use/occupation of the development starts the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the consent authority.
7. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the consent authority, including that any dead, diseased or damaged plants are to be replaced.
8. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, sewerage and electricity facilities and telecommunication networks to the development shown on the endorsed plans in accordance with the authorities' requirements and relevant legislation at the time.
9. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the consent authority.
10. All existing and proposed easements and sites for existing and required utility services must be vested in the relevant authority for which the easement or site is to be created.
11. All substation, fire booster and water meter arrangements are to be appropriately screened to soften the visual impact of such infrastructure on the streetscape, to ensure that the infrastructure is sympathetic to and blends in with the design of the building. Details will need to be resolved to the satisfaction of the consent authority in consultation with the Power and Water Corporation, and NT Fire and Emergency Services.
12. Prior to the use/occupation of the development and connection of services (i.e. power and water), the owner of the land must apply for unit/street addressing from the Surveyor-General of the Northern Territory. This will form the legal address and will be required to be placed on the doors and meters within the development in accordance with the allocation. A Certificate of Compliance (section 65 of the Planning Act) for each stage of the development will not be able to be granted until such time as addressing is obtained.
13. Confirmation shall be provided to Development Assessment Services (in the form of an email addressed to the Power and Water Corporation) from a suitable qualified professional (being the Licensed Surveyor in most instances) confirming that all new UTS number labels have been correctly installed at the Customer's Metering Panel(s) and water meters (where applicable). Please provide a copy of an email addressed to both waterdevelopment@powerwater.com.au and powerconnections@powerwater.com.au.
14. All proposed works impacting on Hartley Street and the rear laneway are to be designed, supervised and certified on completion by a practicing and registered civil engineer, and shall be in accordance with the standards and specifications of the Alice Springs Town Council. Drawings must be submitted to the Council for approval and no works are to commence prior to approval and receipt of a "Permit to Work Within a Road Reserve".
15. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of the Alice Springs Town Council, to the satisfaction of the consent authority.
16. Storage for waste disposal bins is to be provided to the requirements of Alice Springs Town Council to the satisfaction of the consent authority.
17. The owner shall:
 - (a) remove disused vehicle and/ or pedestrian crossovers;

(b) provide footpaths/ cycleways; and

(c) undertake reinstatement works;

all to the technical requirements of and at no cost to the , the Alice Springs Town Council (Hartley Street and rear laneway), to the satisfaction of the consent authority.

18.Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to the Alice Springs Town Council (Hartley Street and rear laneway) to the satisfaction of the consent authority.

19All balconies are to be internally drained and discharge is to be disposed of at ground level and in a manner consistent with stormwater disposal arrangements for the site to the satisfaction of the consent authority.

20All air conditioning condensers (including any condenser units required to be added or replaced in the future) are to be appropriately screened from public view, located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the consent authority.

21.Pursuant to section 34 of the Land Title Act, a Caution Notice shall be lodged with the Registrar-General on the title of Lot 179, Town of Alice Springs to include the following advice. The Caution Notice is to state that: "parts of this site are liable to inundation in a 1% AEP Defined Flood Event". Evidence of lodgement on the parcel shall be provided to the satisfaction of the consent authority.

NOTES

1. This development permit does not grant "building approval" for the proposed structure. The Building Code of Australia requires that certain structures within 900mm of a boundary meets minimum fire resistance level requirements and you are advised to contact a registered private Building Certifier to ensure that you have attained all necessary approvals before commencing demolition or construction works.
2. The permit holder is advised that it is an offence to carry out work on, disturb or destroy declared places without consent under the Heritage Act. The land owner/developer should contact the Heritage Branch of the Department of Tourism and Culture to ascertain requirements of the Heritage Act prior to commencing any demolition or construction works.
3. A "Permit to Work Within a Road Reserve" may be required from Alice Springs Town Council before commencement of any work within the road reserves (Hartley Street and rear laneway).
4. Notwithstanding the approved plans, all signage is subject to Alice Springs Town Council approval, at no cost to Council.
5. The Power and Water Corporation advises that the Water and Sewer Services Development Section (landdevelopmentsouth@powerwater.com.au) and Power Network Engineering Section (powerconnections@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing in order to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.

6. The Northern Territory Environment Protection Authority advises that construction work should be conducted in accordance with the Authority's Noise Guidelines for Development Sites in the Northern Territory. The guidelines specify that on-site construction activities are restricted to between 7am and 7pm Monday to Saturday and 9am to 6pm Sunday and Public Holidays. For construction activities outside these hours refer to the guidelines for further information.
7. Any proposed works which fall within the scope of the Construction Industry Long Service Leave and Benefits Act must be notified to NT Build by lodgement of the required Project Notification Form. Payment of any levy must be made prior to the commencement of any construction activity. NT Build should be contacted via email (info@ntbuild.com.au) or by phone on 08 89364070 to determine if the proposed works are subject to the Act.
8. Professional advice regarding implementation of soil erosion control and dust control measures that could be employed throughout the construction phase of the development is available from Department of Environment and Natural Resources.
9. The Surveyor-General advises you should immediately make application for unit/street addresses to the Survey and Land Records unit on (08) 89955362 (surveylandrecords@nt.gov.au)
10. The development and use hereby permitted should be designed, constructed, registered and operate in accordance with the NT Public Health Act and Regulations, the NT Food Act and National Food Safety Standards.
11. The Aboriginal Areas Protection Authority recommends that the permit holder obtain an Authority Certificate to indemnify against prosecution under the Aboriginal Sacred Sites Act. For advice on how to obtain a certificate please contact the Aboriginal Areas Protection Authority.
12. If you choose nbn to service your development, you will need to enter into a development agreement with nbn. The first step is to register the development via <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments.html> once registered nbn will be in contact to discuss the specific requirements for the development. Nbn requires you to apply at least 3 months before any civil works commence. All telecommunications infrastructure should be built to nbn guidelines found at <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments/builders-designers.html>
13. This permit will expire if one of the following circumstances applies:
 - (a) the development and use is/are not started within two years of the date of this permit; or
 - (b) the development is not completed within four years of the date of this permit.The consent authority may extend the periods referred to if a request is made in writing before the permit expires.

DRAWING SCHEDULE

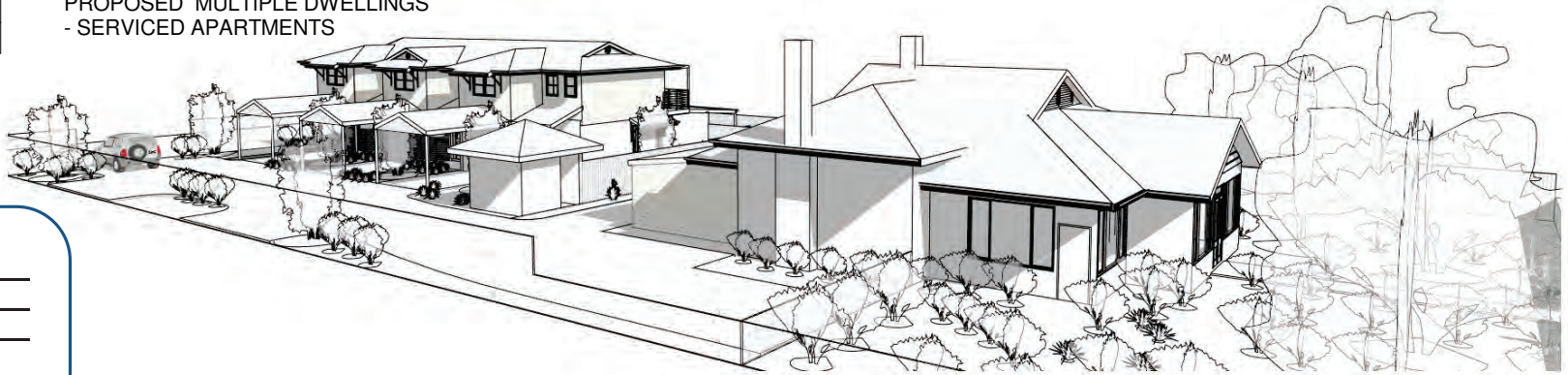
Sheet No.	DRAWING TITLE
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A01	TITLE PAGE
A02	SITE PLAN
A03	GROUND FLOOR PLAN
A04	FIRST FLOOR PLAN
A05	ELEVATIONS 01
A06	ELEVATIONS-02
A07	HARTLEY STREET ELEVATION
A08	OVERLAY GOOGLE IMAGE

PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS

Lot 179, No 80 HARTLEY STREET, ALICE SPRINGS NT 0870

PROPOSED MULTIPLE DWELLINGS
- SERVICED APARTMENTS



SOUTH ELEVATION

EXISTING BUILDING (RESTAURANT)

This document contains drawing numbers:
PA2018/0224/01 to PA2018/0224/07

Referred to in Permit No: **DP18/0256**

Issued by the consent authority on: **17 / 10 / 2018**

All drawings contained within this document have been authorised
by the delegate of the consent authority.

2018.10.17

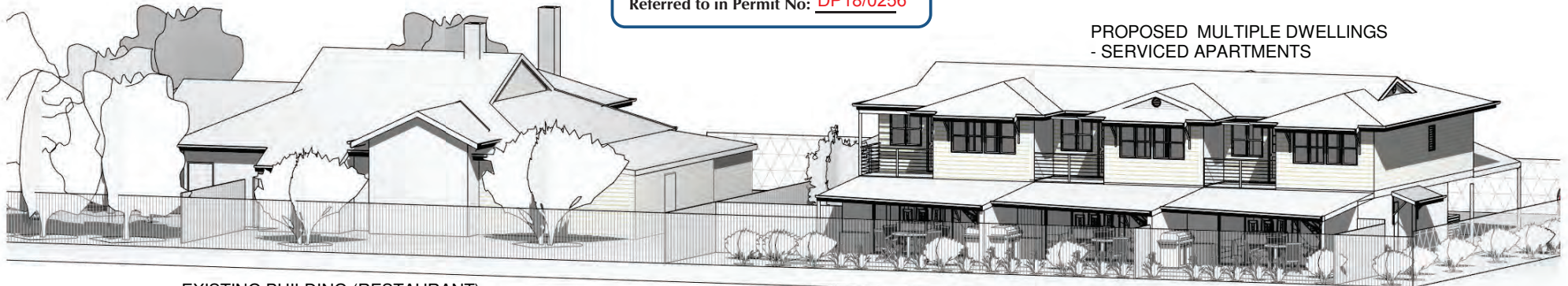
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Delegate

Drawing number **PA2018/0224/01**

Referred to in Permit No: **DP18/0256**

PROPOSED MULTIPLE DWELLINGS
- SERVICED APARTMENTS



EXISTING BUILDING (RESTAURANT)

NORTH ELEVATION

The attached plans are endorsed as a satisfactory
design response to Conditions Precedent 1 & 2 of
Development Permit DP18/0256

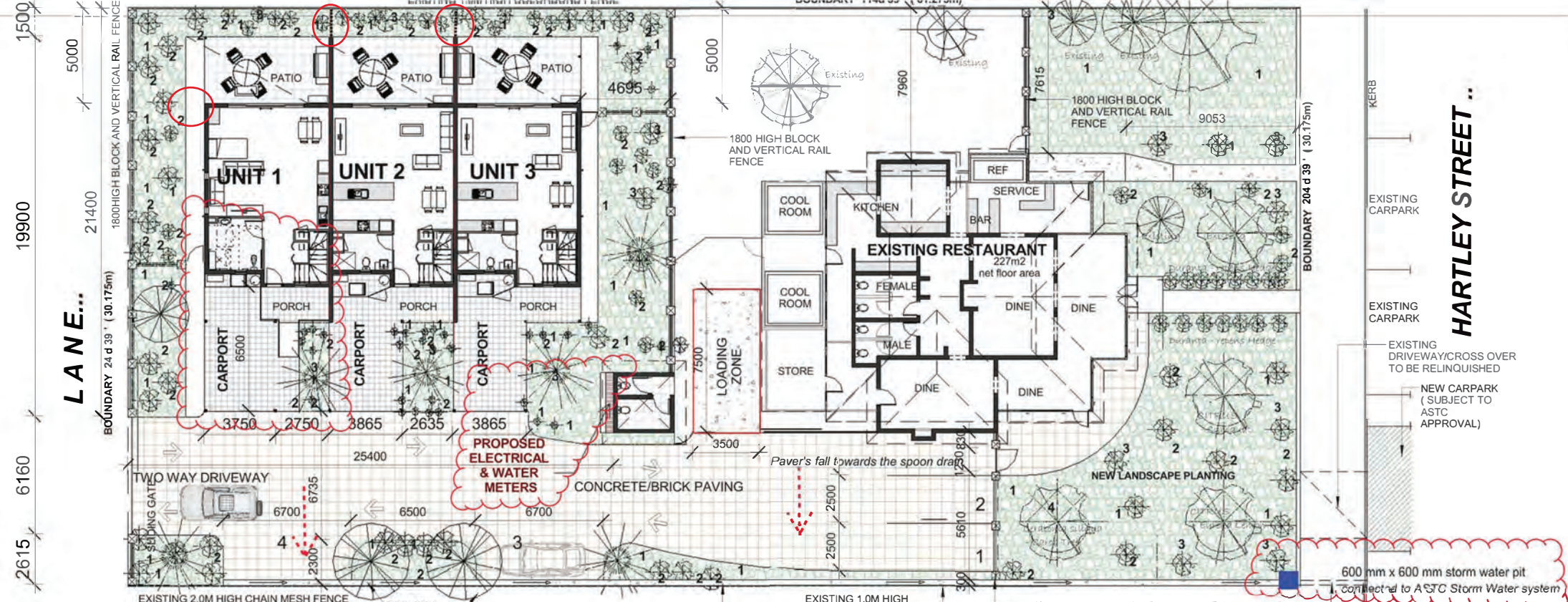
2018.10.17

15:56:28 +09'30'

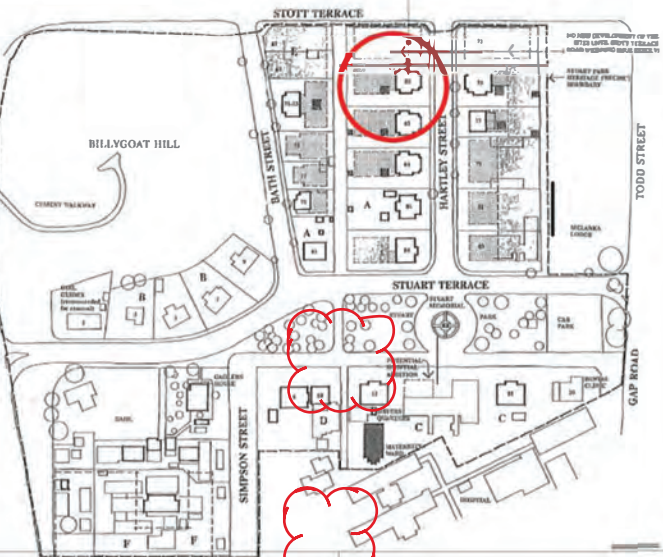
Peter Somerville
Delegate of the Development Consent Authority



		STEVE ADLER BUILDING DESIGN	Client TRISTATE PTY. LTD.	Title TITLE PAGE	Issue B
		ABN 269 213 42137	Project PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS	Date 22-05-2018	Job No 1808
		P : 0411 605 650 E : steve.adler@mlmode.on.net	Address LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870	Drawing No A01	
No	DESCRIPTION	DATE			



LOT 179, No 80 HARTLEY STREET



BOUNDARY 294d 39' (61.275m)

PROVIDE 300WIDE CONCRETE SPOON DRAIN WITH AN UPRIGHT KERB TO DISCHARGE INTO EXISTING STORMWATER DRAINAGE SYSTEM

Site
Scale: 1 : 200

LANDSCAPE LEGEND

<p>1 Ground Covers, Grasses, Plants - 0.6m high</p> <ul style="list-style-type: none"> <i>E.subterrefolia</i> <i>Gazania regens</i> <i>Myoporum pavifolium</i> <i>Myoporum pavifolium purpurea</i> 	<p>3 Trees / Shrubs - 1.5m to 4.0m high</p> <ul style="list-style-type: none"> <i>Acacia Holosericea</i> <i>Acacia Murraysana</i> <i>Atalya Hemiglauca</i> <i>Capparis Mitchellii</i> <i>Citrus</i> <i>Dodonaea Viscosa ssp.</i> <i>Hakea Suberea</i> <i>Melaleuca Acuminatum</i> <i>Myoporum Acuminatum</i> <i>Punica granatum (Pomegranate)</i> <i>Pitt sporum Phylliraoides</i> <i>Sensia Artemisioides ssp.</i>
<p>2 Shrubs - 0.6m to 1.5m high</p> <ul style="list-style-type: none"> <i>Duranta repens</i> <i>Eremophila maculata subsp. brevifolia</i> <i>E.drummondixnivea</i> <i>E.youngii ssp.lepidosa</i> <i>Festuca glauca</i> <i>Lomandra longifolia</i> <i>Larex frosted curvis</i> <i>Larex petriei</i> <i>Rosemary Blue Lagoon</i> <i>Rosmarinus lavandulaceus</i> <i>Rosmarinus officinalis</i> 	<p>4 Trees - 4.0m to 10m high</p> <ul style="list-style-type: none"> <i>Ceratonia siliqua - Carob Tree</i> <i>Lagerstroemia indica (Crape Myrtle)</i>

Area Schedule	
Per unit	Area
U1-Balcony	6 m ²
U1-carport/porch/ service area	32 m ²
U1-First floor	54 m ²
U1-ground floor	60 m ²
U1-patio	24 m ²
U2- ground floor	59 m ²
U2-Balcony	5 m ²
U2-carport/porch/ service area	33 m ²
U2-First floor	53 m ²
U2-patio	23 m ²
U3- ground floor	60 m ²
U3-Balcony	6 m ²
U3-carport/porch/ service area	33 m ²
U3-First floor	54 m ²
U3-patio	24 m ²
Total	524 m²

2/125 x 75 HOT DIPPED GALVANIZED DRAINAGE PIPES TO CONNECT INTO KERB AND GUTTER SUBJECT TO ASTC APPROVAL



PRECINCT DEVELOPMENT PLAN

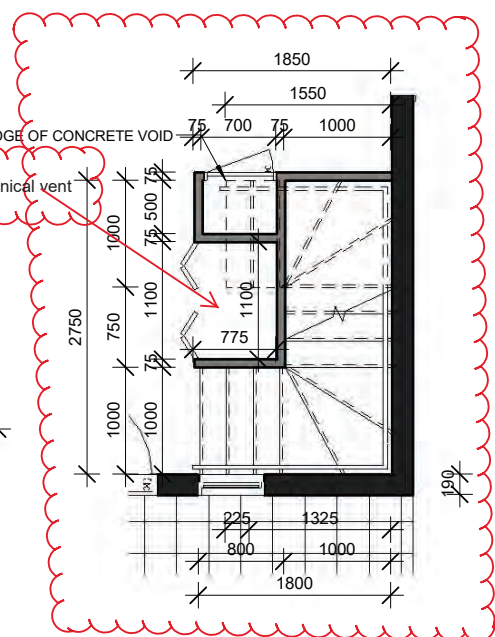


Drawing number **PA2018/0224/02**
Referred to in Permit No: **DP18/0256**

No	DESCRIPTION	AMENDMENTS	DATE	INIT
3	UNIT 1 GATES UPDATED		17/10/2018	
3	PROPOSED ELECTRICAL & WATER METERS; UNIT 1 GROUND FLOOR UPDATED		27/09/2018	
1	FGA CONSTRUCTION		10/08/2018	

BUILDING DESIGN
STEVE ADLER BUILDING DESIGN
ADV 209 213 8213
P.O. Box 8731, Alice Springs, NT 0871
ph 08 89555692
Mobile 0411605659
email steveadler@nternode.on.net

CLIENT	TRISTATE PTY. LTD.	SHEET No	A02	AMEND	SHEET SIZE A3
LOCATION	LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870	DATE	24/09/2018		
TITLE	PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS				
DRAWING	SITE PLAN, LANDSCAPE PLAN				
DRAWING No	1808				



1 Stair Detail
Scale: 1 : 50

15 RISERS AT 165mm
TREADS 250mm + 25mm GOING
STAIRS AND BALUSTRADING TO COMPLY WITH
NCC REQUIREMENTS

2 Ground Floor Plan
Scale: 1 : 100

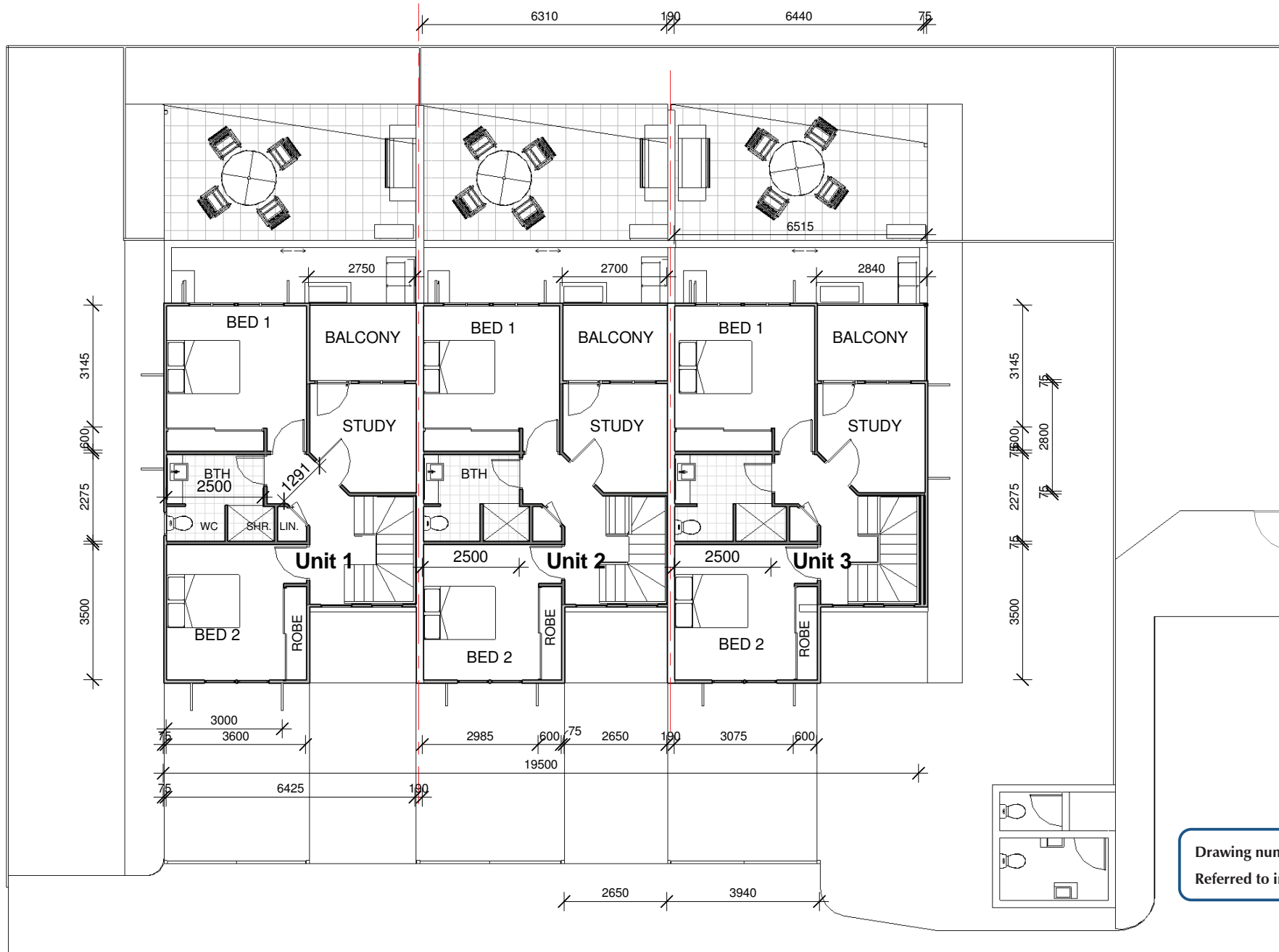


No	DESCRIPTION	DATE	INIT.
2	UNIT 1 GROUND FLOOR UPDATED	27/09/2018	
1	FOR CONSTRUCTION	10/08/2018	
	AMENDMENTS		

STEVE ADLER BUILDING DESIGN
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CLIENT TRISTATE PTY. LTD.		SHEET No A3	
LOCATION LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870		AMEND.	
TITLE PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS		SHEET SIZE A3	
DRAWING GROUND FLOOR PLAN		DATE 10/08/2018	
DRAWING No 1808	DATE 10/08/2018	SHEET No A03	AMEND.

Drawing number **PA2018/0224/03**
 Referred to in Permit No: **DP18/0256**



Drawing number **PA2018/0224/04**
 Referred to in Permit No: **DP18/0256**

First Floor Plan
 Scale: 1 : 100



No.	DESCRIPTION	DATE	STEVE ADLER BUILDING DESIGN ABN 269 213 42137 P : 0411 605 650 E : steve.adler@mlermode.on.net P.O. BOX 8731 ALICE SPRINGS NT 0871	Client TRISTATE PTY. LTD.	Title FIRST FLOOR PLAN	Issue B
				Project PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS		Date 22-05-2018
			Address LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870			Drawing No A04

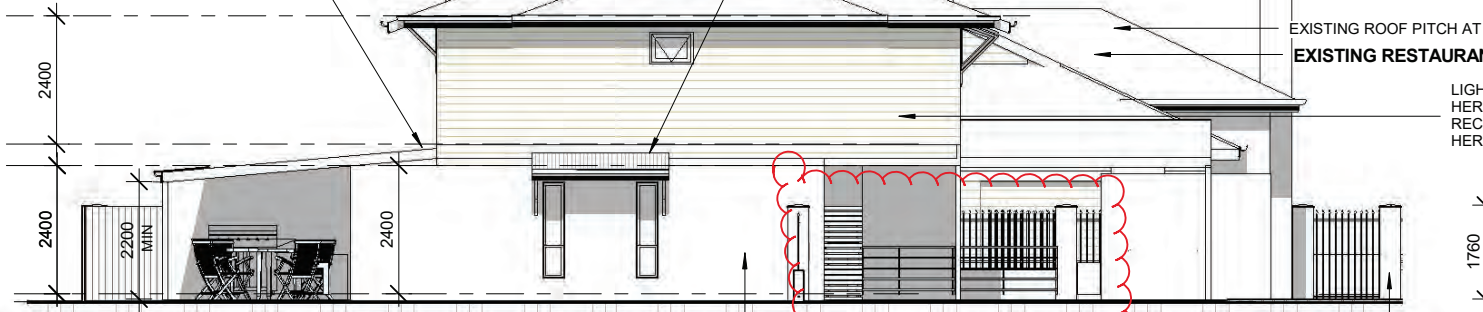
PATIO ROOF PITCH AT 5 DEGREES
CORROGATED IRON ROOF SHEETING
PROVIDE FLASHINGS AT WALL/ BALCONY /
ROOF JUNCTIONS
REFER ENGINEERS DETAILS

PROPOSED SERVICE APARTMENTS
NOMINAL ROOF HEIGHT FROM FFL
EXISTING RESTAURANT NOMINAL
ROOF HEIGHT FROM FFL
AWNING AS PER ENGINEERS DETAILS
ROOF SHEETING AND PITCH TO MATCH ROOF

PROPOSED SERVICED APARTMENTS

EXISTING ROOF PITCH AT NOMINAL 25 DEGREES
EXISTING RESTAURANT

LIGHT WEIGHT CLADDING. PAINTED AS PER
HERITAGE COLOURS LISTED IN THE
RECOMMENDATION GUIDELINES IN THE
HERITAGE ACT.



WEST ELEVATION

Scale: 1 : 100

RENDERED AND PAINTED
BLOCKWORK TO GROUND
FLOOR EXTERNAL WALLS

RENDERED AND PAINTED BLOCK PIER FENCE WITH
VERTICAL RAIL PICKETS
REFER MANUFACTURERS / ENGINEERS DETAILS

JAMES HARDIE WEATHERBOARD CLADDING TO
FIRST FLOOR WALLS AND GABLE ENDS
(INCLUDING CARPORTS). PAINTED AS PER
HERITAGE COLOURS LISTED IN THE
RECOMMENDATION GUIDELINES IN THE
HERITAGE ACT.

LOUVRED GABLE ENDS

ROOF PITCH AT 20 DEGREES
CORROGATED IRON ROOF SHEETING TO MATCH
EXISTING PRECINCT ROOVES

PRESSED METAL COLORBOND FASCIA AND "D"
GUTTER IN HERITAGE COLOURS (TYPICAL)
DOUBLE HUNG POWDER COATED ALUMINIUM
WINDOW FRAMES IN HERITAGE COLOUR (TYPICAL)

PROVIDE APRON FLASHING AT WALLS TO
ROOF JUNCTIONS (TYPICAL)

AWNING AS PER ENGINEERS DETAILS
ROOF SHEETING AND PITCH TO MATCH ROOF



SOUTH ELEVATION

Scale: 1 : 100

SCREEN SLATS TO
MANUFACTURERS DETAILS

ROOF TRUSSES AND 4.5mm FC
CEILING LINING TO CARPORTS

RENDERED AND PAINTED BLOCK PIER FENCE
WITH VERTICAL RAIL PICKETS
REFER MANUFACTURERS / ENGINEERS DETAILS

PAINTED STEEL COLUMNS TO
ENGINEERS DETAILS



Drawing number **PA2018/0224/05**
Referred to in Permit No: **DP18/0256**



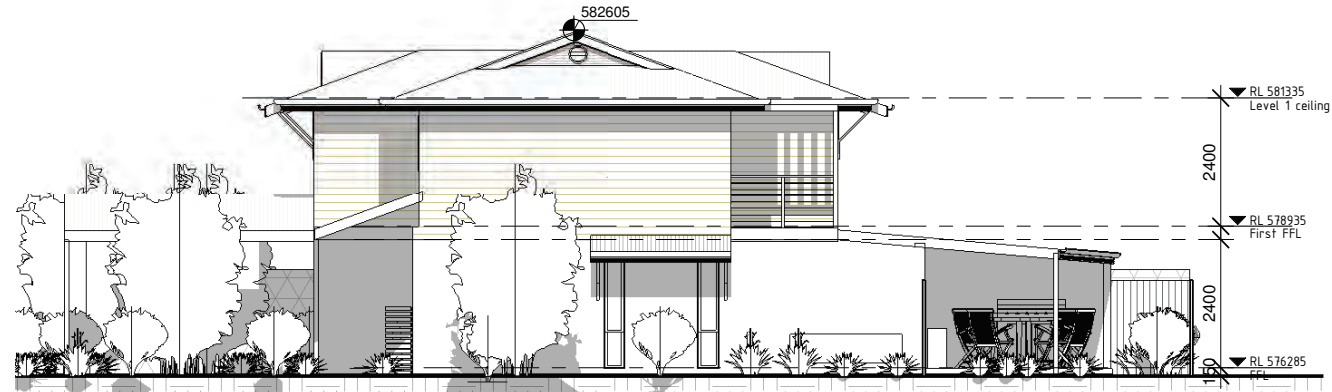
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2	UNIT 1 GROUND FLOOR UPDATED	27/09/2018	
1	FOR CONSTRUCTION	10/08/2018	
No	DESCRIPTION	DATE	INIT.

STEVE ADLER BUILDING DESIGN
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Mobile 0411605659
email steveadler@nternode.on.net

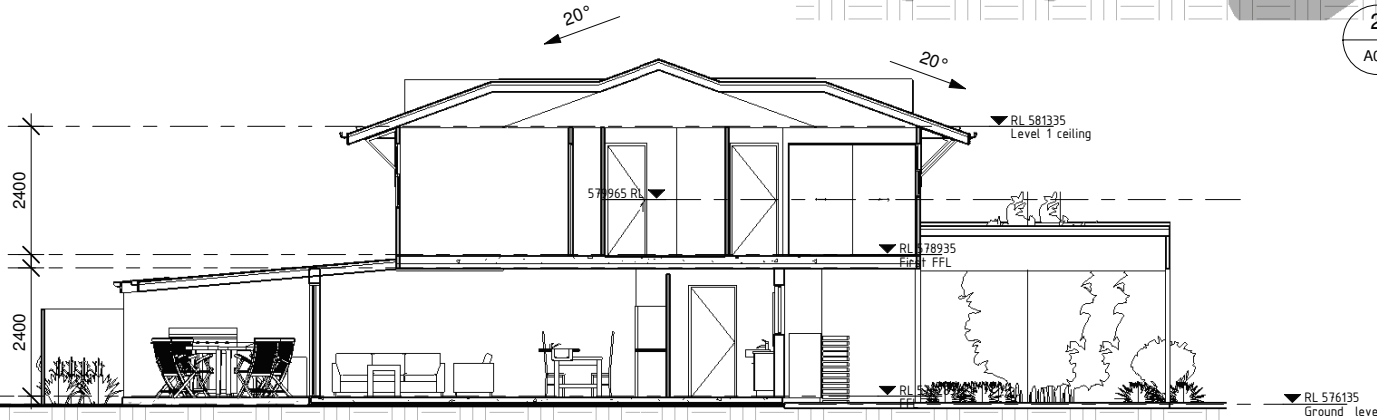
CLIENT	TRISTATE PTY. LTD.
LOCATION	LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870
TITLE	PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS
DRAWING	ELEVATIONS 01
DRAWING No	1808
DATE	10/08/2018
SHEET No	A05
AMEND	
SHEET SIZE	A3



1 NORTH ELEVATION
A06 Scale: 1 : 100



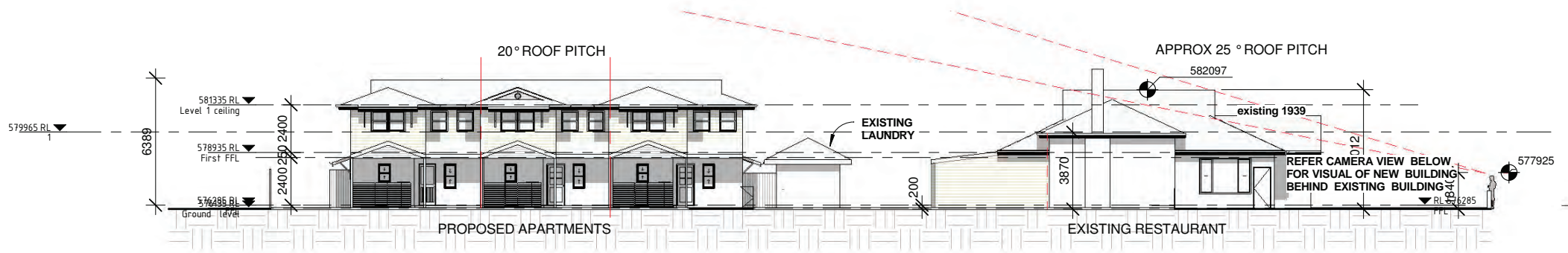
2 EAST ELEVATION
A06 Scale: 1 : 100



3 Section A
A06 Scale: 1 : 100

Drawing number **PA2018/0224/06**
Referred to in Permit No: **DP18/0256**

STEVE ADLER BUILDING DESIGN ABN 269 213 42137 P : 0411 605 650 E : steve.adler@mlmmodo.on.net P.O. BOX 8731 ALICE SPRINGS NT 0871		Client TRISTATE PTY. LTD. Project PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS Address LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870	Title ELEVATIONS-02	Issue B Date 22-05-2018 Job No 1808 Drawing No A06
No	DESCRIPTION	DATE		



1 SOUTH ELEVATION.
Scale: 1 : 200



3 3D View - Hartley Street
Scale:

FRONT FACADE TO BE REFURBISHED TO NEAR ORIGINAL FINISH, WITH THE PAINTING OF GUTTERS, BARGES, CLADDING, WALLS, WINDOW TRIMS, NEW DOOR TO MATCH ORIGINAL, CONCEAL OR RE-LOCATE A/C UNITS.

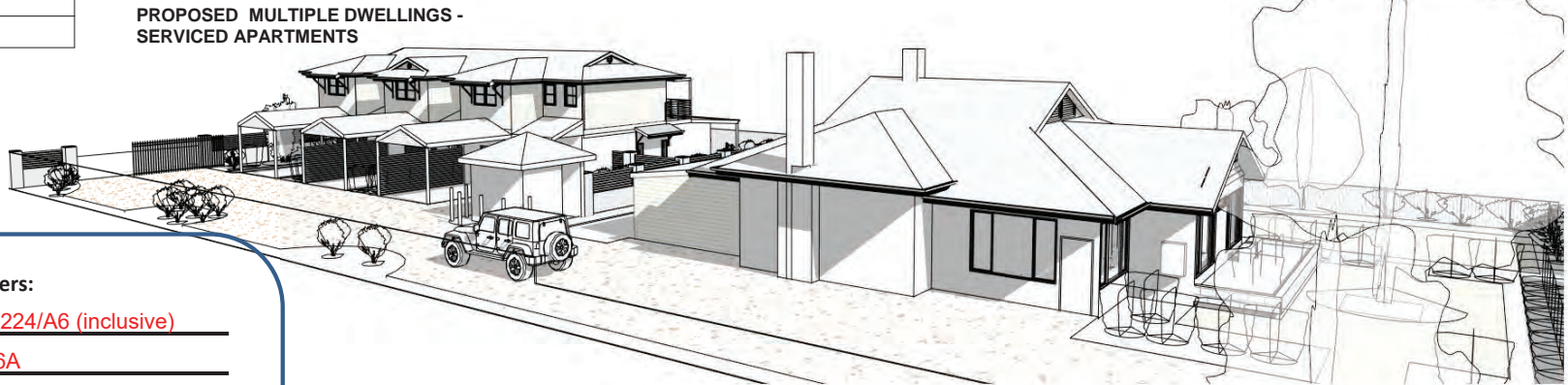
Drawing number PA2018/0224/07
Referred to in Permit No: DP18/0256

No	DESCRIPTION	DATE	STEVE ADLER BUILDING DESIGN ABN 269 213 42137 P : 0411 605 656 E: steveadler@mlmmodo.on.net P.O. BOX 8731 ALICE SPRINGS NT 0871	Client TRISTATE PTY. LTD. Project PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS Address LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870	Title HARTLEY STREET ELEVATION	Issue B Date 22-05-2018 Job No 1808 Drawing No A07
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DRAWING SCHEDULE	
Sheet No.	DRAWING TITLE
A01	TITLE PAGE
A02	SITE PLAN, LANDSCAPE PLAN
A03	AREA SCHEDULE
A04	GROUND FLOOR PLAN
A05	FIRST FLOOR PLAN
A06	ELEVATIONS 01
A07	ELEVATIONS 02

PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS

Lot 179, No 80 HARTLEY STREET, ALICE SPRINGS NT 0870



PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS

SOUTH ELEVATION

EXISTING BUILDING (RESTAURANT)

This document contains drawing numbers:

PA2018/0224/A1 to PA2018/0224/A6 (inclusive)

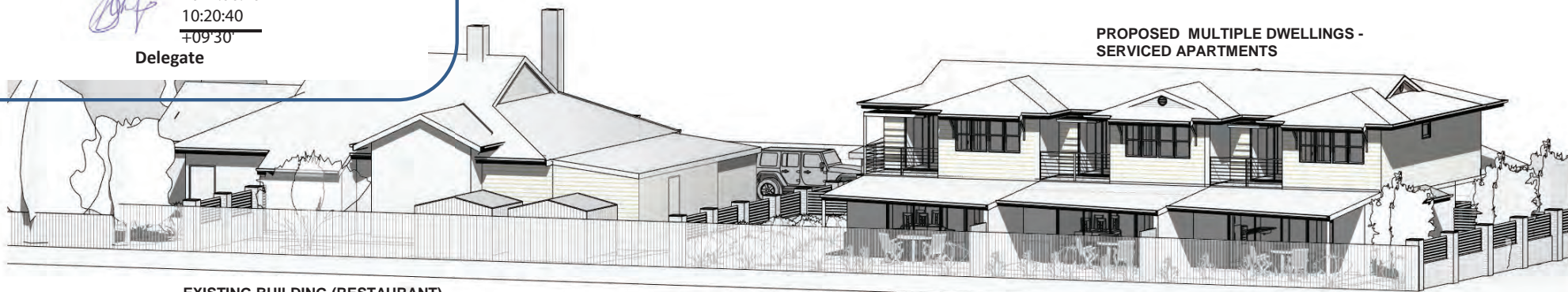
Referred to in Permit No: DP18/0256A

Issued by the consent authority on: 28 June 2021

All drawings contained within this document have been authorised by the delegate of the consent authority.

Suzanne Philip
2021.06.28
10:20:40
+09'30'

Delegate



EXISTING BUILDING (RESTAURANT)

NORTH ELEVATION

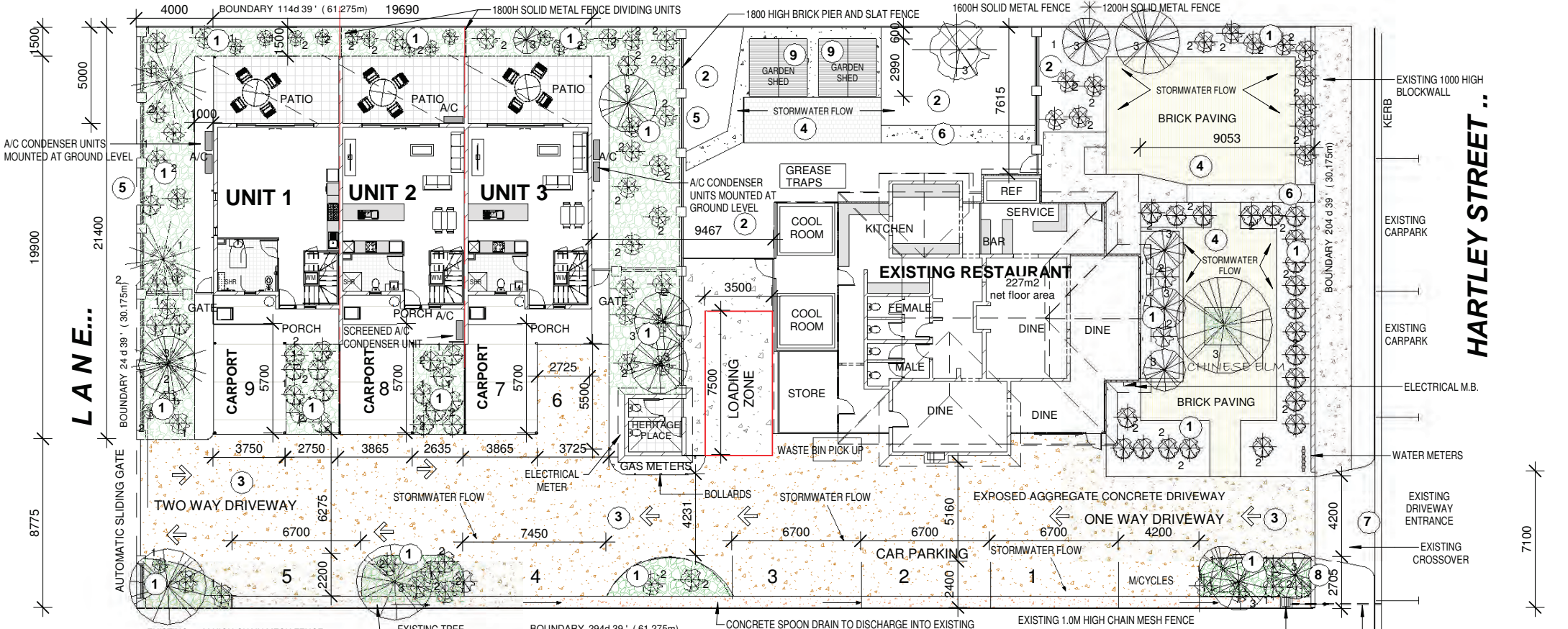
PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS

4	A/C CONDENSER UNITS MOUNTED AT GROUND LEVEL. UNIT 2 A/C CONDENSER UNIT SCREENED FROM DRIVEWAY.	03.06.21	
3	PAWA SEWERAGE CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.04.21	
2	PAWA ELECTRICAL CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	14.04.21	
1	HERITAGE ACT CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN APPROVED BY MINISTER DATED 08.04.2021	08.04.21	
0	ASTC CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.02.21	
No	DESCRIPTION	DATE	INIT.
	AMENDMENTS		

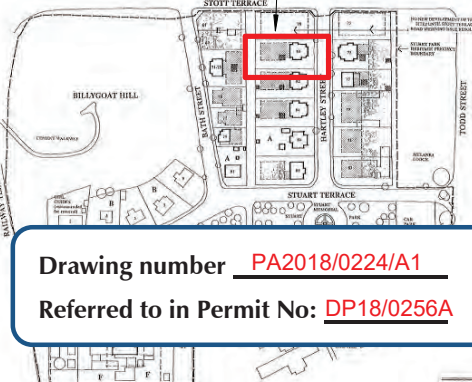
BUILDING DESIGN
ABN 269 213 42137

STEVE ADLER BUILDING DESIGN
P.O. Box 8731, Alice Springs, NT.0871
Mobile 0411605659
email steveadler@internode.on.net

CLIENT	TRISTATE PTY. LTD.
LOCATION	LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870
TITLE	PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS
DRAWING	TITLE PAGE
DRAWING No	2104
DATE	3.06.2021
SHEET No	A01
AMEND	4
SHEET SIZE	A3



LOT 179, No 80 HARTLEY ST



Drawing number **PA2018/0224/A1**
 Referred to in Permit No: **DP18/0256A**

Site
 A02 Scale: 1 : 200

NOTE : ROOF RAINWATER TO BE SPREAD OVER SPLASH PADS AND DISCHARGE INTO GARDEN BEDS AND CONCRETE SPOON DRAIN AS PER ASTC REQUIREMENTS

LANDSCAPING SCHEDULE

- 1 Ground Covers, Grasses, Plants - 0.6m high**
E.subterrefolia
Gazania regens
Myoporum pavifolium
Myoporum pavifolium purpurea
- 2 Shrubs - 0.6m to 1.5m high**
Duranta repens
E.drummondianivea
E.youngii ssp.lepidosa
Festuca glauca
Lomandra longifolia
Larex frosted curls
Larex petriei
Rosemary Blue Lagoon
Rosmarinus lavandulaceus
Rosmarinus officinalis

- 3 Trees / Shrubs - 1.5m to 4.0m high**
Acacia Holoserices
Acacia Murrayana
Atalya Hemiglauca
Capparis Mitchellii
Citrus
Dodonaea Viscosa ssp.
Hakea Suberea
Melaleuca Acuminatum
Myoporum Acuminatum
- 4 Trees - 4.0m to 10m high**
Cerantonia silliqua - Carol Tree
Lagerstroemia indica (Crepe Myrtle)
Chinese Elm

Area Schedule	
Per unit	Area
U1-Balcony	6 m ²
U1-carport/porch/ service area	32 m ²
U1-First floor	54 m ²
U1-ground floor	60 m ²
U1-patio	24 m ²
U2- ground floor	59 m ²
U2-Balcony	5 m ²
U2-carport/porch/ service area	33 m ²
U2-First floor	53 m ²
U2-patio	23 m ²
U3- ground floor	60 m ²
U3-Balcony	6 m ²
U3-carport/porch/ service area	33 m ²
U3-First floor	54 m ²
U3-patio	24 m ²
Total	524 m²

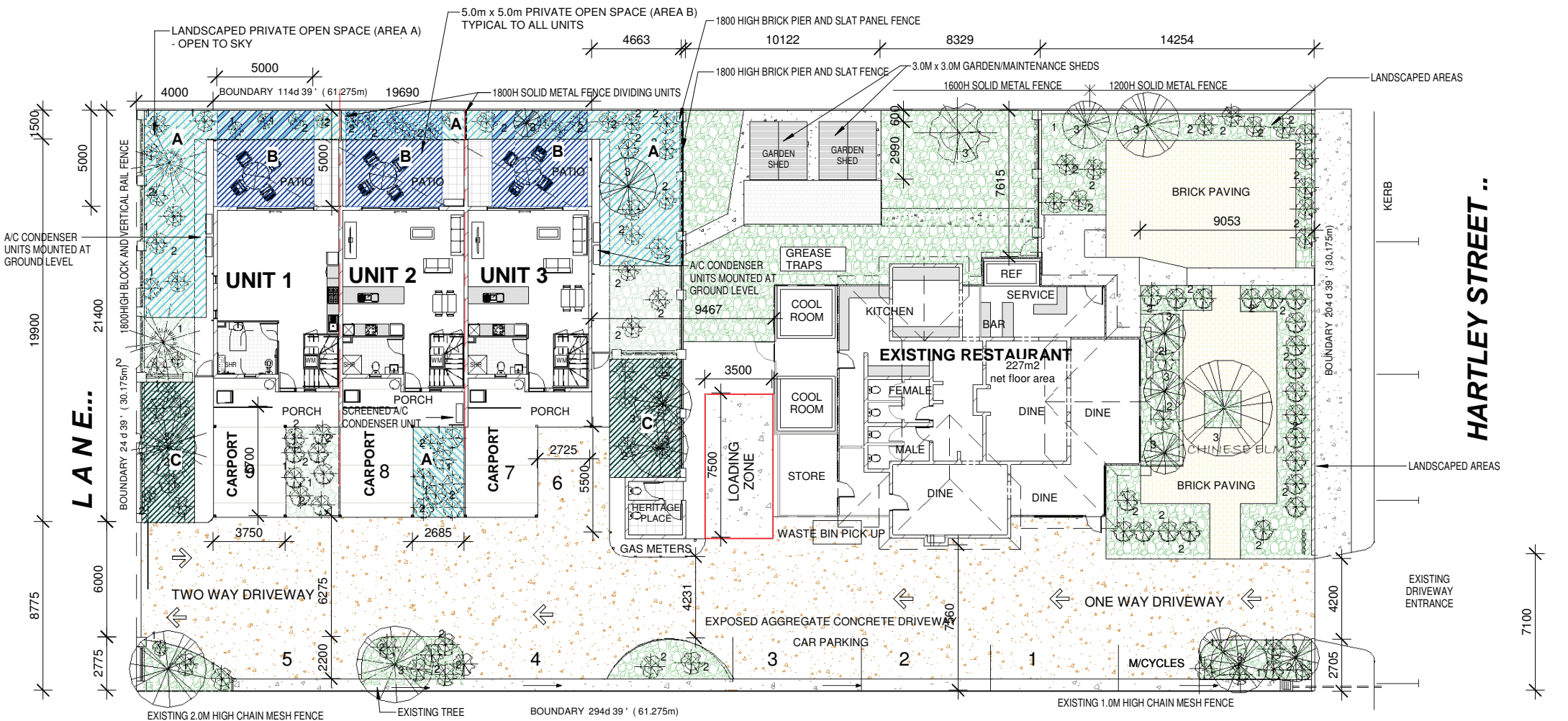
600 x 600 GRATED SUMP
 2/125 x 75 GALVANIZED DRAINAGE PIPES TO CONNECT INTO KERB AND GUTTER ASTC REQUIREMENTS

- LANDSCAPING LEGEND**
- 1 MULCH/GARDEN BED
 - 2 NATURAL PERVIOUS SURFACE
 - 3 EXPOSED AGGREGATE CONCRETE DRIVEWAY
 - 4 BRICK PAVING
 - 5 1.8M HIGH BRICK PIER FENCE AND HORIZONTAL SLAT FENCE PANELS
 - 6 CONCRETE PATH
 - 7 EXISTING CONCRETE CROSSOVER
 - 8 LETTER BOXES
 - 9 3.0M x 3.0M GARDEN SHED

No	DESCRIPTION	DATE	INIT.
4	A/C CONDENSER UNITS MOUNTED AT GROUND LEVEL. UNIT 2 A/C CONDENSER UNIT SCREENED FROM DRIVEWAY.	03.06.21	
3	PAWA SEWERAGE CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.04.21	
2	PAWA ELECTRICAL CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	14.04.21	
1	HERITAGE ACT CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN APPROVED BY MINISTER DATED 08.04.2021	08.04.21	
0	ASTC CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.02.21	

STEVE ADLER BUILDING DESIGN
 P.O. Box 8731, Alice Springs, NT, 0871
 Mobile 0411605659
 email steveadler@internode.on.net

CLIENT	TRISTATE PTY. LTD.
LOCATION	LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870
TITLE	PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS
DRAWING NAME	SITE PLAN, LANDSCAPE PLAN
DRAWING No	2104
DATE	3.06.2021
SHEET No	A02
AMEND	4
SHEET SIZE	A3

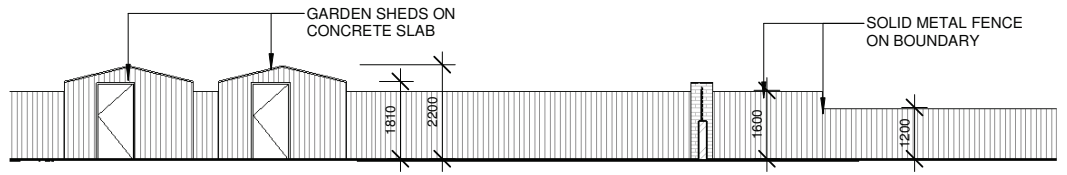


PRIVATE OPEN SPACE (P.O.S.) AREA SCHEDULE
(Single Dwelling on lot no less than 450m2)

	MINIMUM AREAS OF PRIVATE OPEN SPACE	UNIT 1	UNIT 2	UNIT 3
Dwelling-multiple with direct ground level access	AREA A	45m2	22.2m2 (variation)	45m2
	AREA B	25m2	25m2	25m2
	BALCONY AREA	5.3m2	5.3m2	5.3m2
	COMMON AREA	42.6m2		

AREASm2	
SITE AREA	1840m2
LANDSCAPING	650.5m2 (35.35%)

Drawing number **PA2018/0224/A2**
Referred to in Permit No: **DP18/0256A**



GARDEN SHEDS AND NORTH BOUNDARY FENCE ELEVATION

1 Area Schedule, Private Open Spaces
Scale: 1 : 200

No	DESCRIPTION	DATE	INT.
4	A/C CONDENSER UNITS MOUNTED AT GROUND LEVEL. UNIT 2 A/C CONDENSER UNIT SCREENED FROM DRIVEWAY.	03.06.21	
3	PAWA SEWERAGE CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.04.21	
2	PAWA ELECTRICAL CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	14.04.21	
1	HERITAGE ACT CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN APPROVED BY MINISTER DATED 08.04.2021	08.04.21	
0	ASTC CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.02.21	
	AMENDMENTS		

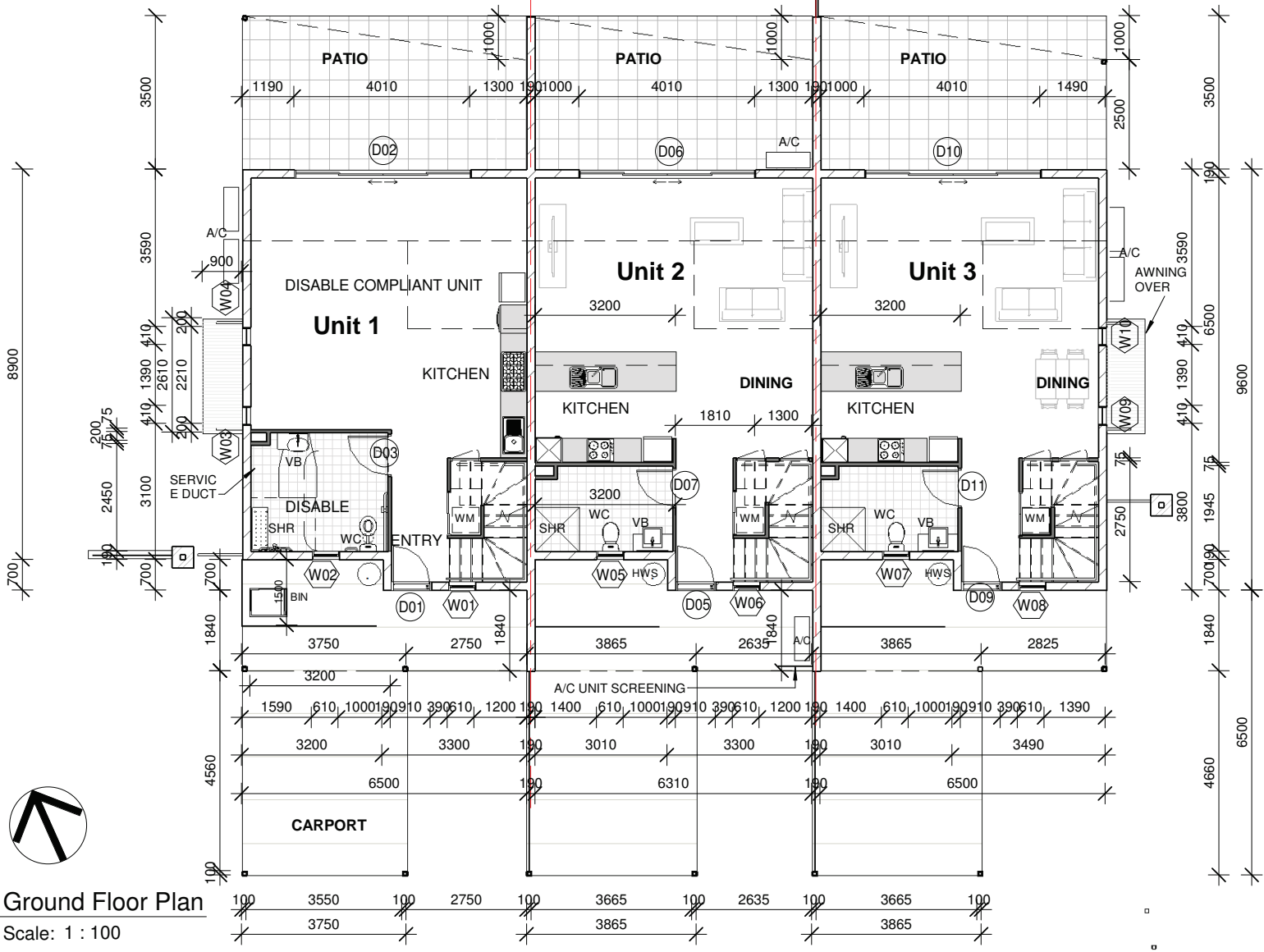
BUILDING DESIGN
ABN 269 213 42137

STEVE ADLER BUILDING DESIGN
P.O. Box 8731, Alice Springs, NT. 0871
Mobile 0411605659
email steveadler@internode.on.net

CLIENT	TRISTATE PTY. LTD.
LOCATION	LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870
TITLE	PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS
DRAWING	AREA SCHEDULE
DRAWING No	2104
DATE	3.06.2021
SHEET No	A03
AMEND	4
SHEET SIZE	A3

19690																	
6500			190	6310			190	6500			190						
190		3200		3110		190		3200		3110		190					
190	440	2685	75	3110	190	2625	75	1300	75	1735	190	2725	75	1310	75	1725	190

190	6310			190	6310			190	6310			190
-----	------	--	--	-----	------	--	--	-----	------	--	--	-----



NOTE : MECHANICAL VENT TO LAUNDRY (TYPICAL TO ALL UNITS)

2 Ground Floor Plan
A04 Scale: 1 : 100

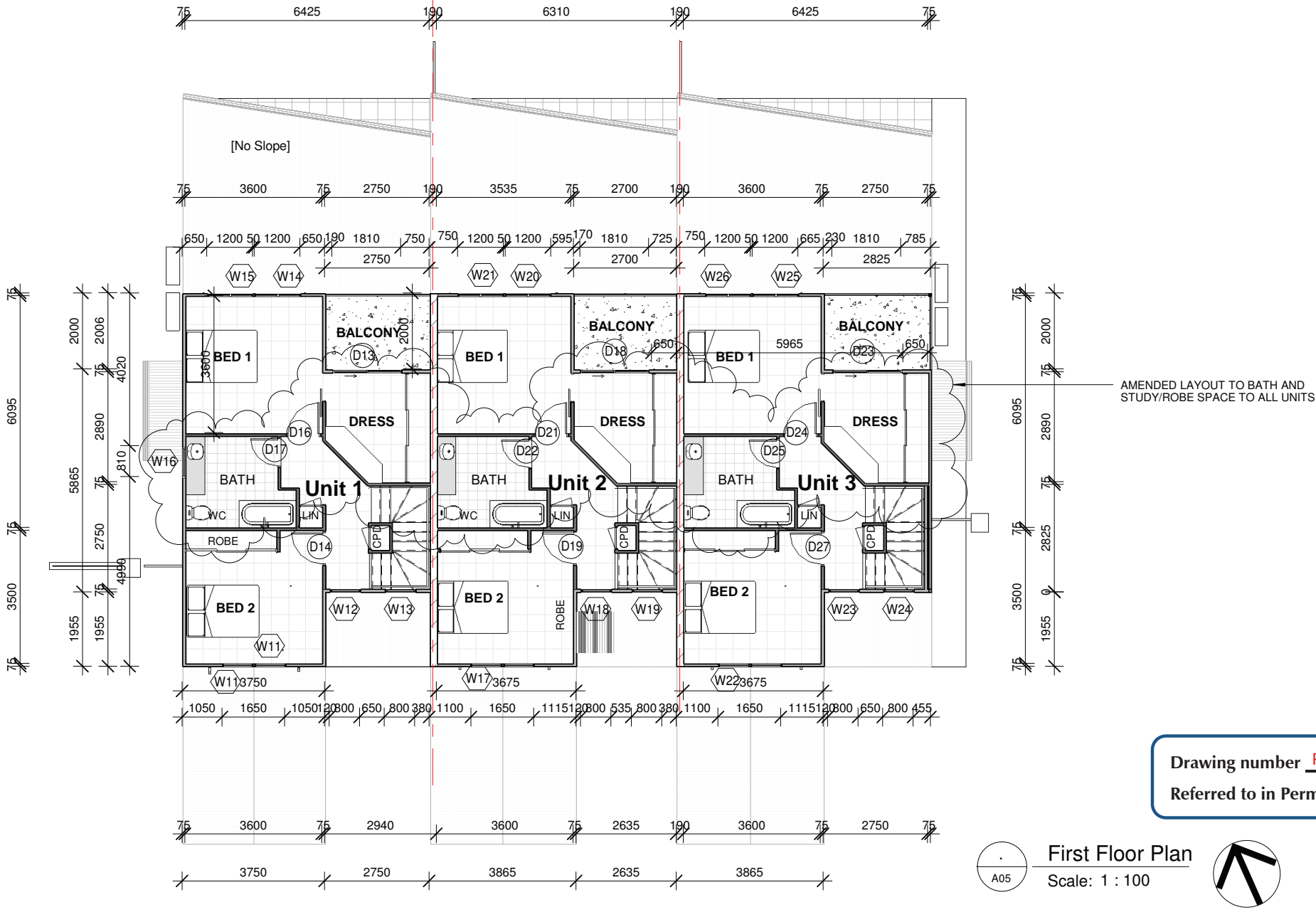
Drawing number **PA2018/0224/A3**
Referred to in Permit No: **DP18/0256A**

No	DESCRIPTION	DATE	INIT.
4	A/C CONDENSER UNITS MOUNTED AT GROUND LEVEL. UNIT 2 A/C CONDENSER UNIT SCREENED FROM DRIVEWAY.	03.06.21	
3	PAWA SEWERAGE CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.04.21	
2	PAWA ELECTRICAL CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	14.04.21	
1	HERITAGE ACT CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN APPROVED BY MINISTER DATED 08.04.2021	08.04.21	
0	ASTC CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.02.21	

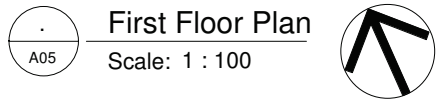
BUILDING DESIGN
ABN 269 213 42137

STEVE ADLER BUILDING DESIGN
P.O. Box 8731, Alice Springs, NT.0871
Mobile 0411605659
email steveadler@internode.on.net

CLIENT	TRISTATE PTY. LTD.
LOCATION	LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870
TITLE	PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS
DRAWING	GROUND FLOOR PLAN
DRAWING No	2104
DATE	3.06.2021
SHEET No	A04
AMEND	4
SHEET SIZE	A3



Drawing number PA2018/0224/A4
 Referred to in Permit No: DP18/0256A



No	DESCRIPTION	DATE	INIT.
4	A/C CONDENSER UNITS MOUNTED AT GROUND LEVEL. UNIT 2 A/C CONDENSER UNIT SCREENED FROM DRIVEWAY.	03.06.21	
3	PAWA SEWERAGE CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.04.21	
2	PAWA ELECTRICAL CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	14.04.21	
1	HERITAGE ACT CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN APPROVED BY MINISTER DATED 08.04.2021	08.04.21	
0	ASTC CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.02.21	
	AMENDMENTS		

BUILDING DESIGN
 ABN 269 213 42137

STEVE ADLER BUILDING DESIGN
 P.O. Box 8731, Alice Springs, NT. 0871 mobile 0411605659 email steveadler@internode.on.net

CLIENT	TRISTATE PTY. LTD.
LOCATION	LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870
TITLE	PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS
DRAWING	FIRST FLOOR PLAN
DRAWING No	2104
DATE	3.06.2021
SHEET No	A05
AMEND	4
SHEET SIZE	A3

PATIO ROOF PITCH AT 5 DEGREES
CORROGATED IRON ROOF SHEETING
PROVIDE FLASHINGS AT WALL/
BALCONY / ROOF JUNCTIONS -
REFER ENGINEERS DETAILS

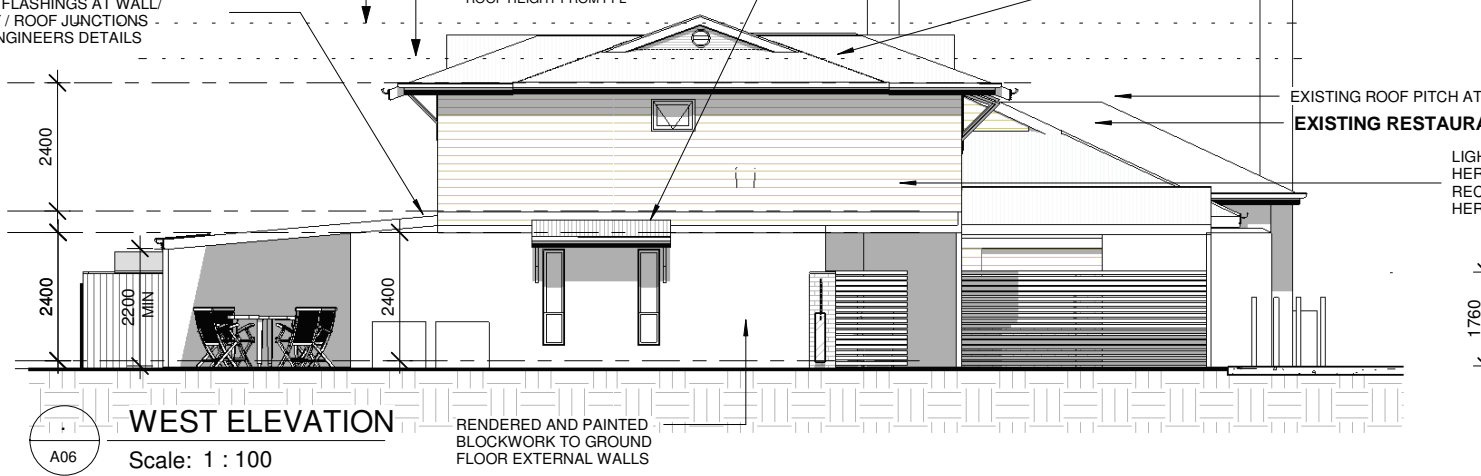
PROPOSED SERVICE APARTMENTS NOMINAL
ROOF HEIGHT FROM FFL
EXISTING RESTAURANT NOMINAL
ROOF HEIGHT FROM FFL

AWNING AS PER ENGINEERS DETAILS
ROOF SHEETING AND PITCH TO MATCH ROOF

PROPOSED SERVICED APARTMENTS

EXISTING ROOF PITCH AT NOMINAL 25 DEGREES
EXISTING RESTAURANT

LIGHT WEIGHT CLADDING, PAINTED AS PER
HERITAGE COLOURS LISTED IN THE
RECOMMENDATION GUIDELINES IN THE
HERITAGE ACT.



WEST ELEVATION

Scale: 1 : 100

RENDERED AND PAINTED
BLOCKWORK TO GROUND
FLOOR EXTERNAL WALLS

JAMES HARDIE WEATHERBOARD
CLADDING TO FIRST FLOOR WALLS AND
GABLE ENDS (INCLUDING CARPORTS),
PAINTED AS PER HERITAGE COLOURS
LISTED IN THE RECOMMENDATION
GUIDELINES IN THE HERITAGE ACT.

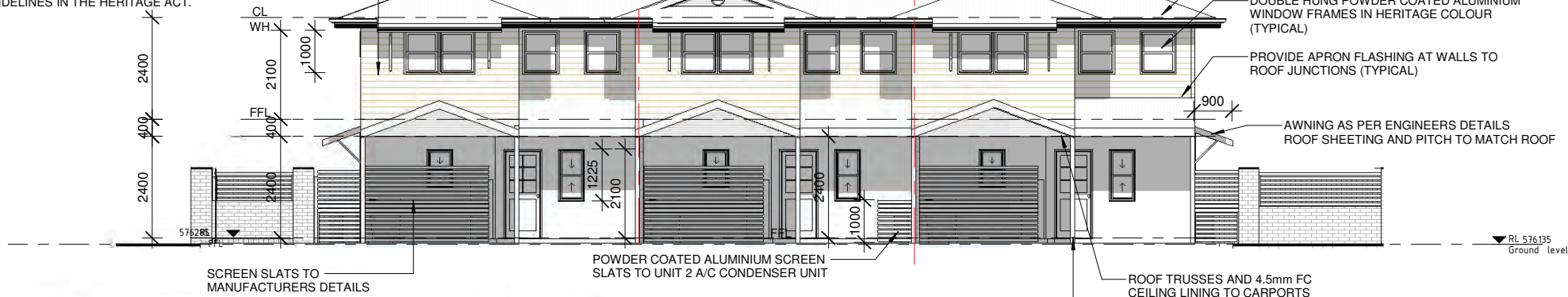
LOUVRED GABLE ENDS

ROOF PITCH AT 20 DEGREES
CORROGATED IRON ROOF SHEETING TO MATCH
EXISTING PRECINCT ROOVES

PRESSED METAL COLORBOND FASCIA AND "D"
GUTTER IN HERITAGE COLOURS (TYPICAL)
DOUBLE HUNG POWDER COATED ALUMINIUM
WINDOW FRAMES IN HERITAGE COLOUR
(TYPICAL)

PROVIDE APRON FLASHING AT WALLS TO
ROOF JUNCTIONS (TYPICAL)

AWNING AS PER ENGINEERS DETAILS
ROOF SHEETING AND PITCH TO MATCH ROOF



SOUTH ELEVATION

Scale: 1 : 100

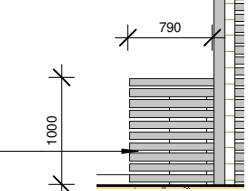
SCREEN SLATS TO
MANUFACTURERS DETAILS

POWDER COATED ALUMINIUM SCREEN
SLATS TO UNIT 2 A/C CONDENSER UNIT

ROOF TRUSSES AND 4.5mm FC
CEILING LINING TO CARPORTS

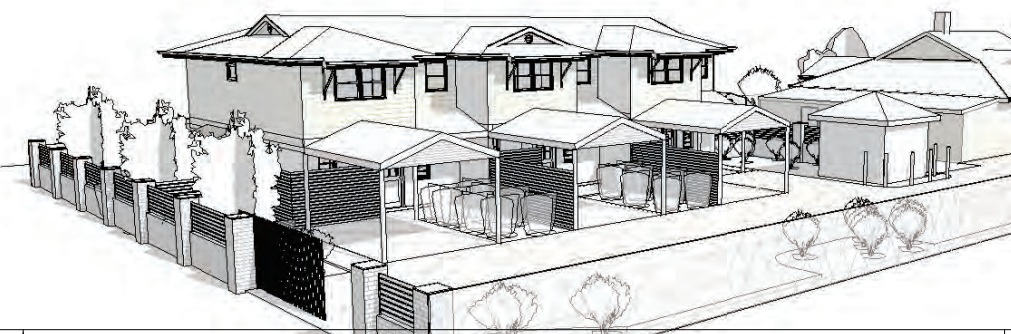
PAINTED STEEL COLUMNS TO
ENGINEERS DETAILS

POWDER COATED ALUMINIUM
SCREEN SLATS TO UNIT 2 A/C
CONDENSER UNIT



A/C SCREEN DETAIL

Scale: 1 : 50



Drawing number **PA2018/0224/A5**
Referred to in Permit No: **DP18/0256A**

No	DESCRIPTION	DATE	INIT.
4	A/C CONDENSER UNITS MOUNTED AT GROUND LEVEL. UNIT 2 A/C CONDENSER UNIT SCREENED FROM DRIVEWAY.	03.06.21	
3	PAWA SEWERAGE CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.04.21	
2	PAWA ELECTRICAL CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	14.04.21	
1	HERITAGE ACT CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN APPROVED BY MINISTER DATED 08.04.2021	08.04.21	
0	ASTC CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.02.21	
	AMENDMENTS		

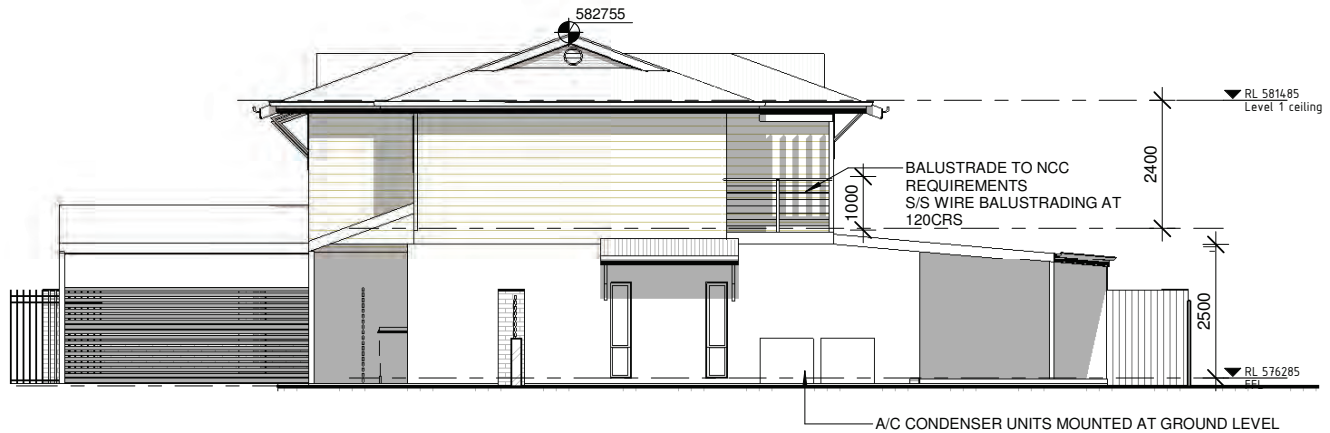
BUILDING DESIGN
ABN 269 213 42137

STEVE ADLER BUILDING DESIGN
P.O. Box 8731, Alice Springs, NT. 0871
Mobile 0411605659
email steveadler@internode.on.net

CLIENT	TRISTATE PTY. LTD.
LOCATION	LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870
TITLE	PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS
DRAWING ELEVATIONS 01	
DRAWING No	2104
DATE	3.06.2021
SHEET No	A06
AMEND	4
SHEET SIZE	A3



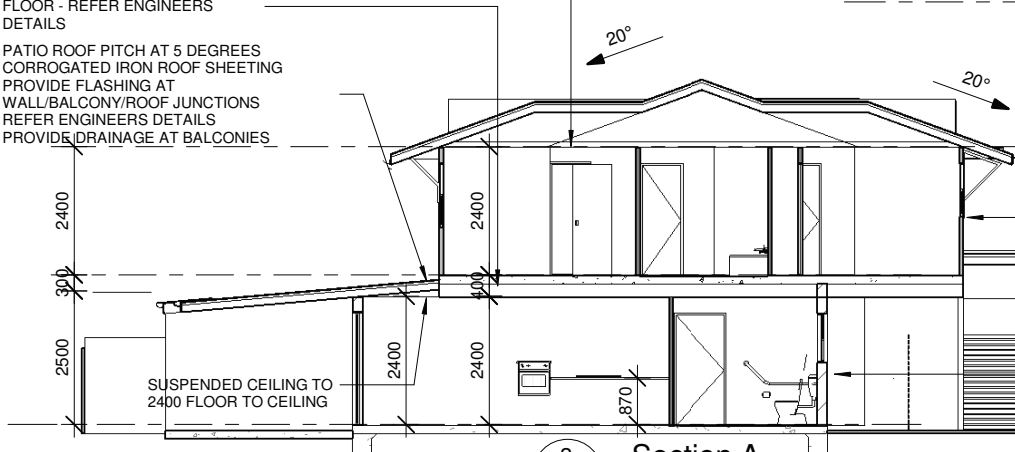
1 NORTH ELEVATION
A07 Scale: 1 : 100



2 EAST ELEVATION
A07 Scale: 1 : 100

ROOF PITCH AT 20 DEGREES
CORROGATED IRON ROOF SHEETING TO MATCH EXISTING PRECINCT ROOF
ROOF TRUSSES TO MANUFACTURERS DESIGN
CONCRETE SLAB TO FIRST FLOOR - REFER ENGINEERS DETAILS

PATIO ROOF PITCH AT 5 DEGREES
CORROGATED IRON ROOF SHEETING
PROVIDE FLASHING AT WALL/BALCONY/ROOF JUNCTIONS
REFER ENGINEERS DETAILS
PROVIDE DRAINAGE AT BALCONIES



3 Section A
A07 Scale: 1 : 100

JAMES HARDIE WEATHERBOARD CLADDING, PAINTED AS PER HERITAGE COLOURS LISTED IN THE RECOMMENDATION GUIDELINES IN THE HERITAGE ACT.

75mm STEEL WALL FRAMING TO FIRST FLOOR, MIN R2.5 INSULATION DESIGNED AND CERTIFIED BY MANUFACTURER

ROOF TRUSSES OVER CARPORT ROOF DESIGNED AND CERTIFIED BY MANUFACTURER
4.5mm FC CEILING LINING ON TS22 CEILING BATTENS
FC CLADDING TO CARPORT GABLE

200 SERIES BLOCKWALL TO GROUND FLOOR, RENDERED AND PAINTED

Drawing number **PA2018/0224/A6**
Referred to in Permit No: **DP18/0256A**

No	DESCRIPTION	DATE	INIT.
4	A/C CONDENSER UNITS MOUNTED AT GROUND LEVEL. UNIT 2 A/C CONDENSER UNIT SCREENED FROM DRIVEWAY.	03.06.21	
3	PAWA SEWERAGE CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.04.21	
2	PAWA ELECTRICAL CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	14.04.21	
1	HERITAGE ACT CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN APPROVED BY MINISTER DATED 08.04.2021	08.04.21	
0	ASTC CLEARANCE - AMENDMENT TO DP18/0256 - DRIVEWAY ENTRY TO PROPERTY FROM HARTLEY ST. TO REMAIN	16.02.21	
	AMENDMENTS		

BUILDING DESIGN
ABN 269 213 42137

STEVE ADLER BUILDING DESIGN
P.O. Box 8731, Alice Springs, NT. 0871 email steveadler@internode.on.net
Mobile 0411605659

CLIENT	TRISTATE PTY. LTD.
LOCATION	LOT 179 (No 80) HARTLEY STREET ALICE SPRINGS NT 0870
TITLE	PROPOSED MULTIPLE DWELLINGS - SERVICED APARTMENTS
DRAWING ELEVATIONS 02	
DRAWING No	2104
DATE	3.06.2021
SHEET No	A07
AMEND	4
SHEET SIZE	A3

NORTHERN TERRITORY OF AUSTRALIA

Planning Act 1999

Section 65

CERTIFICATION OF COMPLIANCE WITH PERMIT

DESCRIPTION OF LAND THE SUBJECT OF THIS CERTIFICATE

Lot/Portion No : Lot 179

Town/Hundred : Town of Alice Springs

Street Address : 80 Hartley Street

I, Ann-Marie Reynolds, hereby certify, in pursuance of section 65(3) of the *Planning Act 1999*, that the conditions of:

Development Permit No. DP18/0256
Dated: 21/07/2018

as varied through

Variation of Conditions permit No. DP18/0256A
Dated: 28/06/2021

have been complied with in **FULL**.



Ann-Marie Reynolds
2022.01.27 08:05:53
+09'30'
ANN-MARIE REYNOLDS
Delegate
Development Consent Authority

27 January 2021

Land owner/s authorisation to lodge a development application

The Planning Act 1999

Before you fill in the form

Signatures from ALL landowners registered on the land title must be provided.
The authorisation must be dated within six months of the submission of the application.

Fields marked with an asterisk (*) are required.
Fields marked with a carat (^) are required if applicable.

Applicant

In accordance with Section 46(3)(aa)(i) of the *Planning Act 1999*, a development application is to contain the name and contact details of the applicant AND any person on whose behalf the application is made.

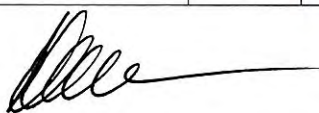
Name of Applicant/Consultant or Acting agent	Brad Cunnington, Cunnington Rosse Town Planning and Consulting		
Address	PO Box 36004 Winnellie NT 0821		
Phone	0427 796 140	Email	brad@crtpc.com.au

Persons on whose behalf the application is made:

Person/s on whose behalf the application is made:	Randle Walker, Centrecorp Aboriginal Investment Corporation		
Address	PO Box 2429 Alice Springs NT 0871		
Phone	(08) 8953 0583	Email	randle@centrecorp.com.au

The applicant is hereby authorised to lodge a development application over the subject land described as:

*Lot/NT portion	Units 10998, 10999, 11000 and 11001 Town of Alice Springs plan(s) UTS2021/008 Body Corporate for Unit Title Scheme 2022/010
*Location/town/hundred	Town of Alice Springs

*Street address	Apartments 1, 2, 3 and 4, 80, 80 Hartley Street, Alice Springs Common Property, 80 Hartley Street, Alice Springs		
The application is for the purpose of:			
*Proposed development <i>Brief description of proposed development</i>	Variation to DP18/0256 / DP18/0256A – Remove Hartley Street access and modify driveway, car parking and landscaping to suit		
Landowner/s signature In accordance with Section 46(3)(aa)(ii) of the <i>Planning Act 1999</i> , a development application is to contain the name and contact details of the owner of the land to which the application relates. Written authorisation from each:			
<ul style="list-style-type: none"> • Individual owner: Each person listed on the title must provide written authorisation for the application. • Companies: For each company listed on the title, written authorisation must be obtained from the director or authorised representative of the company. This authorisation confirms that the company is giving consent for the application and that the person signing on behalf of the company has the legal authority to do so. 			
*Full name	Randle Walker		
^Company name	Centrecorp Aboriginal Investment Corporation Pty Ltd as trustee for the Central Aboriginal Charitable Trust		
^Title <i>(e.g. director/authorised representative)</i>	Chief Executive Officer + <i>Company Secretary</i> .		
Phone	(08) 8953 0583	Email	randle@centrecorp.com.au
*Signature			
*Date	25/03/2026		
Landowner signature			
*Full name			
^Company name			
^Title <i>(e.g. director/authorised representative)</i>			
Phone		Email	

*Signature	
*Date	

Privacy Note

The Department of Lands, Planning and Environment, on behalf of the Minister, is authorised under the *Planning Act 1999* to collect the information on this form, or otherwise provided by you, to consider a proposal to grant a Development Permit or to amend a planning scheme. Failure to provide the information in full may result in delays in processing of the application.

Some of the personal information provided by you on this application may be publicly available, as part of a public exhibition process. The information is also regularly provided to other Northern Territory Government agencies, the Australian Valuation Office, local governments and Commonwealth Government Departments and agencies, as required by law.

Collection of personal information on this form is done in accordance with the privacy legislation within the Northern Territory *Information Act 2002*. For more information, please refer to the Northern Territory Government's privacy statement located at <https://nt.gov.au/copyright-disclaimer-and-privacy>. Any personal information provided can be subsequently accessed by you on request.



NORTHERN TERRITORY OF AUSTRALIA
ABN: 84 085 734 992

Development Applications Online

GPO Box 1680, Darwin NT 0801

TAX INVOICE NUMBER: DAO000078056

Invoice Date: 07/04/2026

Mr Brad Cunnington
PO BOX 36004
WINNELLIE NT 0821 AUS

Item Description	Charge (GST inclusive)	GST
Payment for Lot 179, 80 Hartley St S. & D. Bitar (PA2018/0224)	\$217.00	\$0.00

Total Amount Paid: \$217.00
Total Amount includes G.S.T. of \$0.00

Bookmark C – Local and Service Authority Response

Bookmark C01 - Local Authority Authority - Alice Springs Town Council - PA2018-0224

Bookmark C02 - Service Authority - Heritage Branch - Department of Lands Planning and Environment

Bookmark C03 - Service Authority - PWC - Power - PA2018-0224

Bookmark C04 - Service Authority - PWC - Water and Sewer - PA2018-0224

Bookmark C05 - Service Authority - Transport and Civil Infrastructure - DLI - PA2018-0224

Ref: Lots 179
TRIM Ref: PA2018/0224

Enquiries: Mr. Matthew Raymond

22 April 2026

The Chairperson
Development Consent Authority
PO Box 2130
ALICE SPRINGS NT 0871

Attention: Mr. Sebit Rambang

Dear Madam Chair,

**PROPOSED DEVELOPMENT APPLICATION – LOT 179, 80 HARTLEY STREET –
PA2018/0224**

I refer to the correspondence from the Development Assessment Services team dated 07/04/2026 (PA2018/0224) regarding a variation of development permit application for ***Variation to condition 3 of DP18/0256.***

Local authority matters

This application has been assessed on the technical requirements in regard to access, potential impact to Council infrastructure and drainage only. Further broader comments may be provided as a result of Council's assessment of the application or by Council's representative at the Consent Authority meeting.

Council notes that it previously objected to the closure of the Hartley Street vehicular access under the original application PA2018/0224, and this position was clearly outlined in Council's referral dated 12 June 2018. That position remains unchanged.

Further, Council notes that in 2025 a formal complaint was lodged with the Department of Lands, Planning and Environment regarding the owner fencing off the driveway on Hartley Street without approval.

Council does not support the proposed variation insofar as it results in the rear laneway functioning as the sole vehicular access to service the development.

Service authority matters

The present application has been reviewed against Council's technical requirements for developments and the premise that all building construction should comply with Building Code of Australia.

Noting that Council objects to the proposed access arrangement, should the Development Consent Authority be of the view to consider this application with a view to granting conditional consent, the following observations are provided for consideration.

Observations:

1. *The proposed variation would result in the rear laneway operating as the primary and sole vehicular access for multiple dwellings. Council does not support reliance on a public laneway as a primary access, noting laneways are intended to provide secondary access, service connectivity and accommodation of essential services infrastructure only.*
2. *Under Council's **Laneway Closure Policy**, laneways are not designed or intended to function as primary access roads. Reliance on the laneway as sole access is inconsistent with Council policy and infrastructure planning principles.*
3. *Council cannot guarantee uninterrupted access via the laneway due to periodic maintenance or works by Council or utility providers. Sole reliance on the laneway creates a foreseeable risk of restricted access for residents, waste collection, service vehicles and emergency services.*
4. *Council has concerns regarding swept path compliance and manoeuvrability for emergency and service vehicles accessing the site solely via the laneway, particularly during periods of restricted access or peak usage.*

Applying these references, Council recommends that the Authority include the following conditions in any Development Permit issued pursuant to the application:

1. *Vehicular access to the development from Hartley Street shall be retained and maintained as an operational access point unless otherwise approved in writing by Alice Springs Town Council.*
2. *The rear laneway shall not be relied upon as the sole vehicular access to the development and shall function only as a secondary access.*
3. *Prior to occupation, certification from a suitably qualified engineer demonstrating compliant emergency vehicle access and manoeuvrability shall be submitted to the satisfaction of Alice Springs Town Council.*
4. *The owner acknowledges that Council does not guarantee uninterrupted access via the rear laneway due to maintenance or service works.*
5. *Any removal, reinstatement or modification of kerb crossovers or driveways within the Hartley Street Road reserve shall be subject to separate approval by Alice Springs Town Council and undertaken at no cost to Council.*
6. *A "Permit to work within the Alice Springs Town Council Road Reserve" must be obtained prior to the construction of anything along the verge, such as pipework, kerb crossovers, driveways and traffic management approvals. Any kerb crossovers not required to service the development shall be reinstated to the satisfaction of the Director of Infrastructure Services, Alice Springs Town Council, at no cost to the Council.*

Further technical observations may be provided by Council's representative at any hearing of the application should such be deemed necessary.

Note: *The fee must only be paid once a Development Permit is released by the authority based on a condition requiring clearance from Council.*

I confirm that Council's fee for assessment of this development application is a Development Assessment Fee – Permit Variations (Fee per hour of \$267.00) x 3hours totalling to \$801.00 (GST exempt) as set out in the current Alice Springs Town Council Municipal Plan.

If the Authority or the applicant would like to discuss this matter further, they should contact Manager Developments on 8950 0586.

Yours Sincerely,



Matthew Raymond

MANAGER FACILITIES AND DEVELOPMENTS

Cc: Cunnington Rosse Town Planning and Consulting
c/ Mr Brad Cunnington
PO BOX 36004
WINNELLIE
NT 0821

Email: brad@crtpc.com.au

Nellie Reinhard

From: Sarah Hubbard
Sent: Tuesday, 2 June 2026 1:26 PM
To: Nellie Reinhard
Subject: FW: Variation to DP18/0256 - 80 Hartley Street, Alice Springs

Hi Nellie,

As discussed yesterday we have been in correspondence with Brad Cunnington regarding the variation to DP18/0256 – 80 Hartley Street, Alice Springs.

I have forwarded email correspondence below advising that the Heritage Branch consider that the proposed variation is consistent with the Heritage Council approval and that the close out report will be managed under the Heritage Act/Heritage Branch.

The removal of the Hartley Street driveway as part of the variation is considered to reflect the approval of the Heritage Council for the reconstruction and restoration of the former Burnett designed AS3(reversed) type house within the Alice Springs Heritage Precinct and considers Policy 4.5 & 4.6 of the 2024 Conservation Management Plan for the Precinct.

Regards,

Sarah Hubbard

Senior Heritage Officer
Heritage Branch
Department of Lands, Planning and Environment
Northern Territory Government

Ground floor, Arnhemica Building
16 Parap Road, Parap 0820
PO Box 3675, Darwin, NT 0801

P: +61 8 8999 5055
E: sarah.hubbard@nt.gov.au



From: Sarah Hubbard
Sent: Wednesday, 15 April 2026 11:54 AM
To: 'Brad Cunnington' <brad@crtpc.com.au>; David Steinberg <David.Steinberg@nt.gov.au>
Subject: RE: Variation to DP18/0256 - 80 Hartley Street, Alice Springs

Hi Brad,

Apologies for the delay in getting back to you.

I can confirm that the proposed variation is consistent with the Heritage Council approval. The close out report has not been received, but we will follow this up directly with the Centrecorp as a separate matter.

Regards,

Sarah Hubbard

Senior Heritage Officer
Heritage Branch
Department of Lands, Planning and Environment
Northern Territory Government

Ground floor, Arnhemica Building
16 Parap Road, Parap 0820
PO Box 3675, Darwin, NT 0801

P: +61 8 8999 5055
E: sarah.hubbard@nt.gov.au



From: Brad Cunnington <brad@crtpc.com.au>
Sent: Thursday, 26 March 2026 2:06 PM
To: Sarah Hubbard <Sarah.Hubbard@nt.gov.au>; David Steinberg <David.Steinberg@nt.gov.au>
Subject: Variation to DP18/0256 - 80 Hartley Street, Alice Springs

CAUTION: This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hi David and Sarah
Hope you're both well.

We've been engaged by Centrecorp to apply for a variation permit to the original development permit (DP18/0256) at 80 Hartley Street, Alice Springs, seeking approval for the Hartley St access removal, driveway reconfiguration and replacement front fence.

Randle (Walker) has provided a copy of the Heritage Council approval (attached) from October 2024, and I've attached the original endorsed plans, amended layout (for the DA variation) and accompanying variation letter. My understanding is that the proposed variation is consistent with that approved by the Heritage Council (although the DA variation doesn't specify building design details, really just deals with the layout variations), however if you could please confirm it'd be much appreciated. Can you also please advise if the final close out report referred to in the Heritage Council correspondence has been completed?

You'll also note that the DA variation plans still refer to the house as 'restaurant'. The change of use to office will require a separate development application, as this can't be approved through variation.

I will shortly lodge the application with DAS however any issues, queries, further information or any other input in the meantime please let me know.

Thanks
Brad

Brad Cunnington

M: 0427 796 140 **E:** brad@crtpc.com.au **W:** www.cunningtonrossetownplanning.com.au
A: Darwin Corporate Park, Unit 6, T212, 631 Stuart Highway, Berrimah **P:** PO Box 36004 WINNELLIE
NT 0821



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Phone 1800 245 092

Web powerwater.com.au

Record No: D2026/104427

Container No: NE010/0179

Your Ref: PA2018/0224

Nellie Reinhard
Development Assessment Services
GPO Box 1680
Darwin NT 0810

Dear Nellie

Re: Lot 179 (80) Hartley Street Alice Springs Town of Alice Springs

In response to your letter of the above proposal to variation to variation to condition 3 of DP18/0256, Power and Water Corporation (PWC) advises the following with reference to electricity enquiries:

1. PWC has no objection to the proposed amended variation in permit DP18/0256.
2. The power response letter dated 26 June 2018 remains unchanged for PA2018/0224.

If you have any further queries, please contact the undersigned on 8924 5042 or email:
PowerDevelopment@powerwater.com.au

Yours sincerely



Thanh Tang
Manager Distribution Development

9 April 2026



Container No: LD010/0179

DLPE - Development Assessment Services
GPO Box 1680
Darwin NT 0801

Dear Nellie Reinhard

RE: PA2018/0224 - Units 10998, 10999, 11000, 11001 & 11002 Town of Alice Springs - Apt 1, 2, 3, 4 & Common Property 80 Hartley St, Alice Springs NT - Variation to condition 3 of DP18/0256

In response to the above proposal for development application purposes, Power and Water Corporation (Water Services) advise the following with reference to water and sewer enquiries:

- Power and Water have no objections to the proposed variation as there's no additional demand proposed.

If you have any further queries, please contact the undersigned on 08 9463 2089, or email waterdevelopment@powerwater.com.au

Yours sincerely

Craig Thomas

Craig Thomas
Services Development

30 April 2026

cc: Brad Cunnington
email: brad@crtpc.com.au

Nellie Reinhard
Development Assessment Services
GPO Box 1680
Darwin NT 0801

Dear Nellie

**Re: ALICE SPRINGS - LOT 179 TOWN OF ALICE SPRINGS - 80 HARTLEY STREET ALICE SPRINGS -
VARIATION TO CONDITION 3 OF DP18/0256 - RANDLE WALKER CENTRECORP ABORIGINAL
INVESTMENT CORPORATION - CUNNINGTON ROSSE TOWN PLANNING AND CONSULTING**

I refer to the Development Assessment Services' correspondence of 7 April 2026 regarding Planning Application PA2018/0224 on a variation to condition 3 of DP18/0256.

I am pleased to advise that Transport and Civil Infrastructure (TCI), Department of Logistics and Infrastructure (DLI) has no objections in principle to the above-mentioned development, subject to the following comments and requirements:

1. Management of stormwater run-off from the site shall be to the standards and requirements of the Alice Springs City Council.

Should you wish to discuss the above mentioned further, please contact TCI, DLI on telephone 8999 4412.

Please quote TCI Project No 2018-0092 in all correspondence.

Yours sincerely



Claire Brown
General Manager, Transport and Civil Infrastructure

13 / 04 / 2026